



Development Services

"TOGETHER WE ARE BUILDING A SAFE AND UNITED DALLAS"

APPLICATION/APEAL TO THE BOARD OF ADJUSTMENT

Case No.: BDA

234-012

Date:

FOR OFFICE USE ONLY

NOV 22 REC'D

BY:

Data Relative to Subject Property:

Location address: 3010 Citation Dr

Zoning District: R-10

Lot No.: 27 Block No.: C16431 Acreage: .26

Census Tract:

Street Frontage (in Feet): 1) 119 2) 104 3) 4) 5)

To the Honorable Board of Adjustment:

Owner of Property (per Warranty Deed): Logan Klein

Applicant: Ignacio Ochoa

Telephone: 469-264-7742

Mailing Address: 4623 W I-30 Cuddo Mills, Tx Zip Code: 75135

E-mail Address: permits@betterbuiltfw.com

Represented by: Telephone:

Mailing Address: Zip Code:

E-mail Address:

Affirm that an appeal has been made for a Variance or Special Exception of Building 9' Tall Fence on side of property that is being considered front lot, and apparty. (IO)

Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to Grant the described appeal for the following reason:

Side yard is being considered front along venetian. Neighbors have 8' Tall fence in what would fall under same rule.

Note to Applicant: If the appeal requested in this application is granted by the Board of Adjustment, a permit must be applied for within 180 days of the date of the final action of the Board, unless the Board specifically grants a longer period.

Affidavit

Before me the undersigned on this day personally appeared Ignacio Ochoa

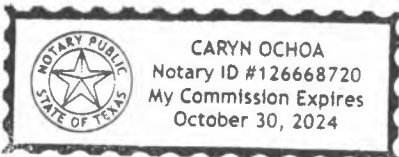
(Affiant/Applicant's name printed)

who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner/or principal/or authorized representative of the subject property

Respectfully submitted: Ignacio Ochoa (Affiant/Applicant's signature)

Subscribed and sworn to before me this 17 day of October, 2023

Notary Public in and for Dallas County, Texas



MEMORANDUM OF
ACTION TAKEN BY THE
BOARD OF ADJUSTMENT

Date of Hearing _____

Appeal was--Granted OR Denied

Remarks _____

Chairman

Building Official's Report

I hereby certify that IGNACIO OCHOA

did submit a request for (1) a special exception to the fence height regulations, and for (2) a special exception to the fence standards regulations

at 3010 Citation

BDA234-012. Application of IGNACIO OCHOA for (1) a special exception to the fence height regulations, and for (2) a special exception to the fence standards regulations at 3010 CITATION DR. This property is more fully described as Block C/6431, Lot 27, and is zoned R-10(A), which limits the height of a fence in the front yard to 4 feet and requires a fence panel with a surface area that is less than 50 percent open may not be located less than 5 feet from the front lot line. The applicant proposes to construct and/or maintain a 9-foot high fence in a required front yard, which will require (1) a 5-foot special exception to the fence regulations, and to construct a fence in a required front yard with a fence panel having less than 50 percent open surface area located less than 5 feet from the front lot line, which will require (2) a special exception to the fence regulations.

Sincerely,



Andrew Espinoza, CBO, MCP, CFM, CCEA



Appeal number: BDA 234-012

I, Logan Klein, Owner of the subject property
(Owner or "Grantee" of property as it appears on the Warranty Deed)

at: 3010 Citation Drive
(Address of property as stated on application)

Authorize: Ignacio Ochoa
(Applicant's name as stated on application)

To pursue an appeal to the City of Dallas Zoning Board of Adjustment for the following request(s)

Variance (specify below)

Special Exception (specify below)

Other Appeal (specify below)

Specify: Building a fence on side lot considered a front lot 9' Tall and opacity - (IO)

Logan Klein
Print name of property owner or registered agent

[Signature]
Signature of property owner or registered agent

Date 10/17/2023

Before me, the undersigned, on this day personally appeared Logan Klein

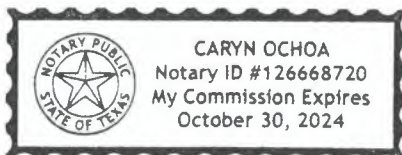
Who on his/her oath certifies that the above statements are true and correct to his/her best knowledge.

Subscribed and sworn to before me this 17th day of October, 2023

[Signature]

Notary Public for Dallas County, Texas

Commission expires on October 30, 2024





Appeal number: BDA 234-012

I, Whitney McAteer, Owner of the subject property
(Owner or "Grantor" of property as it appears on the Warranty Deed)

at: 3010 Citation Drive
(Address of property as stated on application)

Authorize: Ignacio Ochoa
(Applicant's name as stated on application)

To pursue an appeal to the City of Dallas Zoning Board of Adjustment for the following request(s)

Variance (specify below)

Special Exception (specify below)

Other Appeal (specify below)

Specify: Building a Fence on side lot considered front lot
9' Tall and opacity. (TO)

Whitney McAteer
Print name of property owner or registered agent

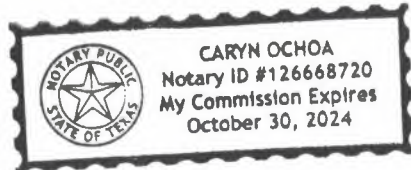
Whitney McAteer
Signature of property owner or registered agent

Date 10/17/2023

Before me, the undersigned, on this day personally appeared Whitney McAteer

Who on his/her oath certifies that the above statements are true and correct to his/her best knowledge.

Subscribed and sworn to before me this 17 day of October, 2023



[Signature]
Notary Public for Dallas County, Texas

Commission expires on 10/30/2024



WALNUT HILL LN WALNUT HILL LN WALNUT HILL LN

WALNUT HILL LN WALNUT HILL LN WALNUT HILL LN

Selected features: 0



BDA23A-012

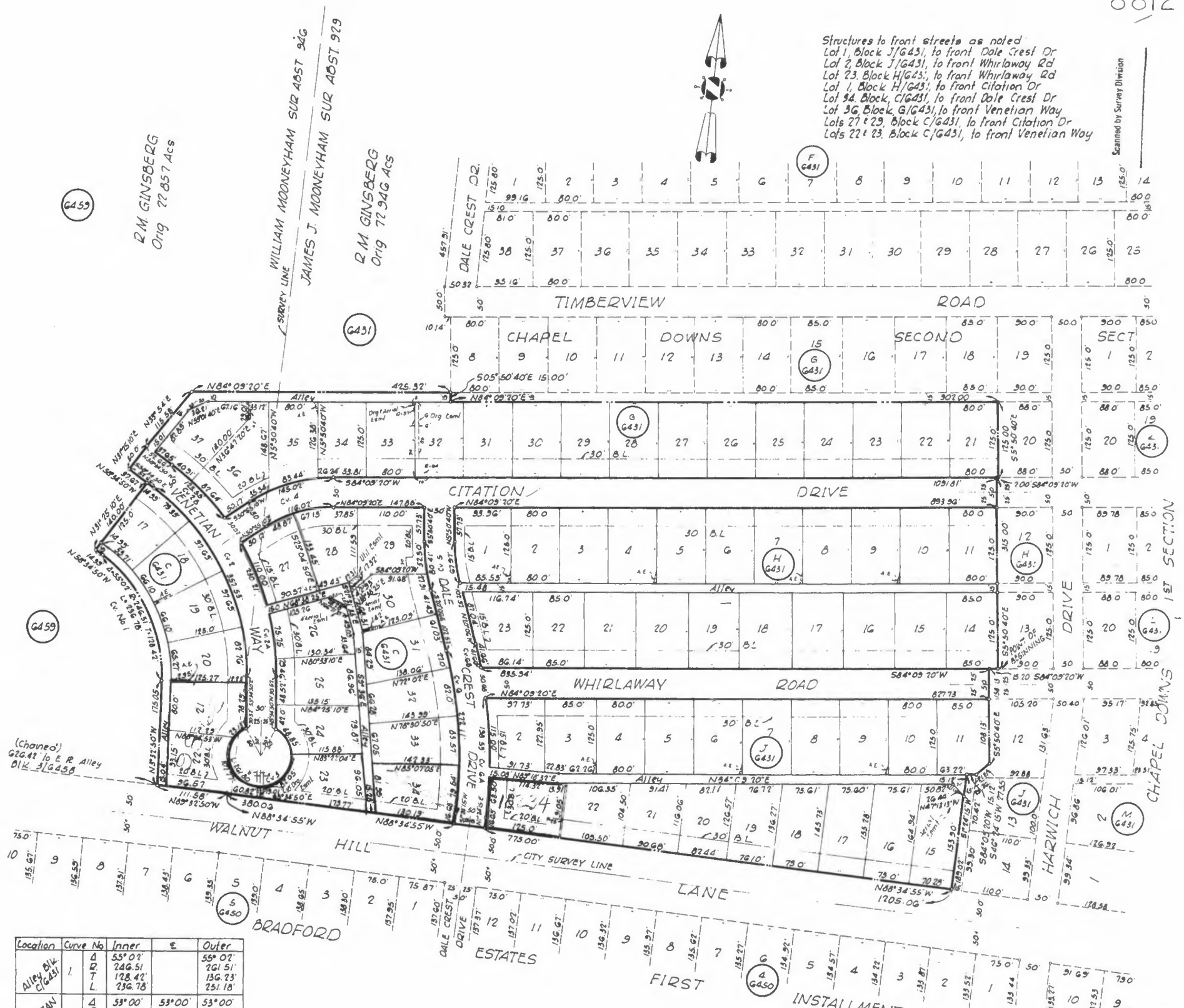
Structures to front streets as noted:
 Lot 1, Block J/G431, to front Dale Crest Dr
 Lot 2, Block J/G431, to front Whirlaway Rd
 Lot 23, Block H/G431, to front Whirlaway Rd
 Lot 1, Block H/G431, to front Citation Dr
 Lot 36, Block C/G431, to front Dale Crest Dr
 Lot 27 & 29, Block C/G431, to front Citation Dr
 Lots 22 & 23, Block C/G431, to front Venetian Way

Scanned by Survey Division

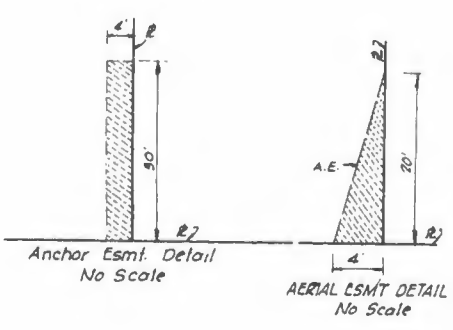
R.M. GINSBERG
 Orig 72.857 Acs

WILLIAM MOONEYHAM SUR ABST 94G
 JAMES J. MOONEYHAM SUR ABST 929

R.M. GINSBERG
 Orig 72.94G Acs



Location	Curve No	Inner	Outer
ALLEY BLK C/G451	1	55° 07' 246.51' 128.42'	55° 07' 261.51' 136.23'
	2	53° 00' 386.51' 192.71'	53° 00' 436.51' 217.64'
	2A	53° 00' 357.55'	53° 00' 403.78'
VENETIAN WAY	3	300° 00' 50.00'	300° 00' 50.00'
	4	53° 14' 10" 200.00' 55.05'	33° 14' 10" 250.00' 74.61'
	5	14° 15' 20" 273.17' 34.16'	14° 15' 20" 323.17' 40.41'
CITATION DRIVE	6	21° 30' 15" 725.00' 137.07'	21° 30' 15" 775.00' 147.17'
	GA	14° 40' 40" 775.00' 59.81'	14° 40' 40" 775.00' 59.81'
	GB	3° 06' 47" 775.00' 20.85'	3° 06' 47" 775.00' 20.85'



NOTE: Lot 1 Blk J/G431, lots 22, 23 & 34 Blk C/G431 shall have no driveways or automobile entrances built into Walnut Hill Ln.

L.G. COPPEDGE
 MAPS
 RECORDS' BLDG.

FILED 2 26 62
 VOL 48 - 139

**CHAPEL DOWNS
 THIRD SECTION**

PART OF THE JAMES J. MOONEYHAM SUR ABST 929
 PART OF THE WILLIAM MOONEYHAM SUR ABST 94G
 PART OF CITY OF DALLAS BLOCK NOS G431 & G450
 R.M. GINSBERG - OWNER OF RECORD
 330G CAMELOT DR. DALLAS, TEXAS
 GADDY & LOVEN - ENGINEERS
 770 No BUCKNER - DALLAS TEXAS
 DECEMBER, 1961
 CITY PLAN FILE NO. 60-471-C
 Scale 1"=100'

BDA234-012

VOLUME 48, PAGE 139
R. M. GINSBERG, TRUSTEE
TO: PLAT & DEDICATION
CHAPEL DOWNS, THIRD SECTION

* STATE OF TEXAS

*

*

* COUNTY OF DALLAS: Whereas, R M Ginsberg, Trustee, is the recorded owner of a tract of land situated in the James J Mooneyham Survey, Abst No. 929, Dallas County, Texas, and the William Mooneyham Survey, Abst No. 946, Dallas County, Texas, and being part of City of Dallas Blocks No. 6431 and 6459 and being more particularly described as follows:

BEGINNING at a point in the north line of Whirlaway Road, said point being the southwest corner of Lot 13 in Block H/6431 of Chapel Downs, First Section, an addition to the City of Dallas Texas.

THENCE S 84° 09' 20" W along said north line of Whirlaway Road, 15.20 feet;
THENCE S 05° 50' 40" E partly along the west line of Lot 12 in Block J/6431, 158.13 feet;
THENCE S 46° 24' 15" W 27.55 feet; THENCE S 84° 09' 20" W 15.12 feet; THENCE S 01° 24' 15" W along the west line of a 15 foot width alley 189.02 feet, to a point in the north line of Walnut Hill Lane;
THENCE N 88° 34' 55" W along said north line, 1205.06 feet; THENCE N 89° 32' 50" W continuing along said north line 111.58 feet;
THENCE N 03° 32' 50" W 175.05 feet; THENCE in a northwesterly direction with a curve to the left, said curve having a central angle of 55° 02' and a radius of 246.51 feet, a distance of 236.78 feet;

THENCE N 58° 34' 50" W 14.99 feet; THENCE N 31° 25' 10" E, 140.00 feet; THENCE N 58° 34' 50" W 37.67 feet; THENCE N 31° 25' 10" E 50.00 feet; THENCE N 33° 54' E 115.58 feet; THENCE N 84° 09' 20" E 425.32 feet; THENCE S 05° 50' 40" E 15.00 feet; THENCE N 84° 09' 20" E along the south line of a 15 foot width alley, 902.00 feet to the northwest corner of Lot 20, in Block G/6431;

THENCE S 05° 50' 40" E along the west line of said Lot 20, 125.00 feet to a point in the north line of Citation Drive;
THENCE S 84° 09' 20" W along said north line 2.00 feet;
THENCE S 05° 50' 40" E partly along the west lines of Lots 12 and 13 in Block H/6431, 315.00 feet to the place of beginning and containing 23.064 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS: That R M Ginsberg, Trustee, does hereby adopt this plat designating the hereinabove described property as Chapel Downs, third section, an addition to the City of Dallas, Texas, and does hereby dedicate to the public use forever the streets and alleys shown hereon. The easements shown hereon are hereby reserved for the purpose as indicated. No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the Utility Easements as shown. Said utility easements being hereby reserved for the mutual use and accommodation of all public utilities using or desiring to use same. All and any public utility shall have the right to remove and keep removed all or parts of any buildings, fences, trees shrubs or other improvements or growths which in anyway may endanger or interfere with the construction, maintenance or efficiency of its respective system on the utility easement and all public utilities shall at all times have the full right of ingress and egress to or from and upon the said utility easement for removing all or parts of its respective systems, without the necessity at any time of procuring the permission of anyone.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Dallas, Texas. Sidewalks shall be constructed by the homebuilder as required by the City Council Resolution #58-5422, and in accordance with the requirements of the Director of Public Works.

Witness my hand at Dallas, Texas, Feb 13, 1962.

R. M. GINSBERG, TRUSTEE

Acknowledgment taken for R M Ginsberg, Feb 13, 1962 by _____ Sharpe, NPDC

LS

ENGINEER'S CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS: That I, A E Gaddy, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown were properly placed under my supervision in accordance with the platting rules and regulations of the City Plan Commission of the City of Dallas, Texas.

A. E. GADDY, Licensed Engr

Acknowledgment taken for A E Gaddy, Feb 14, 1962 by C I Loven, NPDC

LS

TO THE COUNTY CLERK OF DALLAS COUNTY: Under Ordinance 3558 of the City of Dallas, the approval of this plat by the City Plan Commission is automatically terminated after the 26 day of March 1962, and unless this plat is presented for filing on or before said date it should not be accepted for filing.

Dept of City Planning by H Alwen Deyo, Director of Planning

CERTIFICATE OF APPROVAL: I, LaVere Brooks V Chairman of the City of Dallas, State of Texas, hereby certify that the attached plat was duly filed for approval with the City Plan Commission of the City of Dallas on the 22 day of Nov 1960, and same was duly approved on the 8 day of Dec 1960, by said Commission.

LaVere Brooks, City Plan Commission

File # 60-471-C

City of Dallas filing fee paid -2-26-62
City of Dallas 1962 and prior taxes paid \$621.72 1-26-62
Filed for record: Feb 26, 1962

5-10-62
LOT

BDA234-012



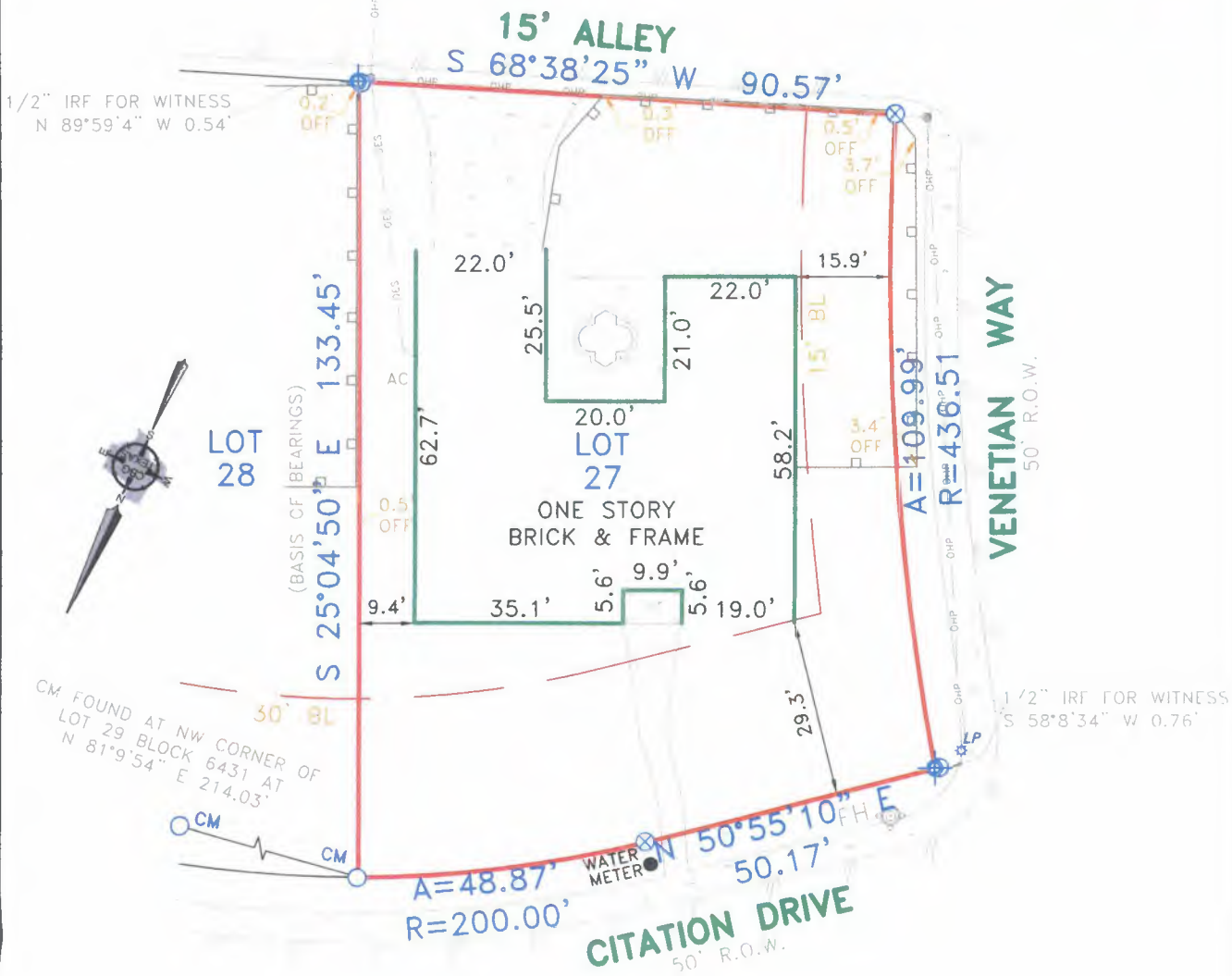
3010 Citation Drive

Being Lot 27 in Block C/6431 of CHAPEL DOWNS, THIRD SECTION, an addition to the City of Dallas County, Texas, according to the Map thereof, Recorded in Volume 48, Page 139, Map Records, Dallas County, Texas.



LEGEND

- 1/2" ROD FOUND
- ⊗ 1/2" ROD SET
- 1" PIPE FOUND
- ⊗ "x" FOUND/SET
- ⊗ 5/8" ROD FOUND
- ◆ POINT FOR CORNER
- FENCE POST FOR CORNER
- CM CONTROLLING MONUMENT
- AC AIR CONDITIONER
- PE POOL EQUIPMENT
- TE TRANSFORMER PAD
- COLUMN
- POWER POLE UNDERGROUND ELECTRIC
- ▲ OVERHEAD ELECTRIC
- OHP— OVERHEAD ELECTRIC POWER
- OES— OVERHEAD ELECTRIC SERVICE
- CHAIN LINK
- WOOD FENCE 0.5' WIDE TYPICAL
- IRON FENCE
- X— BARBED WIRE
- DOUBLE SIDED WOOD FENCE
- /— EDGE OF ASPHALT
- ▲— EDGE OF GRAVEL
- ▨ CONCRETE
- ▨ COVERED AREA



EXCEPTIONS:

NOTE: This survey is made in conjunction with the information provided by the client. CBG Surveying Texas, LLC has not researched the land title records for the existence of easements, restrictive covenants or other encumbrances.

APPARENT ENCROACHMENT OF BUILDING INTO/OVER BUILDING LINE

NOTES:

NOTE: BEARINGS, EASEMENTS AND BUILDING LINES ARE BY RECORDED PLAT UNLESS OTHERWISE NOTED.

FLOOD NOTE: According to the F.I.R.M. No. 48113C0190K, this property does lie in Zone X and DOES NOT lie within the 100 year flood zone.

This survey is made in conjunction with the information provided by The Client. Use of this survey by any other parties and/or for other purposes shall be at user's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. This is to certify that I have on this date made a careful and accurate survey on the ground of the subject property. The plat hereon is a correct and accurate representation of the property lines and dimensions are as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, there are no visible and apparent encroachments or protrusions on the ground.

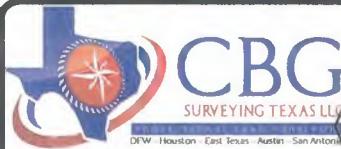
Drawn By: JPA/EGR

Scale: 1" = 30'

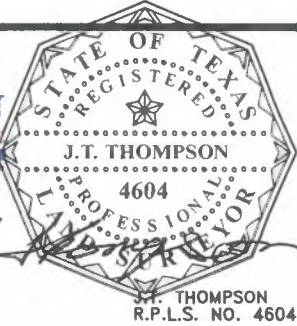
Date: 04-29-19

GF No.: 1989469-ALME

Job No.: 1907995

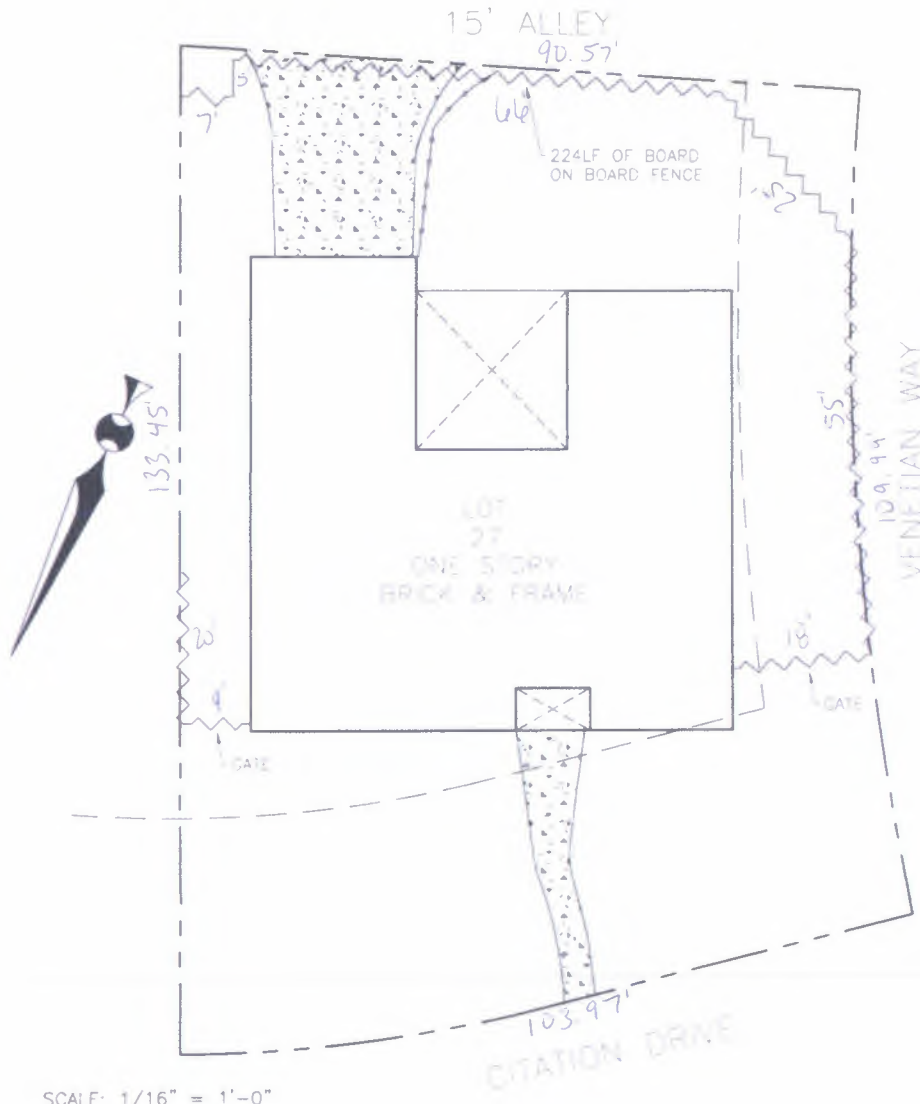


12025 Shiloh Road, Ste. 240
Dallas, TX 75228
P 214.349.9485
F 214.349.2216
Firm No. 10168800
www.cbgtxllc.com



Accepted by: _____
Date: _____
Purchaser
Purchaser

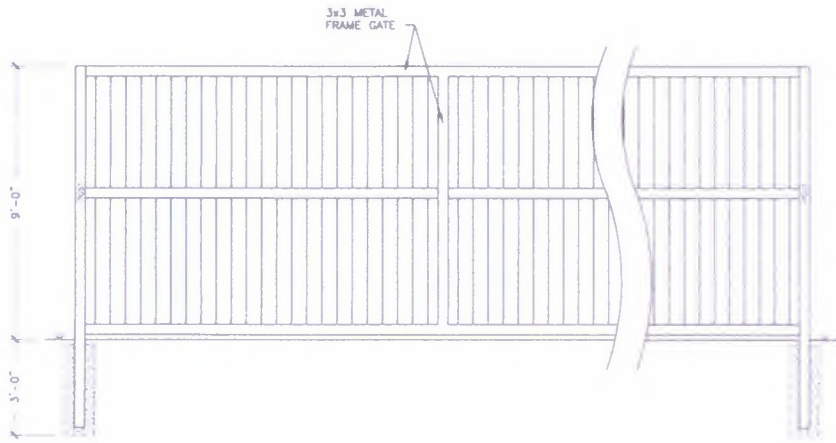
BOA234-012



M - FENCE
(BOARD ON BOARD)

SCALE: 1/16" = 1'-0"

BOA234-012

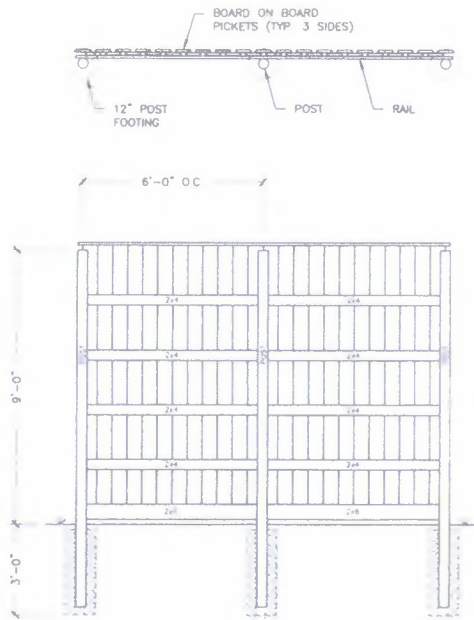


Board on Board

GATE ELEVATION VIEW

SCALE 1/4" = 1'-0"

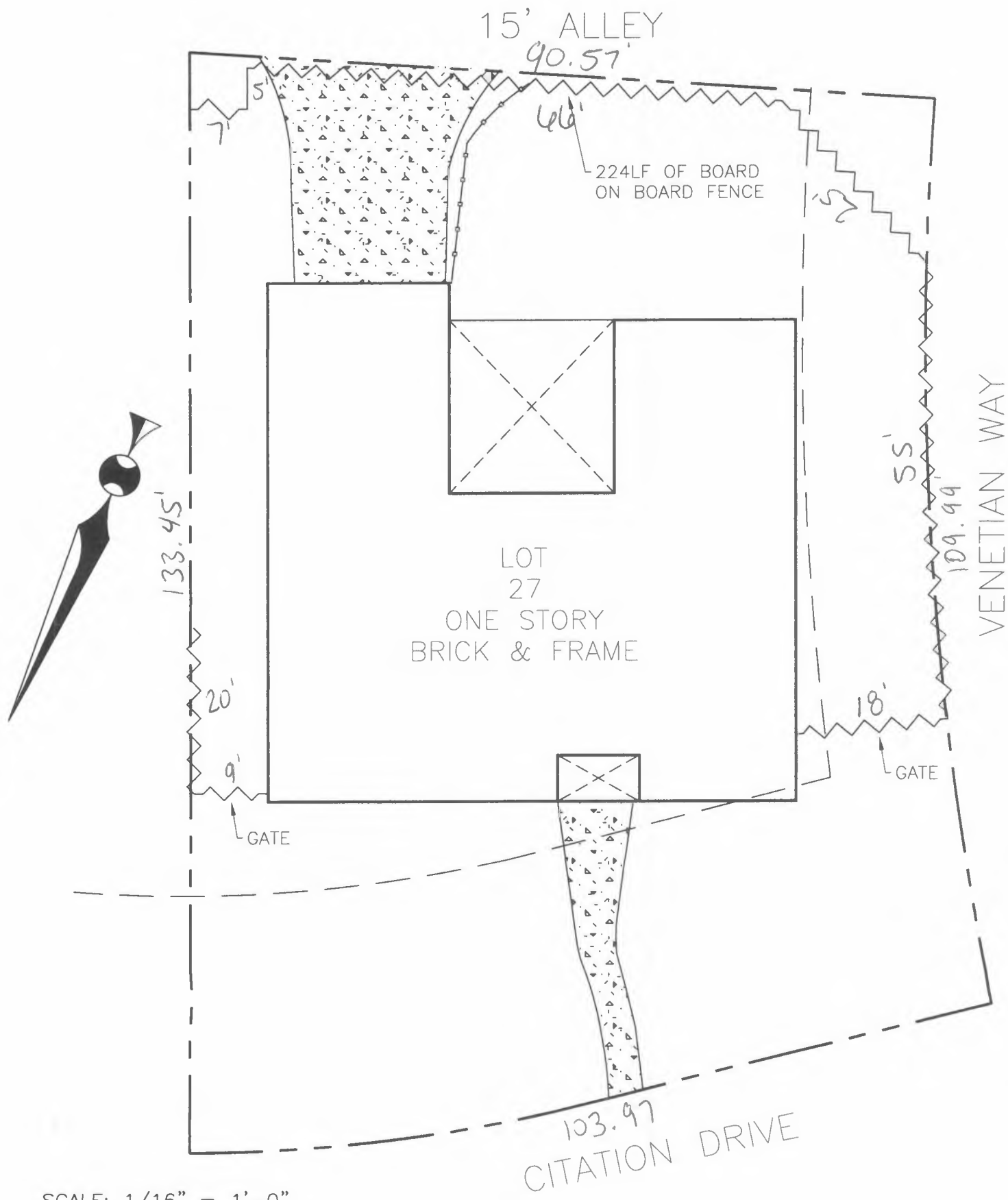
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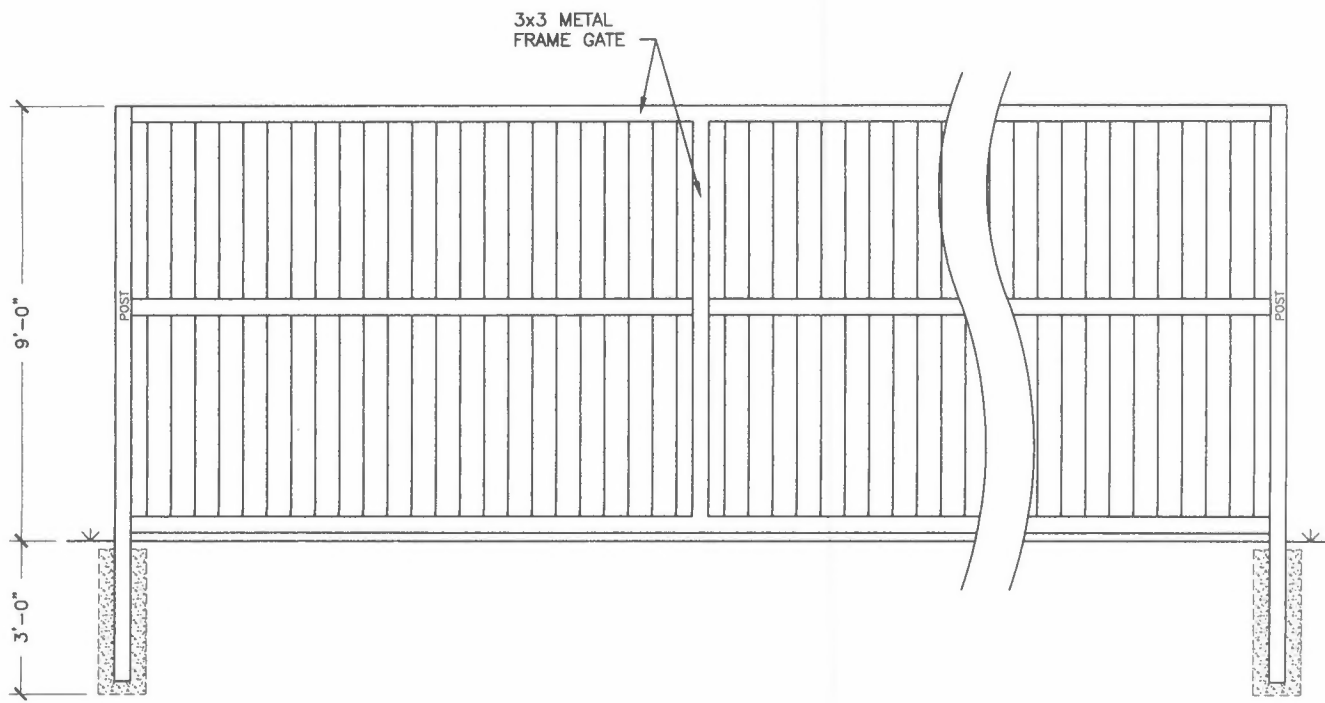
ELEVATION VIEW

SCALE: 1/4" = 1'-0"

BOA234-012



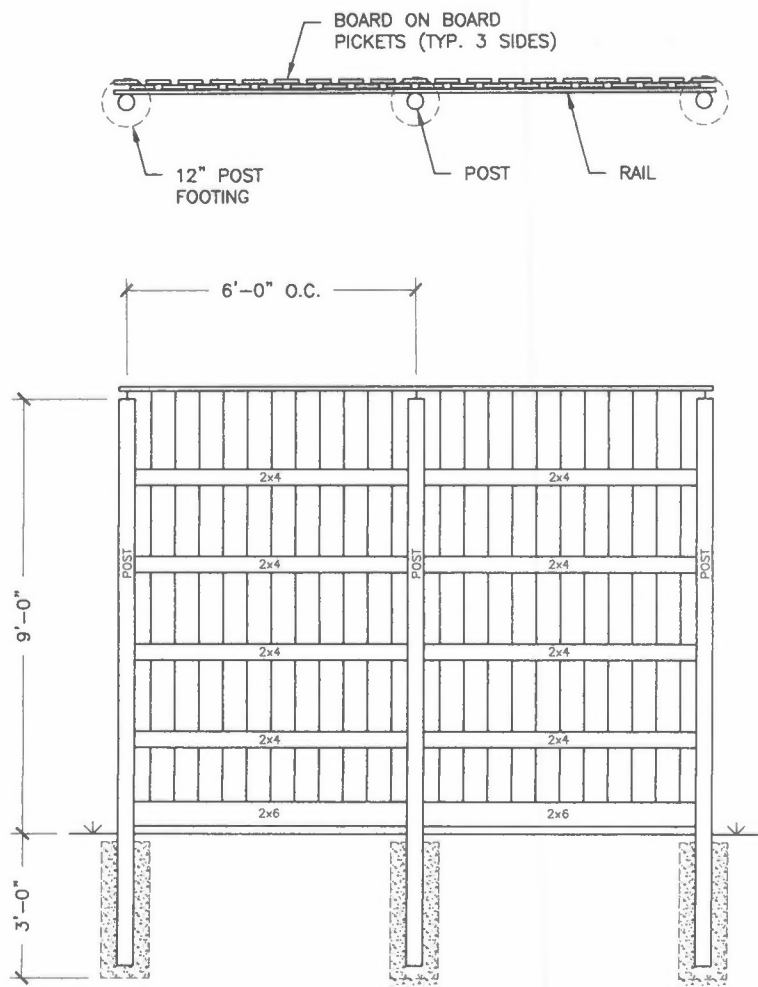
SCALE: 1/16" = 1'-0"



GATE ELEVATION VIEW

SCALE: 1/4" = 1'-0"

BDA234-012



ELEVATION VIEW

SCALE: 1/4" = 1'-0"

BDA234-012