

Applicable Urban Design Priorities Project Should Achieve

- [1] Locate active pedestrian uses along perimeter street frontages, particularly along Sedgewick, Lookout Point, and Wildcat Way and Walnut Hill -

Buildings fronting along streets within the overall development should incorporate active program to activate the street and promote walkability throughout the neighborhood.

- [2] Introduce a development pattern along Wildcat Way that creates a consistent urban edge and scale suitable to support its continued development as a primary retail spine -

Wildcat way is set up as the primary retail spine of the development and should deliver an urban form and scale consistent with this vision.

- [3] The Skillman street edge, internal drives, and street frontages should be treated with a strong urban hardscape and landscape scheme -

Internal drives and streets should be treated so that they support an urban block pattern and promote highly pedestrianized, walkable connections throughout the current and future phases.

- [4] Address the grocer frontage along Skillman so that it relates well to the sidewalk and street through programming, corner entry, facade treatments and landscape/hardscape -

Understanding the grocer's desire to locate the primary entry adjacent to parking, it is encouraged that opportunities to relate to adjacent streets be explored and incorporated.

- [5] Explore the ability to leverage site grading and fill in a way that preserves walkability and activation along sidewalk frontages -

Where applicable, necessary site grading should be leveraged to achieve entries at the sidewalk wherever possible and should create interesting and usable pedestrian paths.



Policy References

Forward Dallas!
Section 5 [urban design element]

TIF Urban Design Guidelines
Part III, Part IV [Skillman Corridor]

Context Description

The project site is located at Skillman and Walnut Hill in the Lake Highlands Neighborhood. Currently at the site much of the sitework, open space and street infrastructure has already been completed in anticipation of the future vertical development. Particular considerations for the project are significant public expenditures to date associated with the existing infrastructure, and design and performance criteria required to secure future potential TIF reimbursement.

Critical design considerations include creating a walkable urban neighborhood, and urban form consistent with the spirit of existing policy and sound urban principals. This includes addressing public streets with active program suitable for adjacent future development, promoting a walkable and highly pedestrian oriented development pattern, and the addressing of Wildcat Way as a primary retail spine for the overall development.

Lake Highlands Town Center

Neighborhood:
Lake Highlands

Program:
Commercial/Retail

Lake Highlands Town Center

November 17, 2014



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SITE PERSPECTIVE I

BUILDING 1 ELEVATIONS

BUILDING 2 ELEVATIONS

BUILDING 3 ELEVATIONS

BUILDING 4 ELEVATIONS

BUILDING 6 ELEVATIONS

MATERIAL BOARD

BUILDING 1 FLOOR PLAN

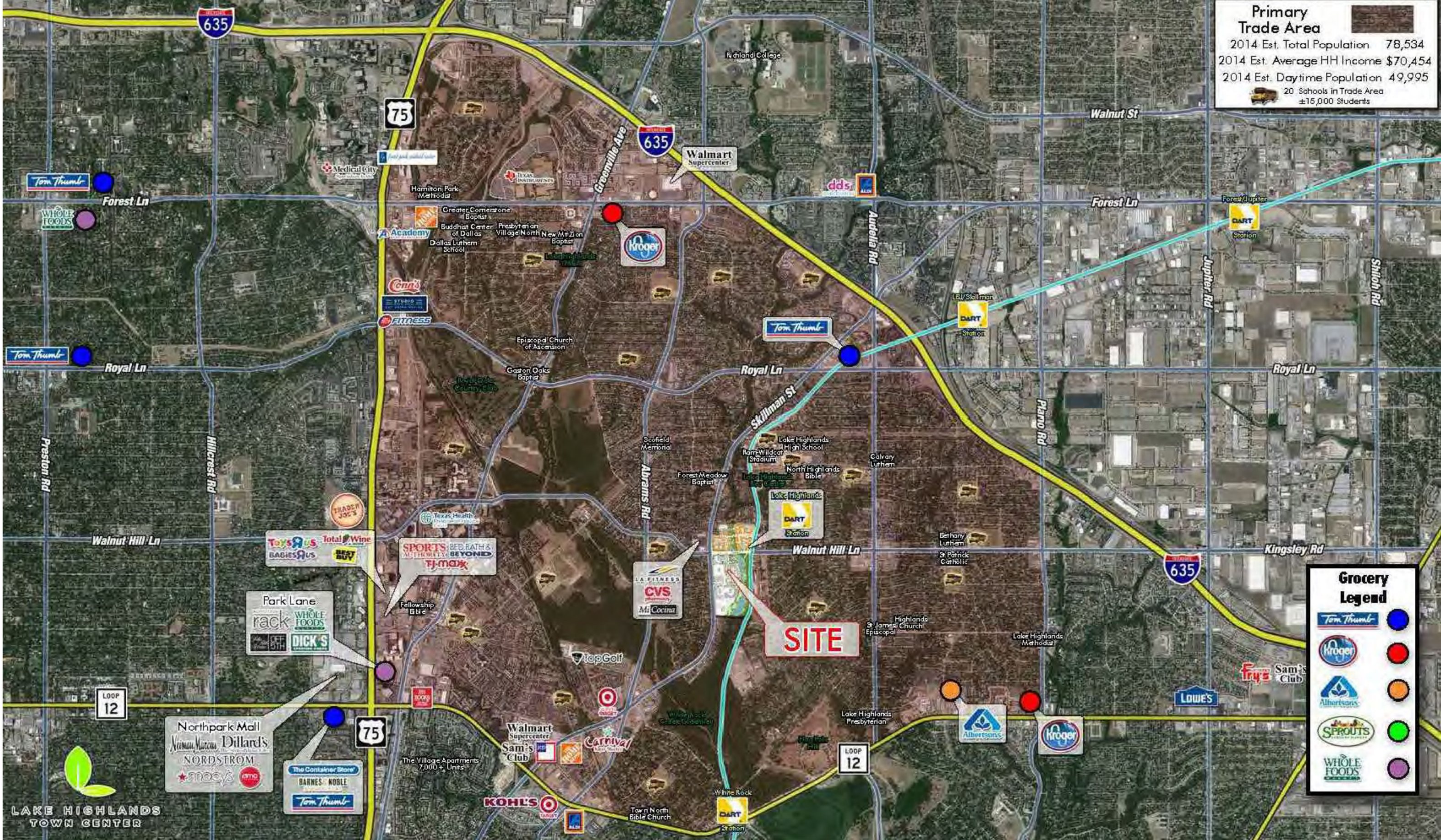
BUILDING 2 FLOOR PLAN

BUILDING 3 FLOOR PLAN

BUILDING 4 FLOOR PLAN

BUILDING 6 FLOOR PLAN





Primary Trade Area
 2014 Est. Total Population 78,534
 2014 Est. Average HH Income \$70,454
 2014 Est. Daytime Population 49,995
 20 Schools in Trade Area
 ±15,000 Students

Grocery Legend

- Tom Thumb
- Kroger
- Albertsons
- SPROUTS
- WHOLE FOODS







BLDG. 6
RET./REST.
7,800 SF.
120'
65'
4,300 SF @
1/200 = 22 SP
3,500 SF @
1/100 = 35 SP
TOTAL REQ. = 57 SP

BLDG. 4
RET./REST.
9,250 SF.
150'
65'
5,250 SF @
1/200 = 27 SP
4,000 SF @
1/100 = 40 SP
TOTAL REQ. = 67 SP

BLDG. 3
RET./REST.
9,250 SF.
150'
65'
5,250 SF @
1/200 = 27 SP
4,000 SF @
1/100 = 40 SP
TOTAL REQ. = 67 SP

BLDG. 2
RETAIL
7,150 SF.
36 SP REQ.
(@1/200)
110'
65'

BLDG. 1
MARKET
28,000 SF.
140 SP REQ.
(@1/200)
140 SP PROV. (4.68/1000)
200'
140'

BLDG. 7
REST.
5,000 SF.
80'
55'

BLDG. 5
4,500 SF.

PARKING REQ FOR BLDG. 01:
28,000 SF @ 1/200 = 140 SP
TOTAL PARKING PROVIDED = 140 SP, (4.82/1000)

PARKING REQ FOR BLDGS 02, 03, 04, 06:
21,450 SF @ 1/200 = 112 SP
12,700 SF @ 1/100 = 115 SP
TOTAL REQ. = 227 SP
TOTAL PARKING PROVIDED = 246 SP

PARKING REQ. FOR BLDG. 05
4,500 SF. @ 1/100 = 45 SP
PARKING PROV. FOR BLDG. 05 = 45 SP

PARKING REQ. FOR BLDG. 07
4,000 SF. @ 1/100 = 40 SP
PARKING PROV. FOR BLDG. 07 = 50 SP

TOTAL PARKING REQ. = 456 SP.
ON SITE = 436
ON STREET = 48
TOTAL PARKING PROVIDED = 484 SP.



Lake Highlands Town Center

Dallas, Texas

Site Plan





Lake Highlands Town Center

Dallas, Texas

Developer :: Cypress Equities; Trammell Crow Co.

Landscape Plan

Date: 11.17.2014 Scale 1/8" = 1'-0"



GFF LANDSCAPE

2808 Fairmount Street
Suite 200

214.303.1500/Tel
214.203.1512/Fax



Lake Highlands Town Center

Dallas, Texas

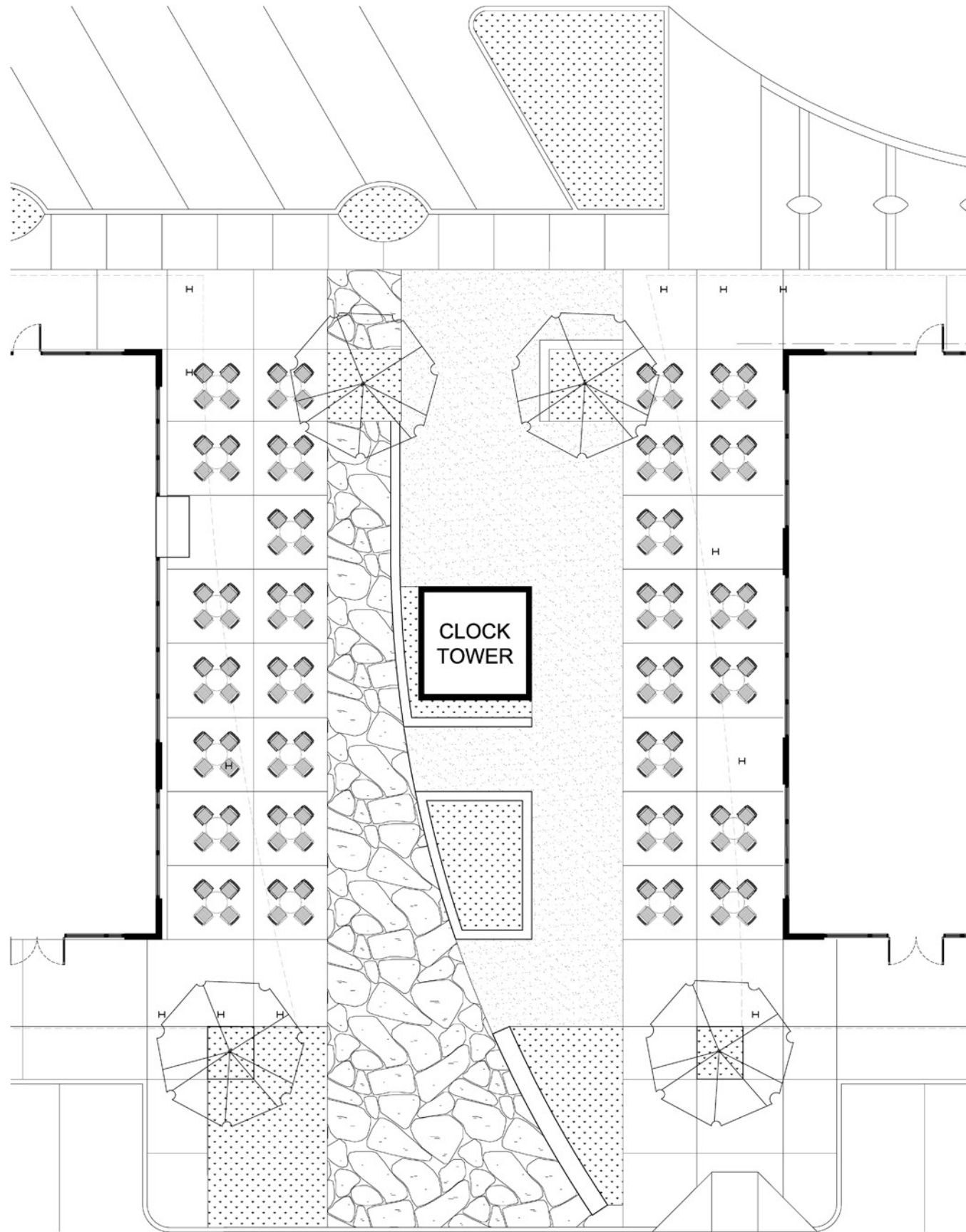
Developer :: Cypress Equities; Trammell Crow Co.

Site Views

Date: 11.17.2014 Scale 1/8" = 1'-0"



O'BRIEN





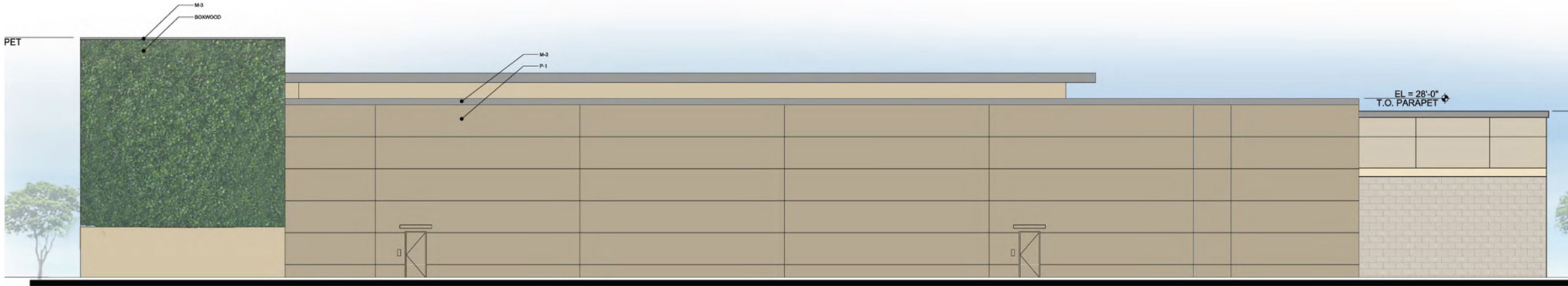
View south in front of shop buildings



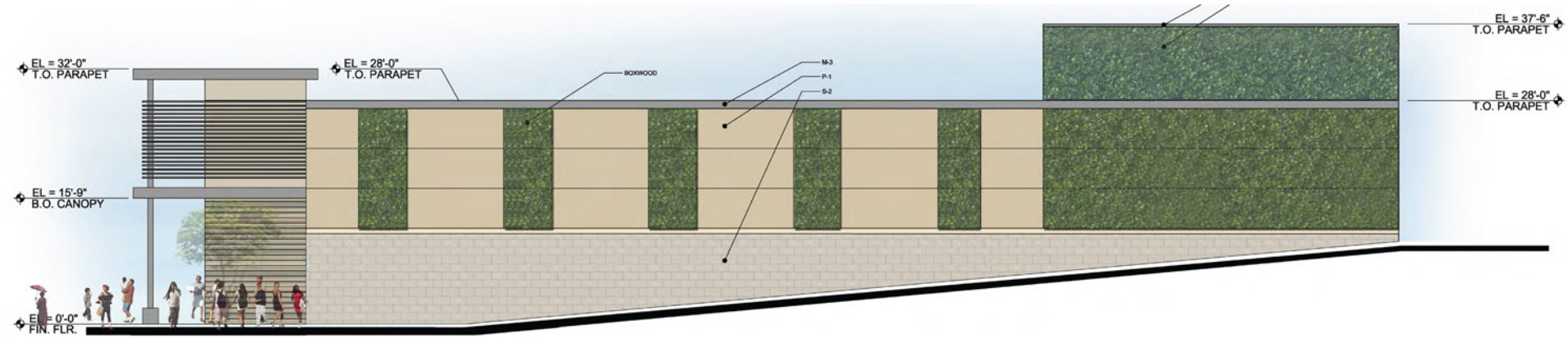
View north along Wildcat Way



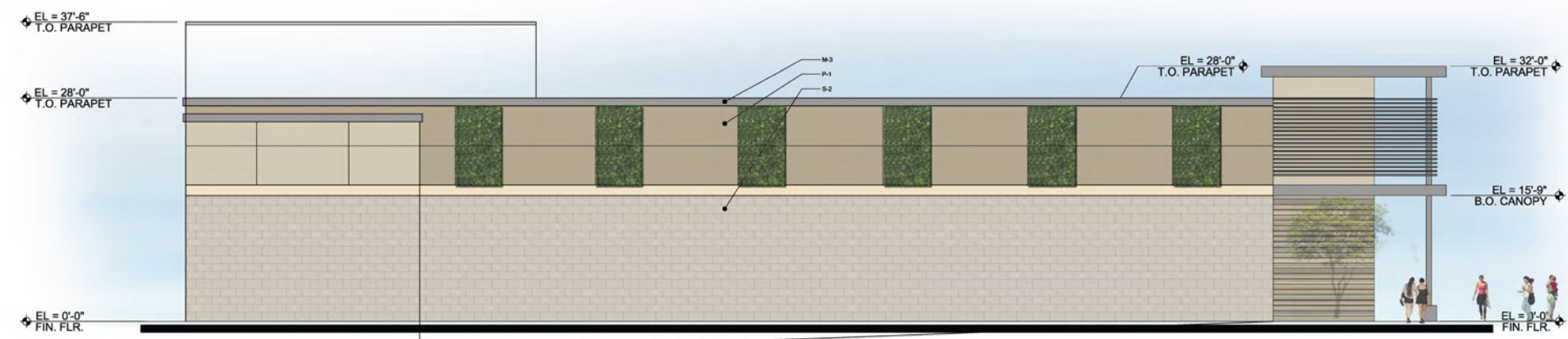
01-NORTH ELEVATION



02-SOUTH ELEVATION



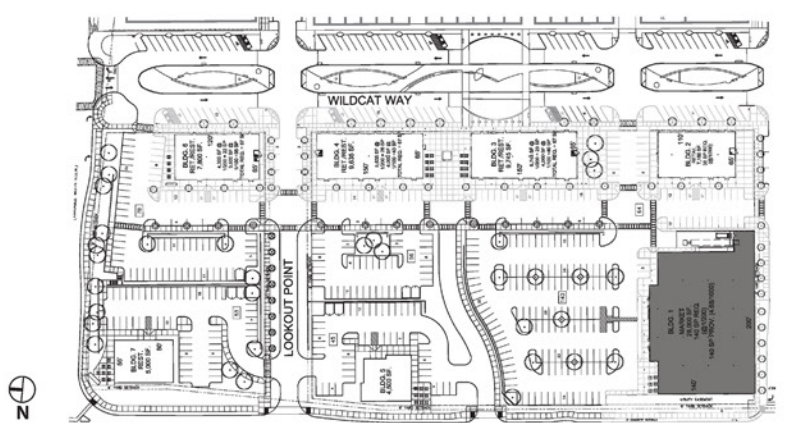
03-WEST ELEVATION



04-EAST ELEVATION

PROPOSED MATERIALS / FINISH LEGEND :

- (S - 1) Natural Thin Veneer, Smooth Face Cream Honed, (4"-25% ,8"-25%,12"-50%mix)
- (S - 2) Stone Selected to Match Existing Retaining Wall
- (W - 1) Nichiha Fiber Cement Board, Vintage Wood, Sequoia
- (W - 2) "Clear Heart" Redwood - Stain & Seal (Includes Soffits)
- (M - 1) Painted Steel Canopy with Wood Soffits
- (M - 2) Painted Horizontal Metal Louvers
- (M - 3) Pre-Finished Metal Coping
- (M - 4) Painted Steel Columns
- (P - 1) Painted Textured Tilt-Wall, color to be selected in field
- (P - 2) Stucco Smooth Finish, color to be selected in field
- (SF - 1) Aluminum Frame, Clear Anodized Finish
- (SF - 2) Spandrel Glass

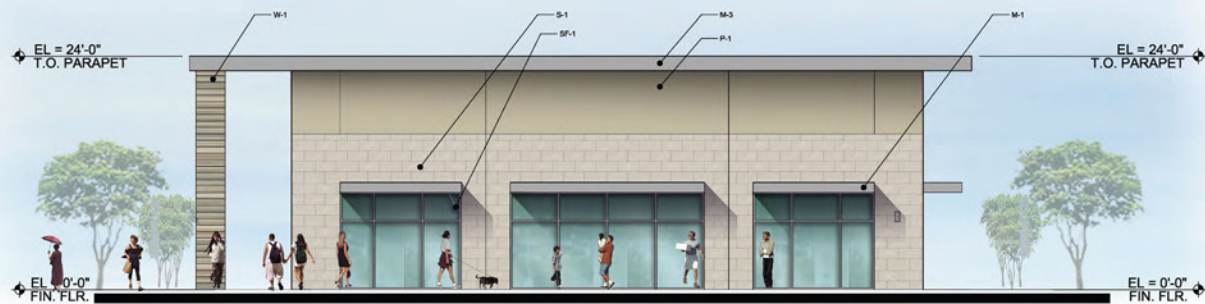




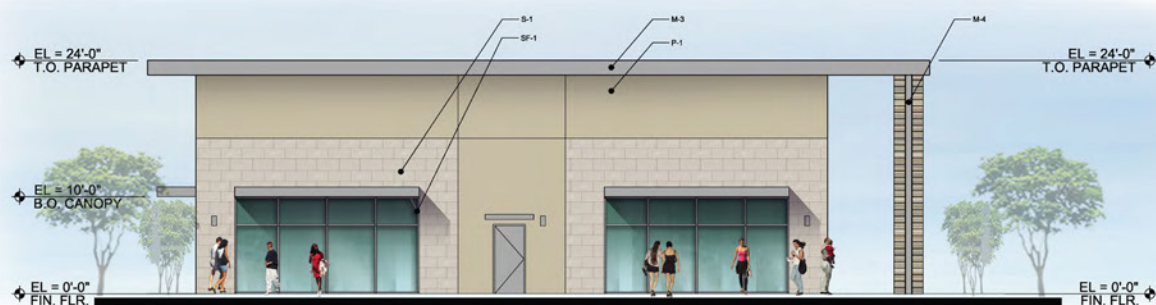
01-WEST ELEVATION



02-EAST ELEVATION



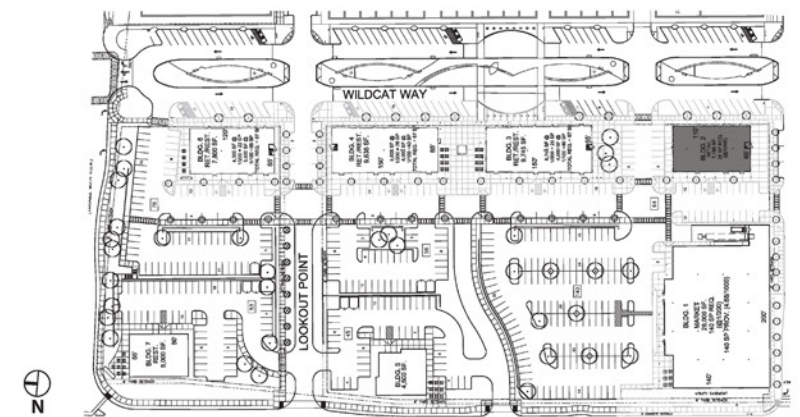
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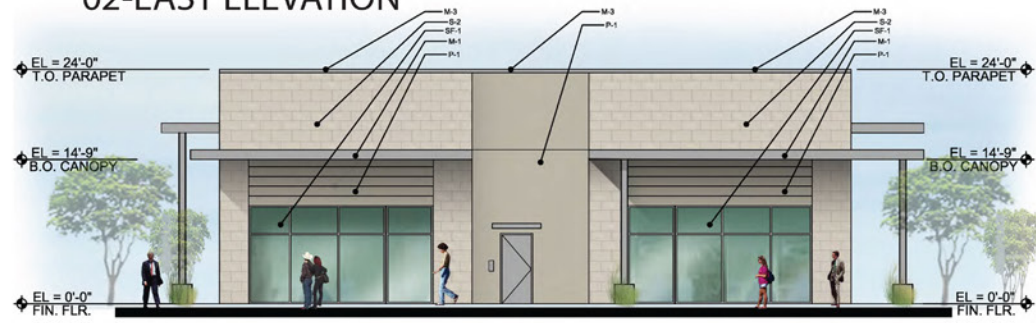




01-WEST ELEVATION



02-EAST ELEVATION



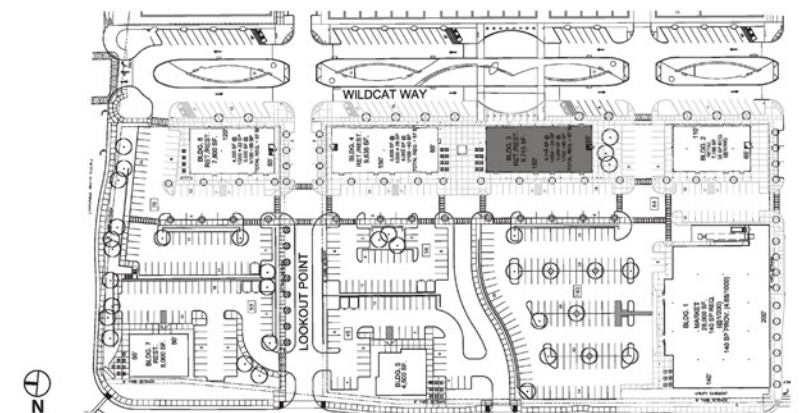
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01-WEST ELEVATION



02-EAST ELEVATION



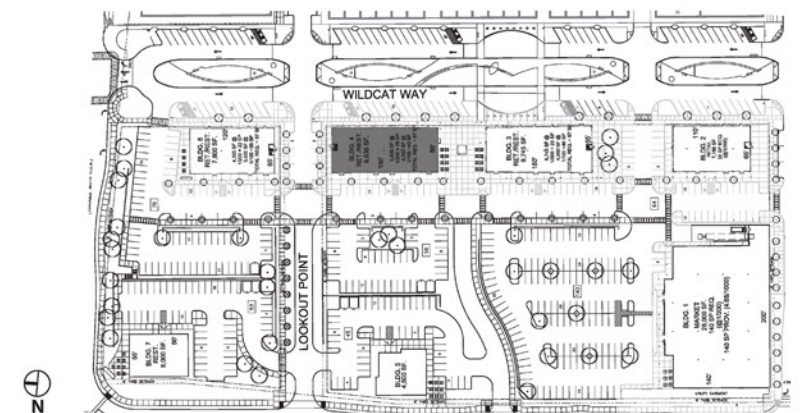
03-NORTH ELEVATION



04-SOUTH ELEVATION

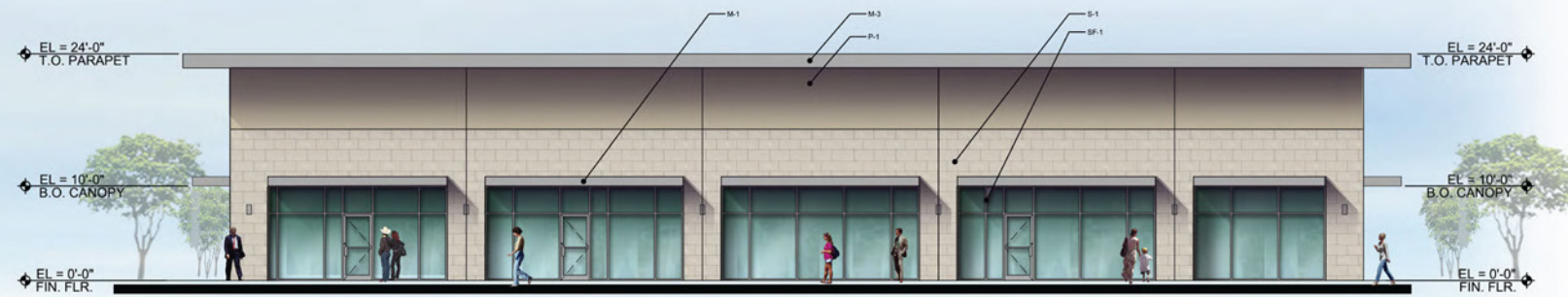
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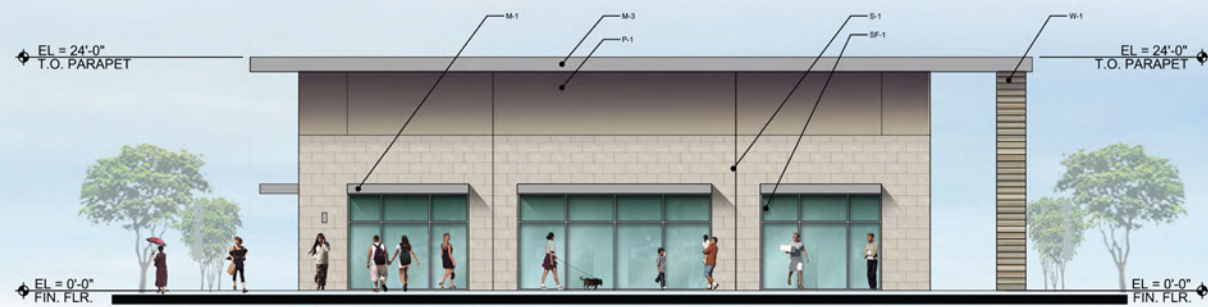




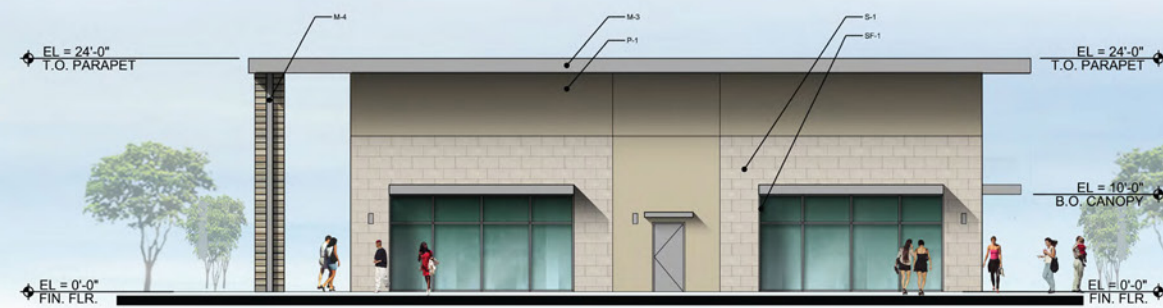
01-WEST ELEVATION



02-EAST ELEVATION



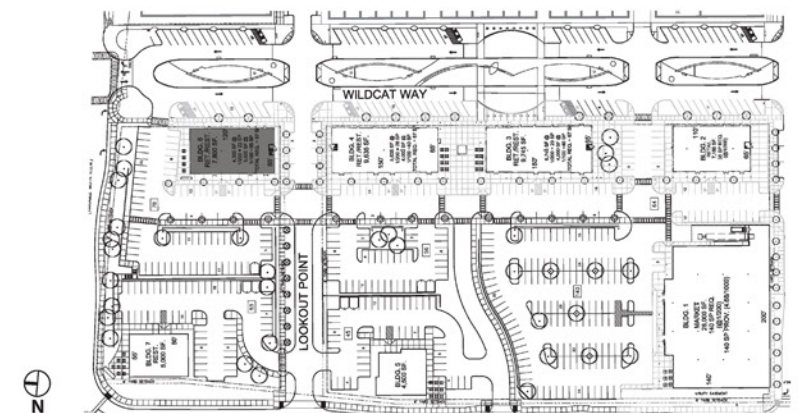
03-NORTH ELEVATION

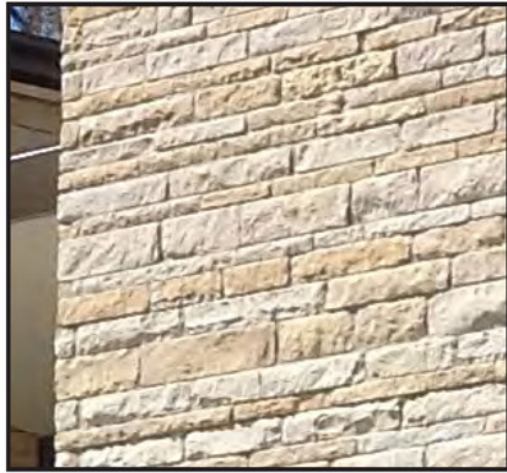


04-SOUTH ELEVATION

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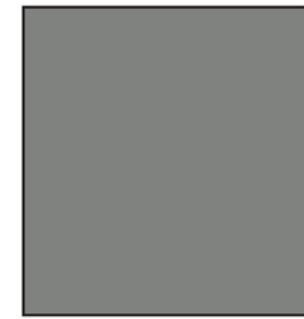
Natural Thin Veneer
Austin Brown Stove



Natural Thin Veneer,
Smooth Face Cream Honed



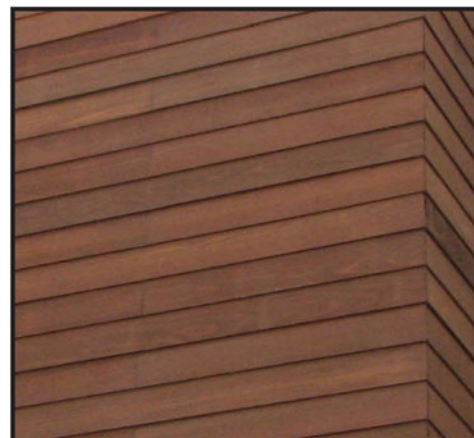
Painted Horizontal Metal Louvers,
Canopies and Columns



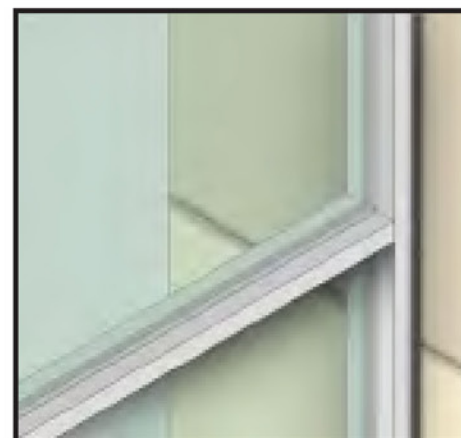
Cityscape
SW-7067



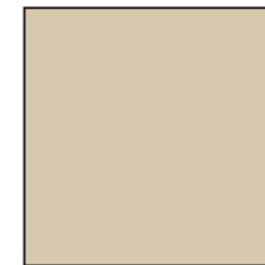
Nichiha Fiber Cement Board,
Vintage Wood, Sequoia



"Clear Heart" Redwood - Stain
& Seal (Includes Soffits)



Storefront, Clear Anodized Finish



Creamy White
SW-7012



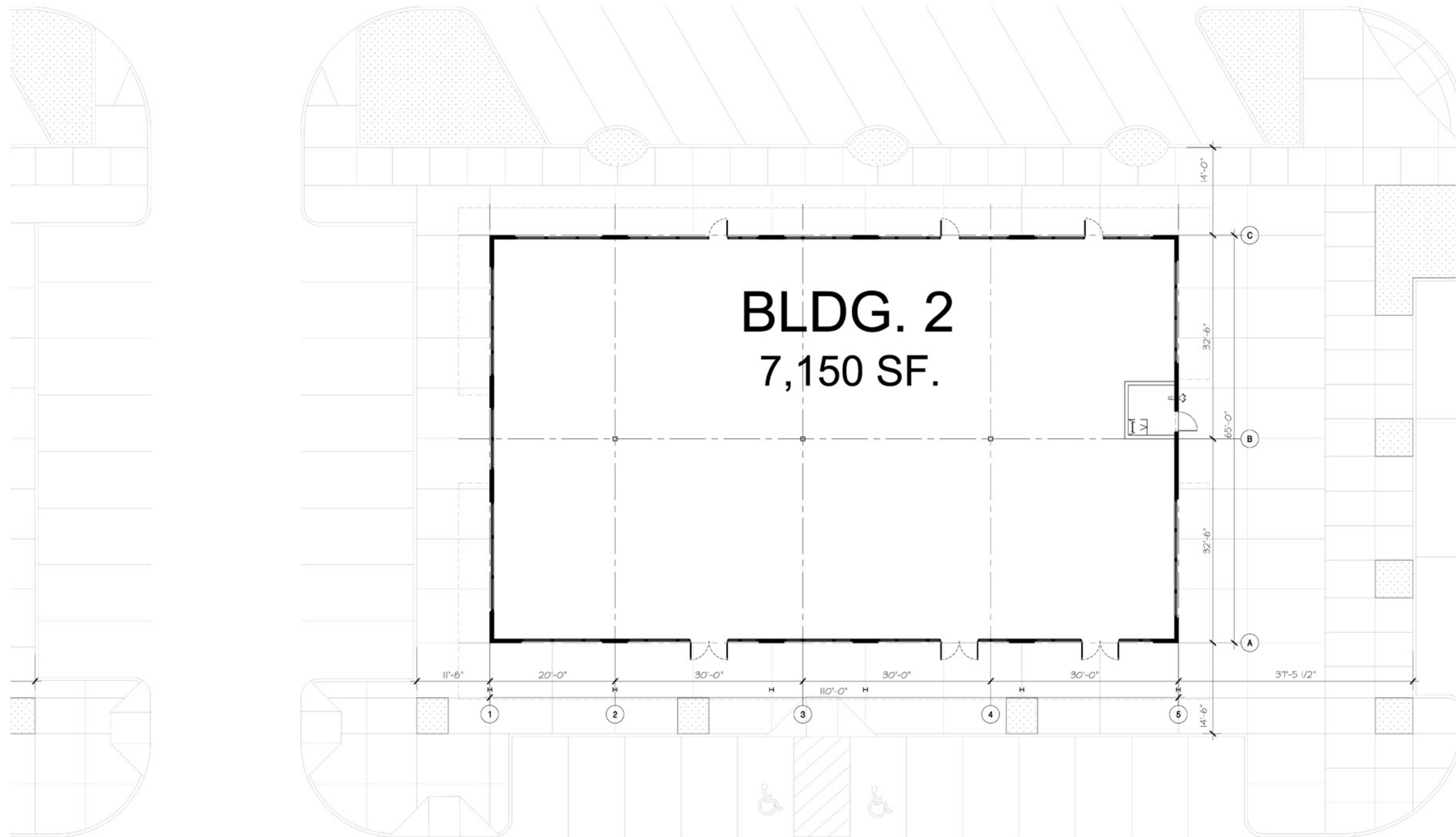
Stucco:
Cream



Thunder Gray
SW-7645

Stucco and Painted Tilt-Wall





BLDG. 2
7,150 SF.



