

Applicable Urban Design Priorities Project Should Achieve

[1] Panel comments for Liberty Building Phase 1 below. Project originally reviewed at the Aug 2013 UDPRP.

City of Dallas

UDPRP Review Summary 08.23.13

Urban Design Peer Review Panel

DATE: 08.23.13

TIME: 8:30am

PROJECT: Liberty Building

LOCATION: Dallas City Hall Room 5ES

Overview

Below is a summary of Urban Design Peer Review Panel advice for the Liberty Building Redevelopment as derived from the August 23 Peer Review session.

Advice Summary

- [1] The panel encourages that the precedence for a line of street trees should be established along Harwood by adding one or two trees on the north side of parking drive placed in alignment with adjacent proposed street trees.
- [2] The panel understands the pragmatism of the current parking solution but would also encourage looking at an overall vision for the master plan of the block that considers a longer term strategy for relocating the parking to allow for the traditional Canton right of way to be reestablished in the future for vehicular or pedestrian use.



Policy References

Downtown Dallas 360
Chapter 3, Chapter 4

Forward Dallas!
Section 5 [urban design element]

TIF Urban Design Guidelines
Part III, Part IV [farmers market]

Context Description

Phase one of the Preserve Liberty project consisted of the relocation of the Liberty building from Elm Street to Harwood Street. The original building building, constructed in 1886, was marked for demolition due to the realignment of Cesar Chaves Boulevard. The Liberty Building, along with the neighboring building are to be reused as components of a larger vision for the area surrounding the Farmers Market. The phase two component involves the reconstruction of building two at the Harwood location.

Project considerations include reviewing the implementation of previous phase one related panel comments, along with identifying any further recommendations or opportunities identified through the phase two proposal.

Liberty Building Phase Two

Neighborhood:
Farmers Market

Program:
Commercial

Retail: 5,580 sqft

Liberty Building

Phase II Building Addition

Dallas, Texas

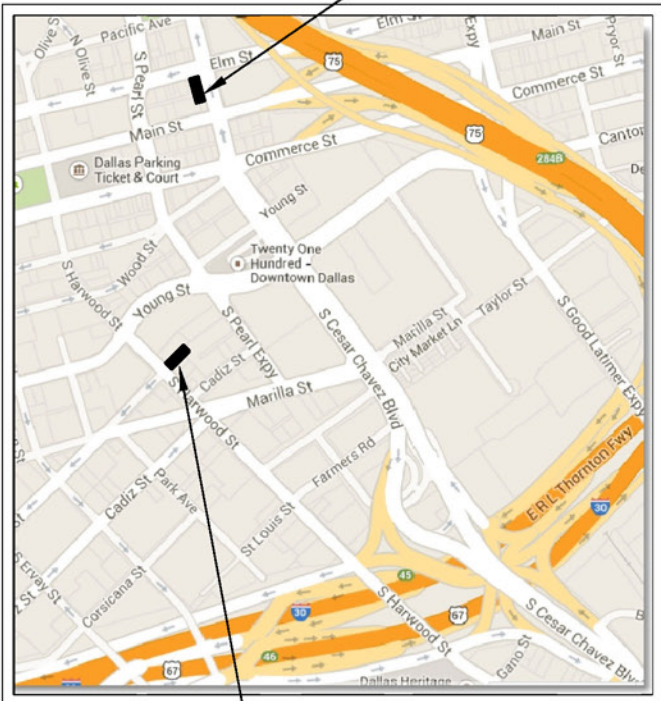
July 30, 2013

INDEX OF DRAWINGS

- ARCHITECTURAL
- A-0 COVER SHEET
 - A-1 SITE PLAN
 - A-2 FIRST AND SECOND LEVEL FLOOR PLANS
 - A-3 WEST BUILDING ELEVATION
 - A-4 NORTH BUILDING ELEVATION

EXISTING LOCATION
LIBERTY BUILDING
2226 ELM ST.

CONTEXT MAP - RELOCATION



CITY OF DALLAS

PROPOSED NEW LOCATION
LIBERTY BUILDING
600 S. HARWOOD ST.



HISTORIC PHOTO



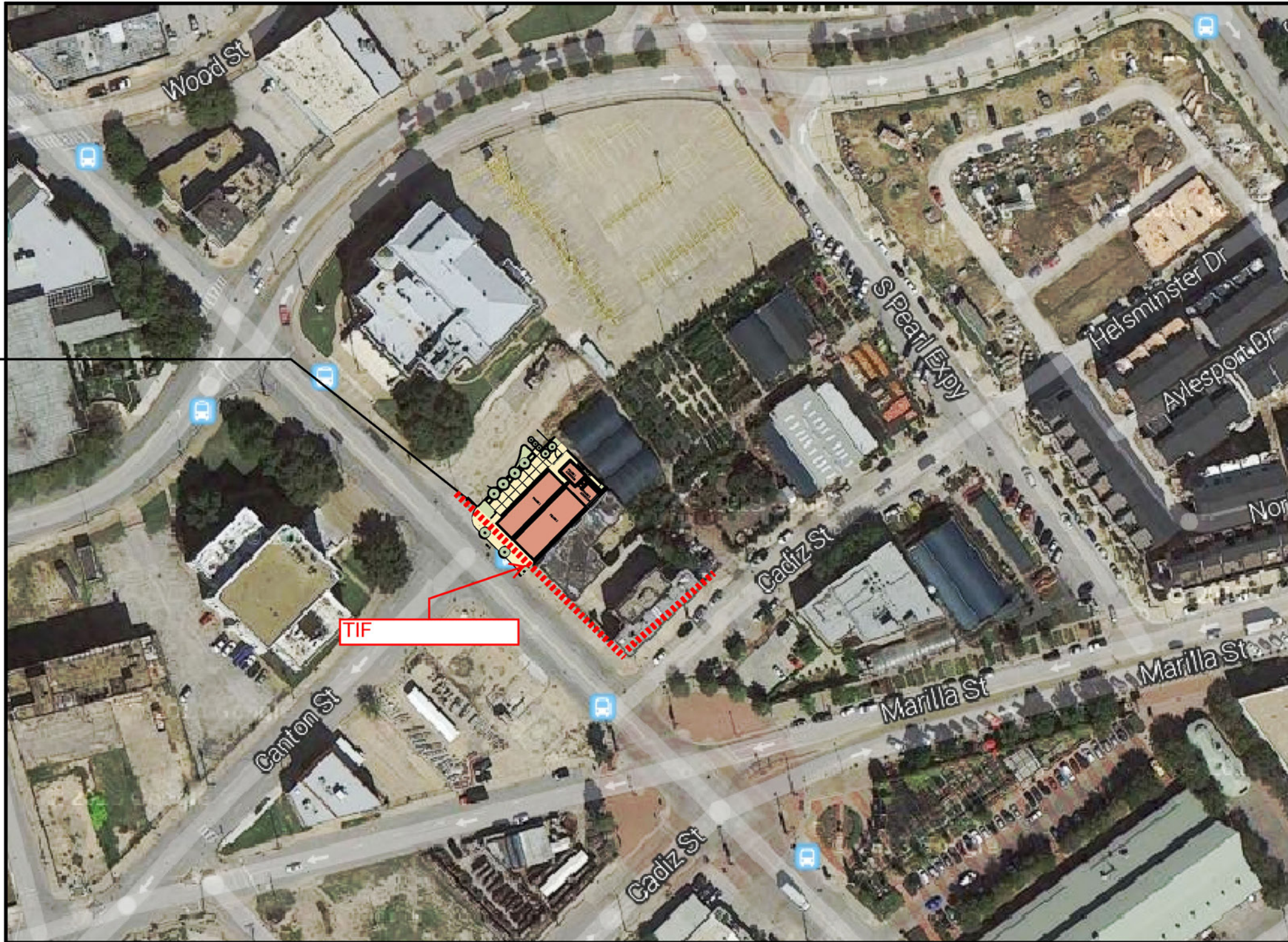
EXISTING PHOTO



ARCHITEXAS

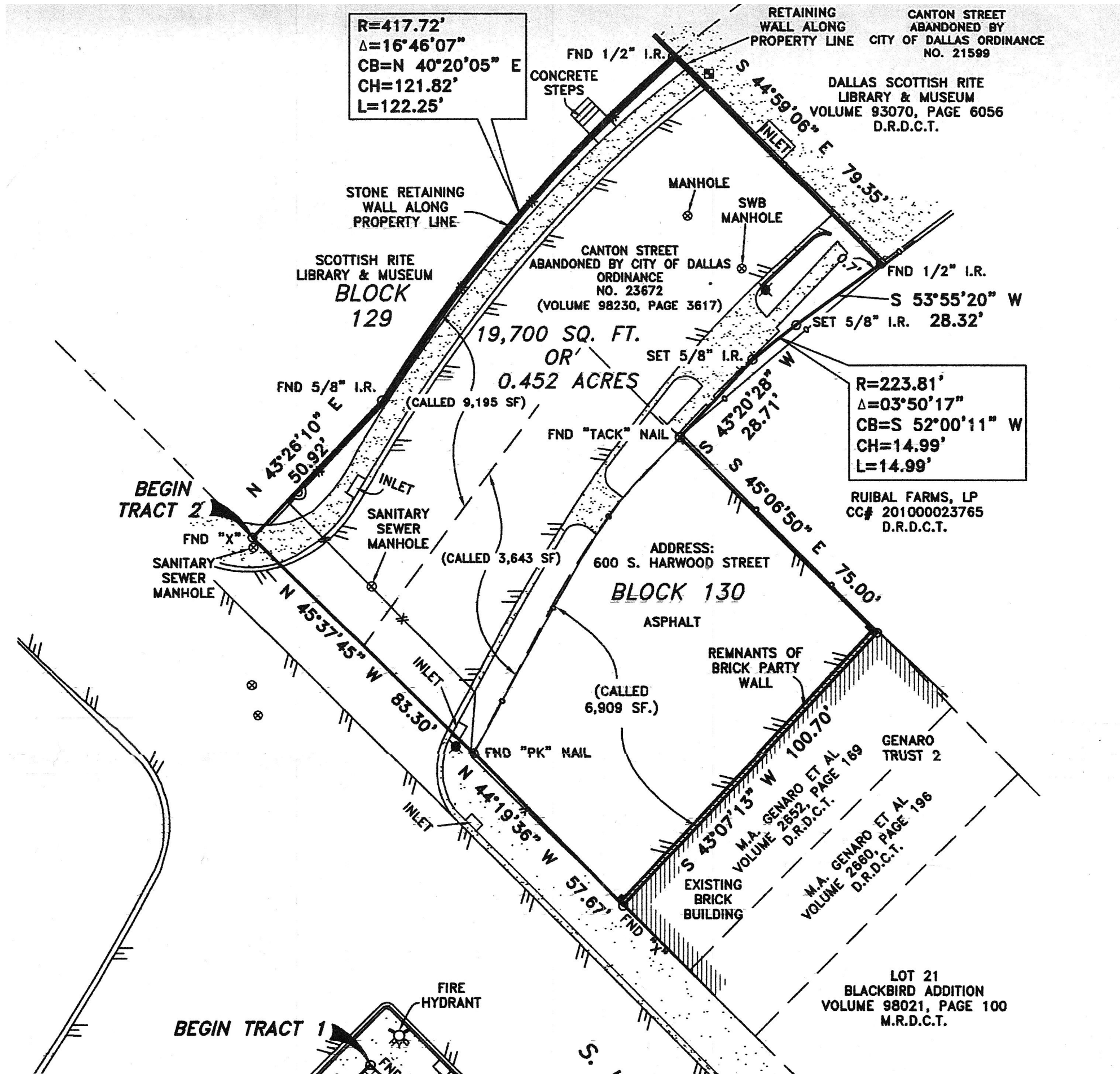


LIBERTY BLDG



1 Area Plan
Scale NTD





$R=417.72'$
 $\Delta=16^{\circ}46'07''$
 $CB=N\ 40^{\circ}20'05''\ E$
 $CH=121.82'$
 $L=122.25'$

RETAINING WALL ALONG PROPERTY LINE
 CANTON STREET ABANDONED BY CITY OF DALLAS ORDINANCE NO. 21599

DALLAS SCOTTISH RITE LIBRARY & MUSEUM
 VOLUME 93070, PAGE 6056
 D.R.D.C.T.

SCOTTISH RITE LIBRARY & MUSEUM
BLOCK 129

19,700 SQ. FT.
 OR
 0.452 ACRES

$R=223.81'$
 $\Delta=03^{\circ}50'17''$
 $CB=S\ 52^{\circ}00'11''\ W$
 $CH=14.99'$
 $L=14.99'$

RUIBAL FARMS, LP
 CC# 201000023765
 D.R.D.C.T.

ADDRESS:
 600 S. HARWOOD STREET
BLOCK 130
 ASPHALT

GENARO TRUST 2

M.A. GENARO ET AL
 VOLUME 2852, PAGE 169
 D.R.D.C.T.
 EXISTING BRICK BUILDING
 M.A. GENARO ET AL
 VOLUME 2880, PAGE 196
 D.R.D.C.T.

LOT 21
 BLACKBIRD ADDITION
 VOLUME 98021, PAGE 100
 M.R.D.C.T.

BEGIN TRACT 2

BEGIN TRACT 1

FIRE HYDRANT

STONE RETAINING WALL ALONG PROPERTY LINE

CONCRETE STEPS

MANHOLE
SWB MANHOLE

SANITARY SEWER MANHOLE

SANITARY SEWER MANHOLE

REMNANTS OF BRICK PARTY WALL

EXISTING BRICK BUILDING

FND 5/8" I.R.

FND "TACK" NAIL

FND "PK" NAIL

FND 1/2" I.R.

FND 1/2" I.R.

FND "X"

FND "X"

N 43°26'10" E

50.92'

N 45°37'45" W

83.30'

N 44°19'36" W

57.67'

S 43°07'13" W

100.70'

S 45°06'50" E

75.00'

SET 5/8" I.R.

SET 5/8" I.R.

28.32'

S 43°20'28" W

28.71'

S 53°55'20" W

79.35'

S 44°59'06" E

79.35'

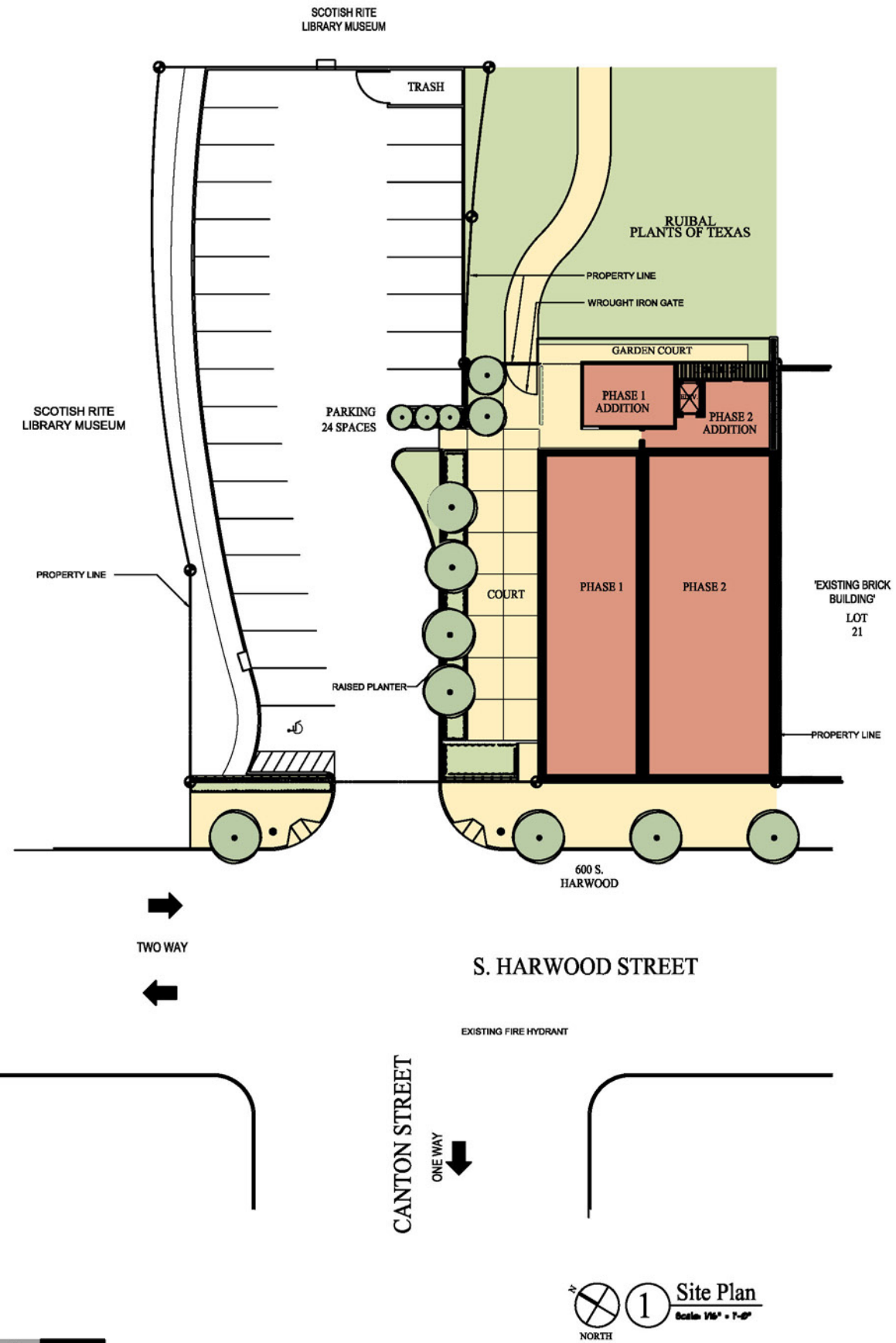
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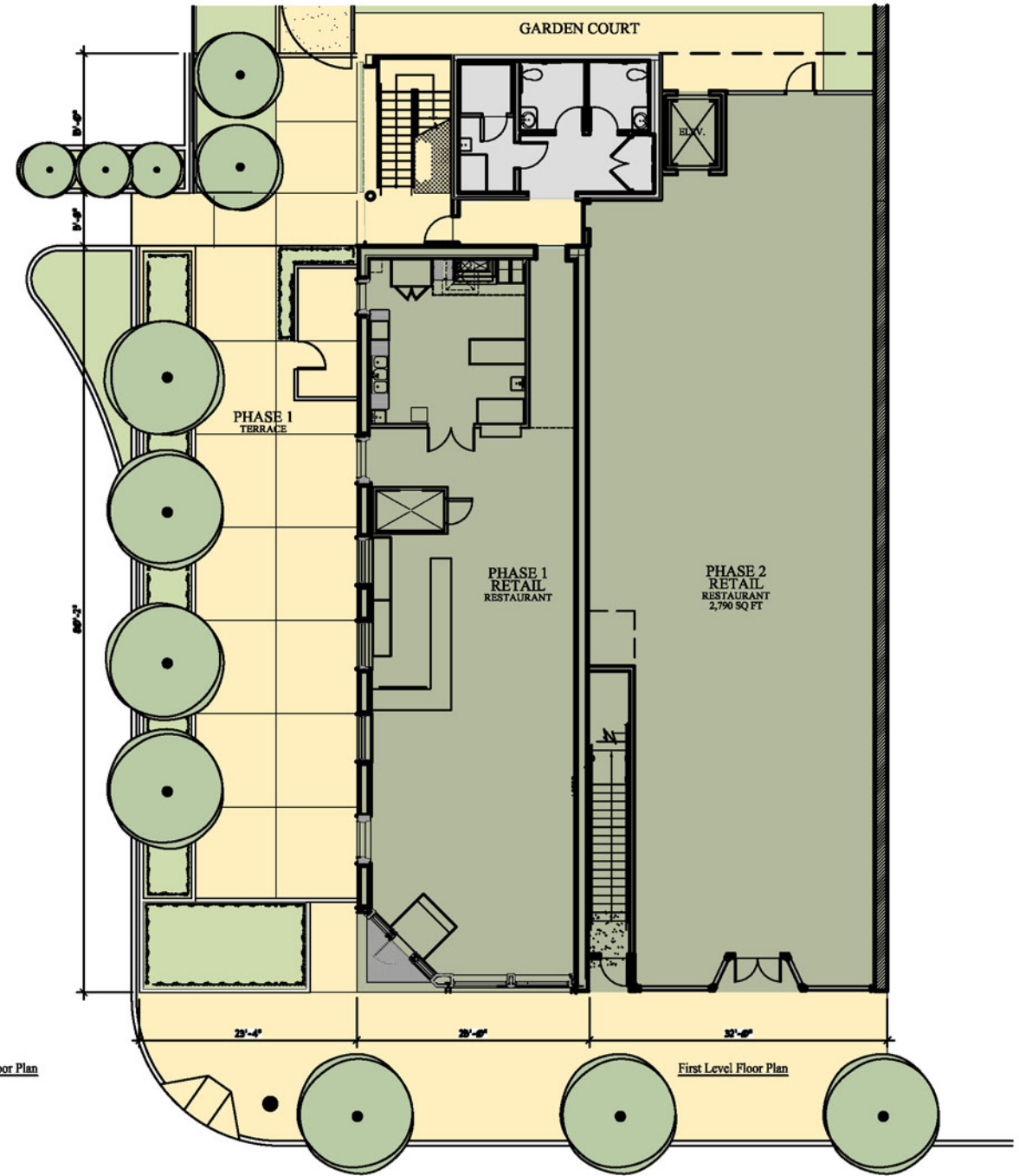
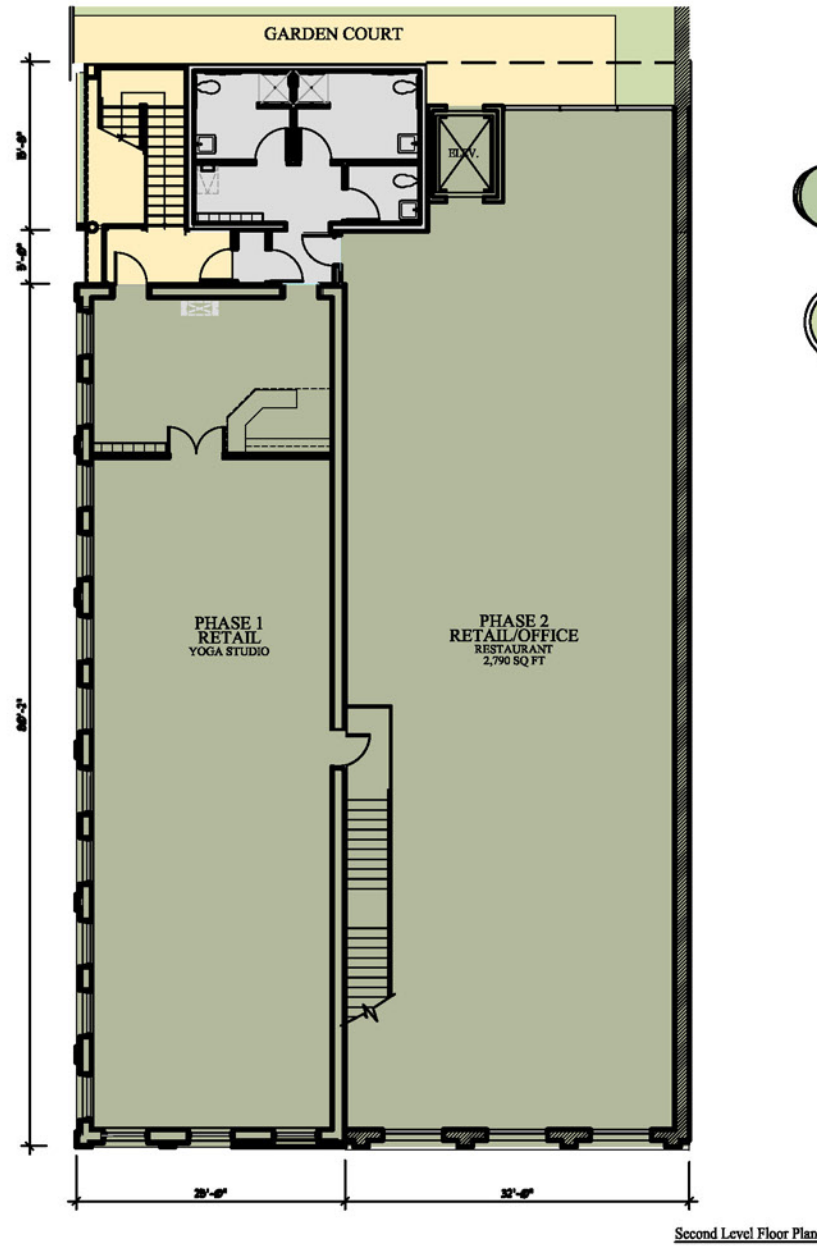
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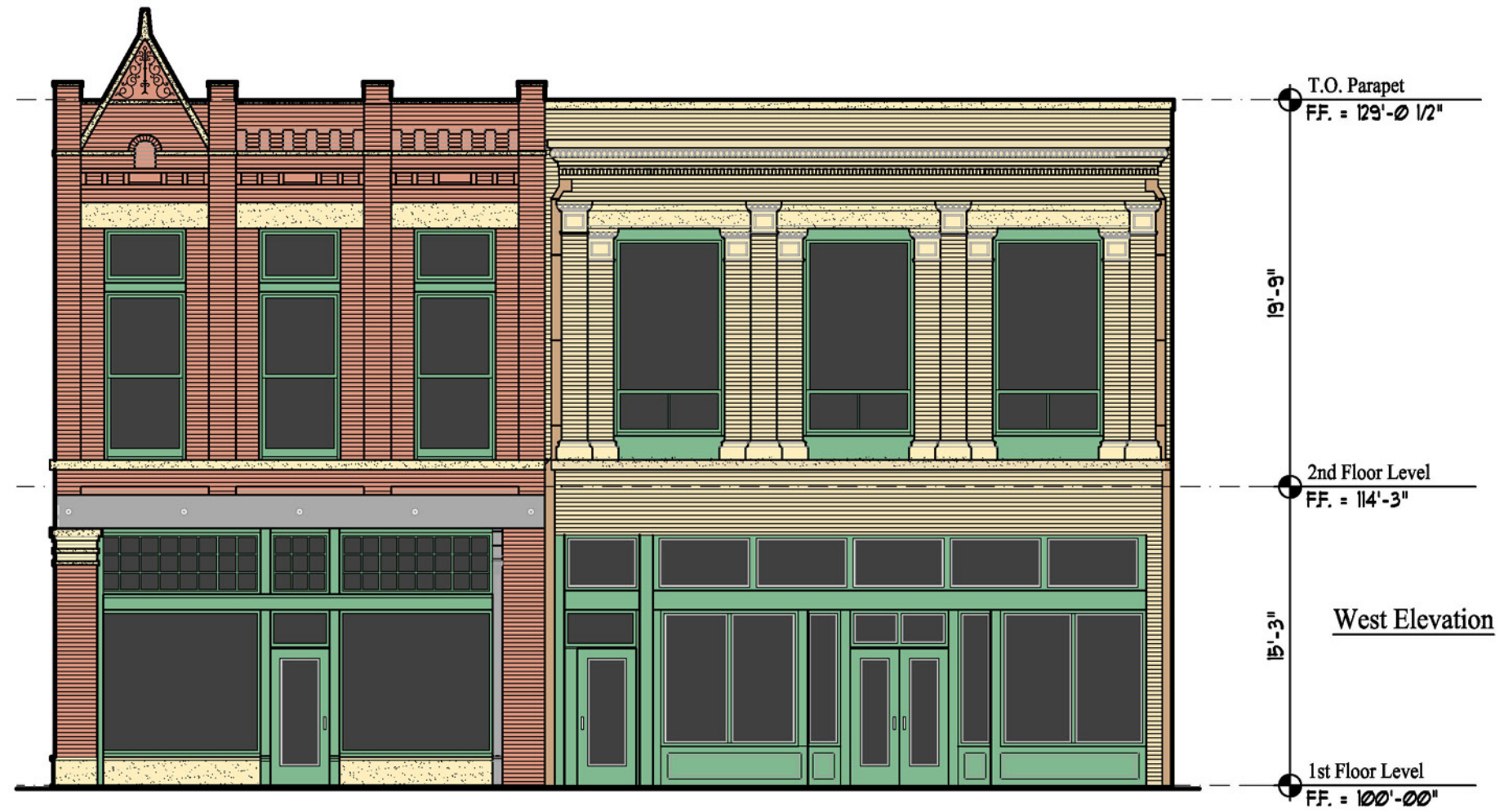
Area Legend

	RETAIL
	OFFICE
	COMMON



 1 Floor Plans
Scale 1/8" = 1'-0"





1
Harwood Street Elevation
 Scale: 1/8" = 1'-0"
West

