

# *Inspire*Dallas

The future of living in our city

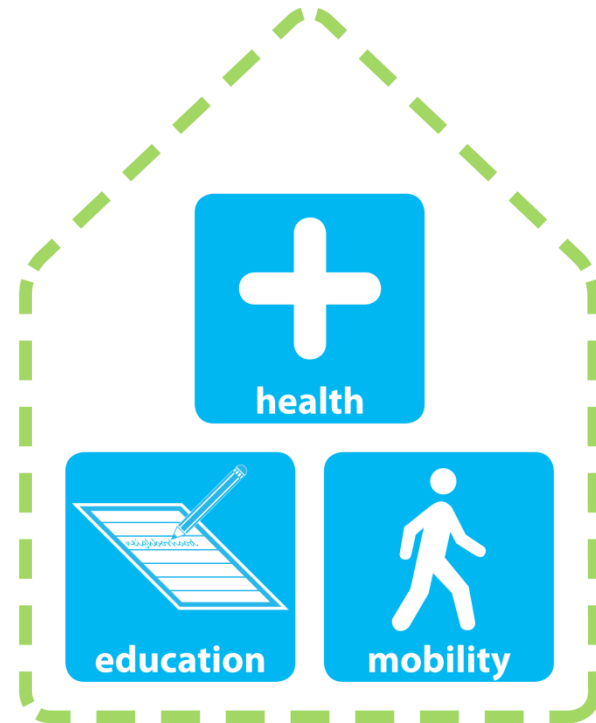
## Core Partners Forum

December 9, 2014

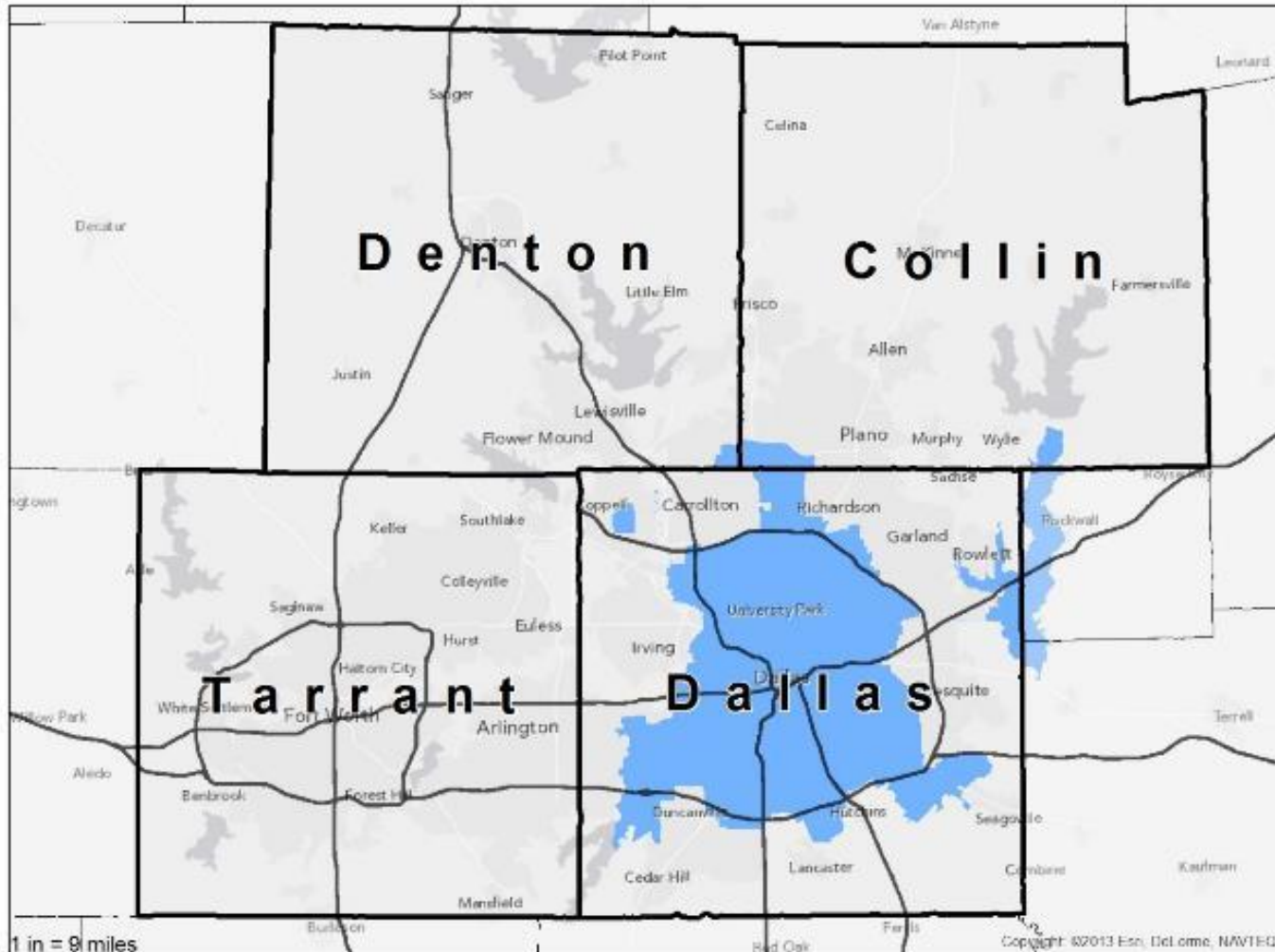


## Overarching Goal

- **Housing Plus!**  
Promote healthy,  
safe and sustainable  
neighborhoods  
throughout Dallas

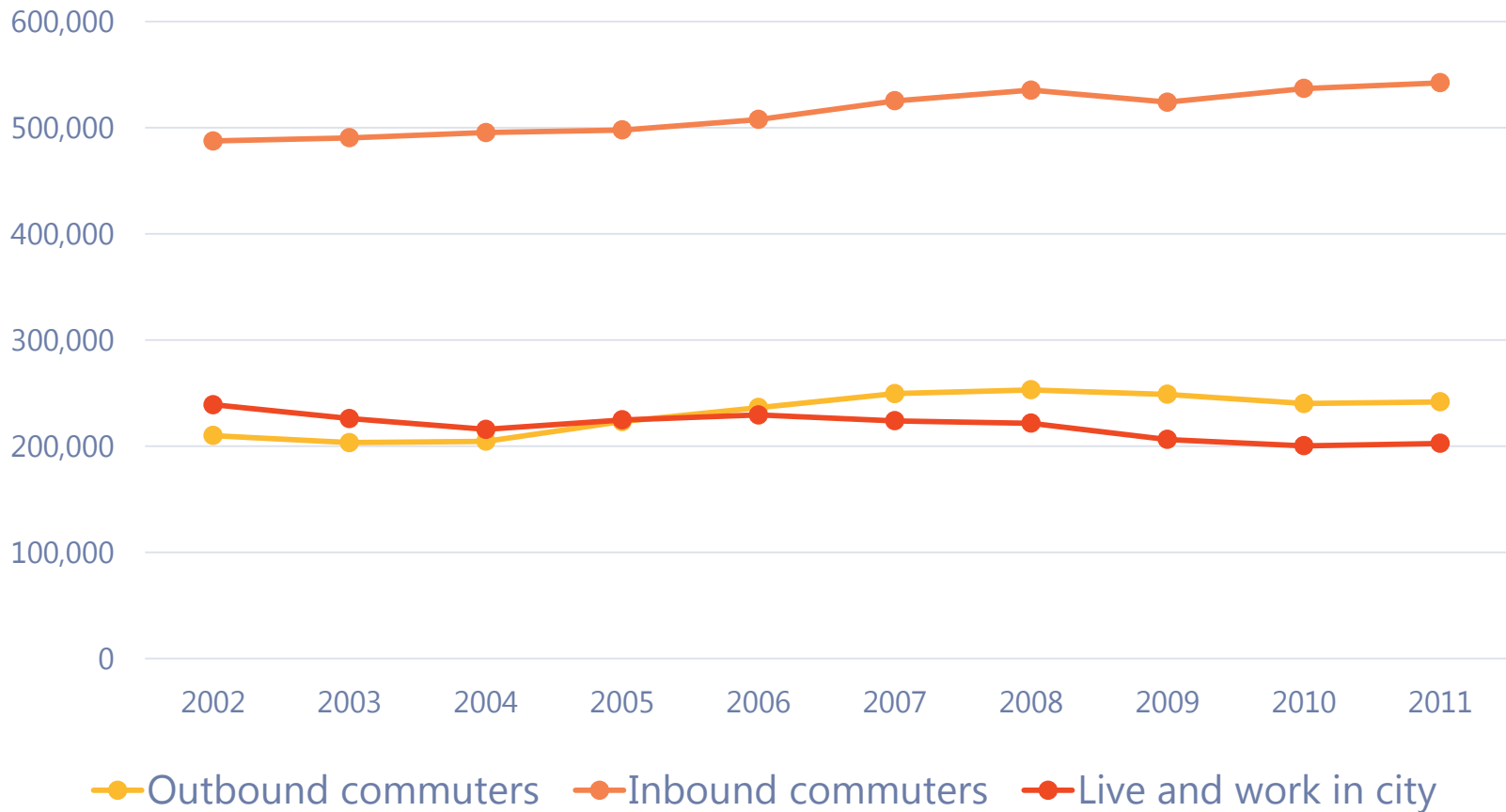


# Dallas in Context



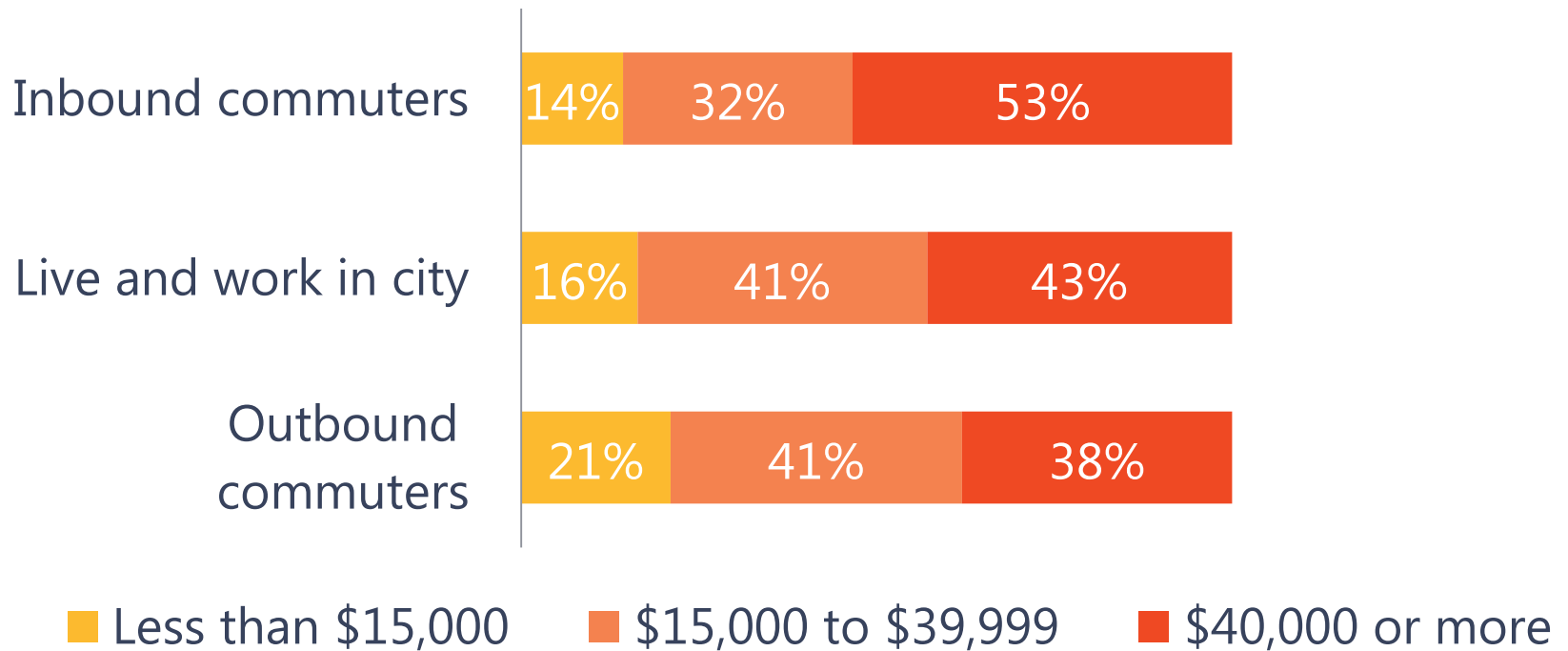
# Workforce Analysis

## Residence of workforce, 2002-2011

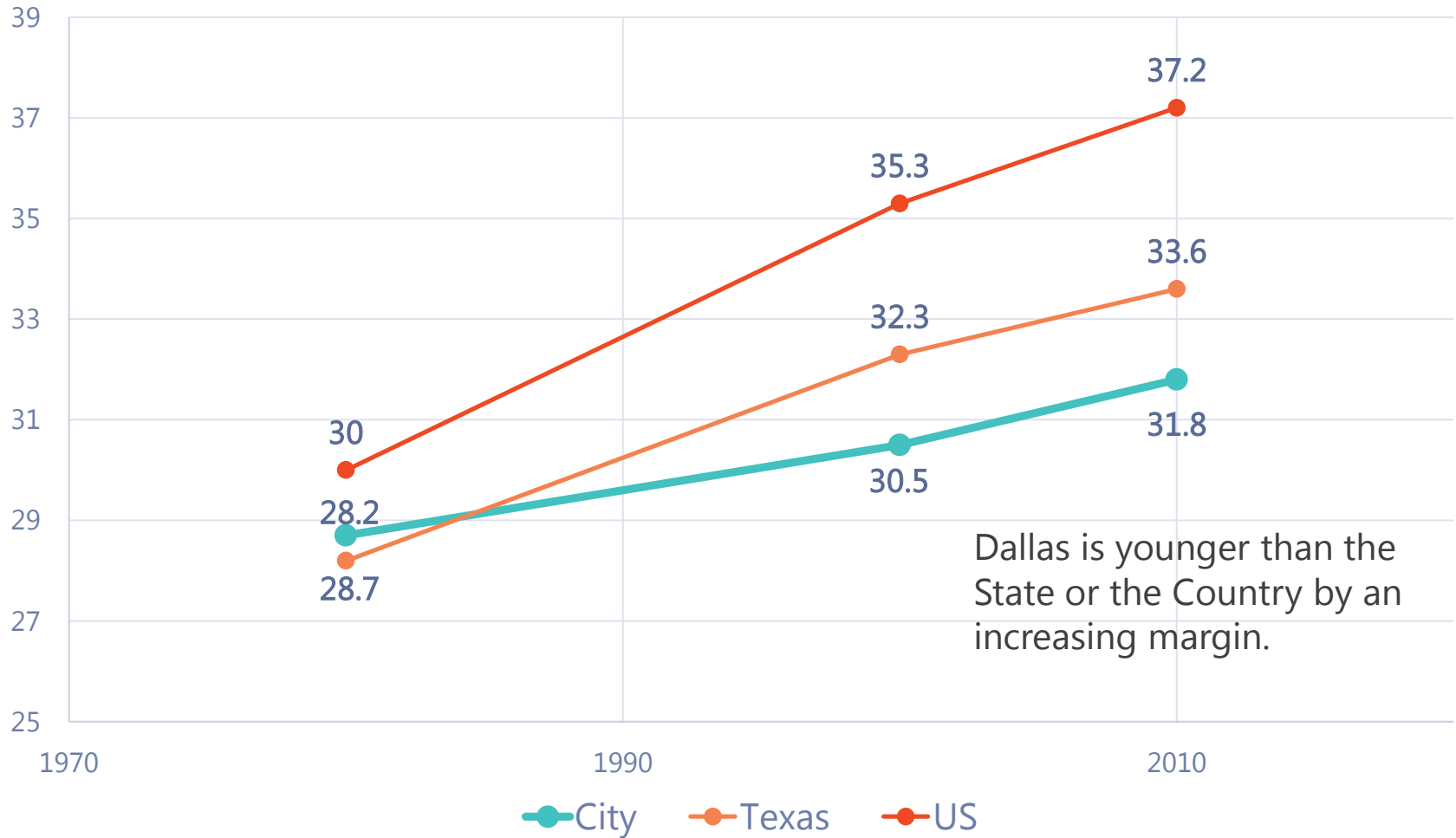


# Workforce Analysis

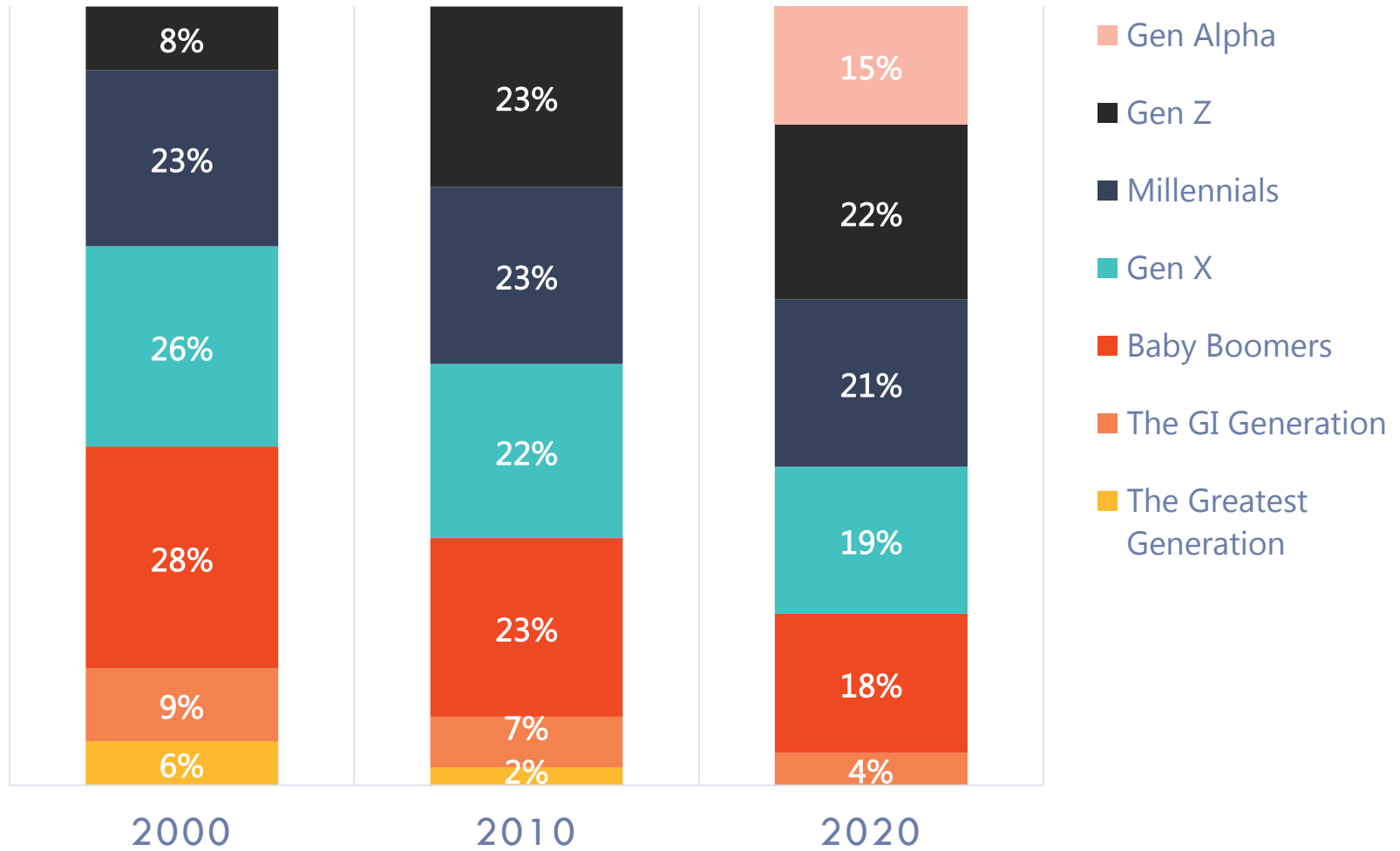
## Income distribution of workforce, 2011



# Median Age

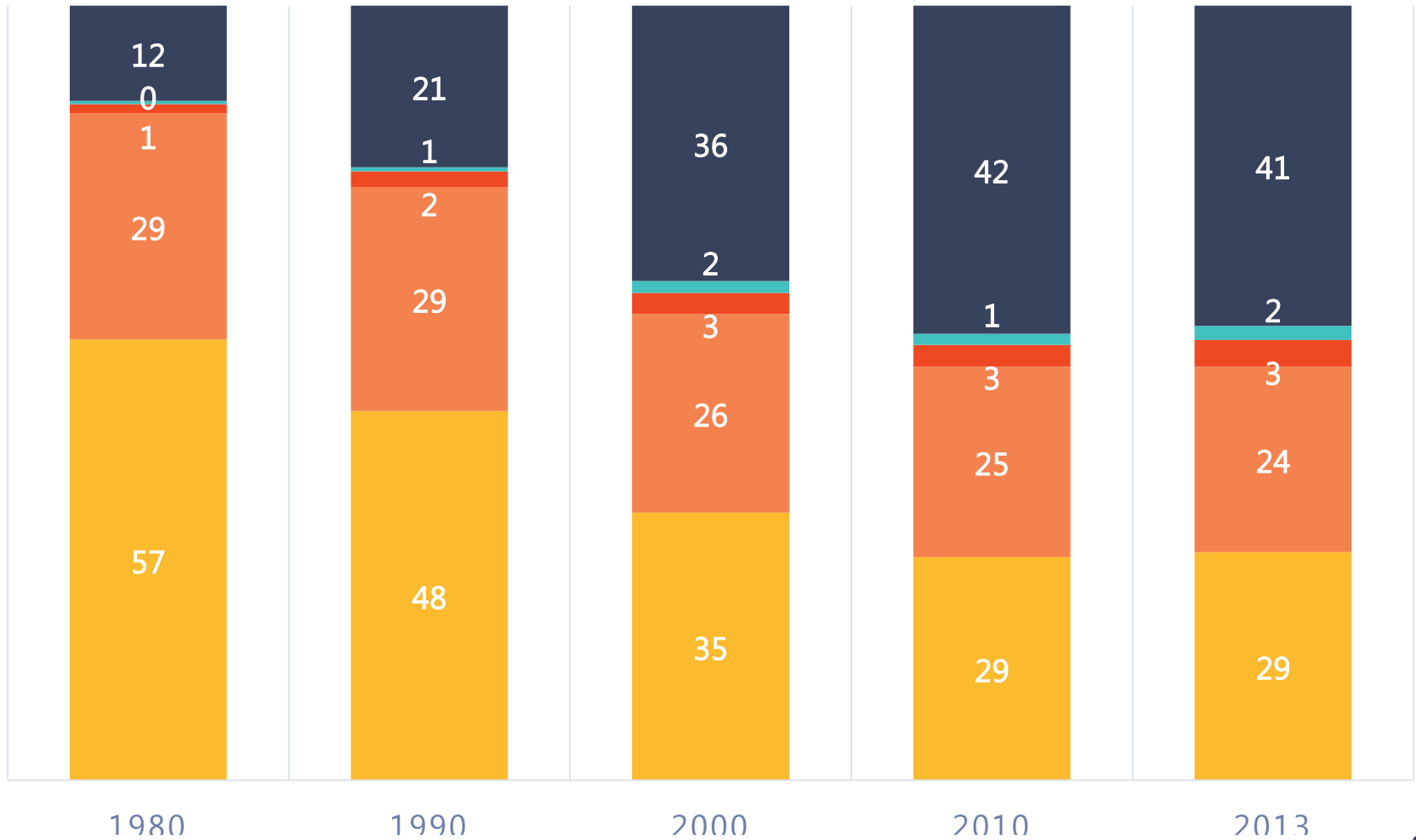


# Change in Generations: Dallas County Over Time



# Change in Age and Ethnic Mix

■ White Non-Hispanic   
 ■ Black or African American   
 ■ Asian   
 ■ Other   
 ■ Hispanic

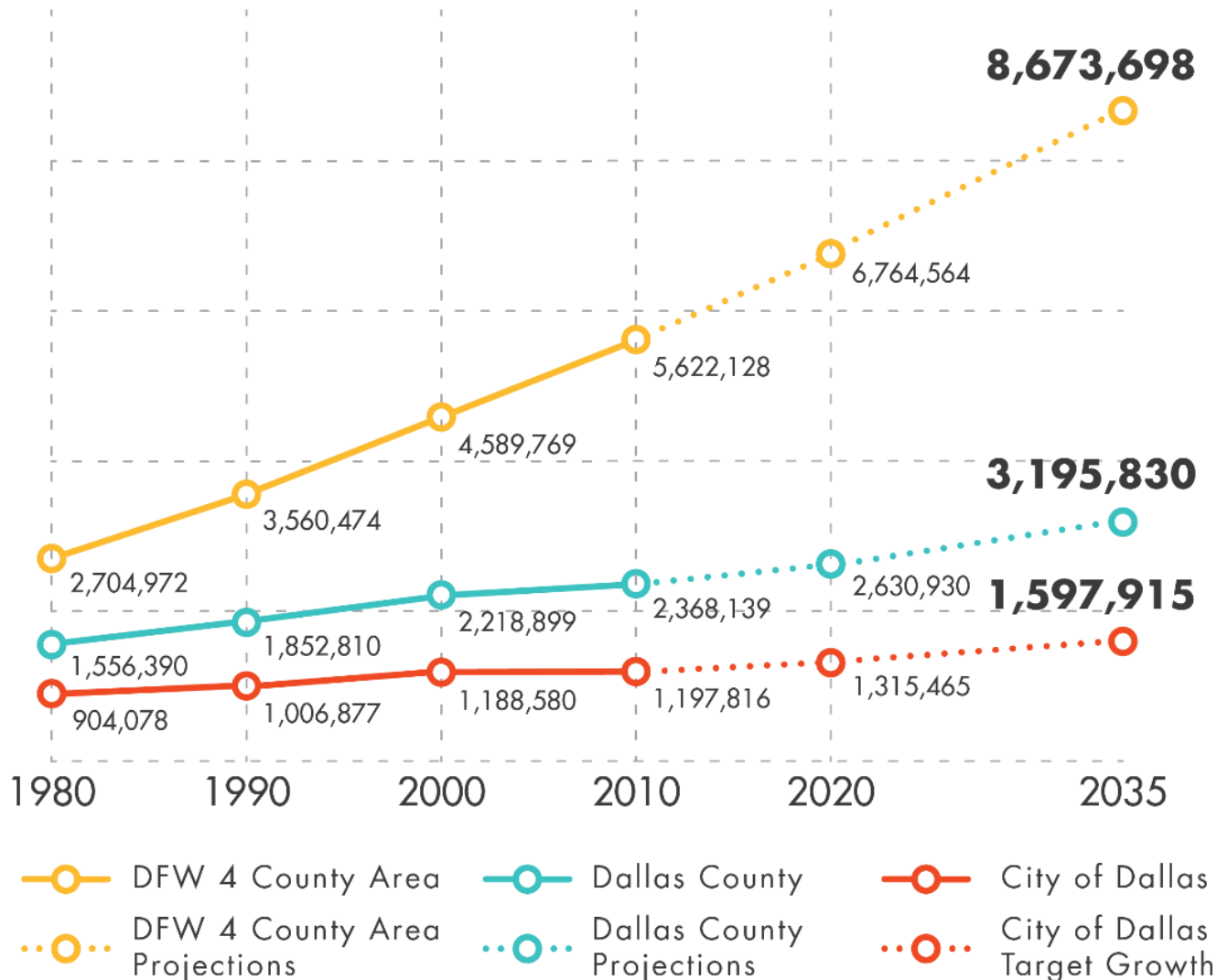




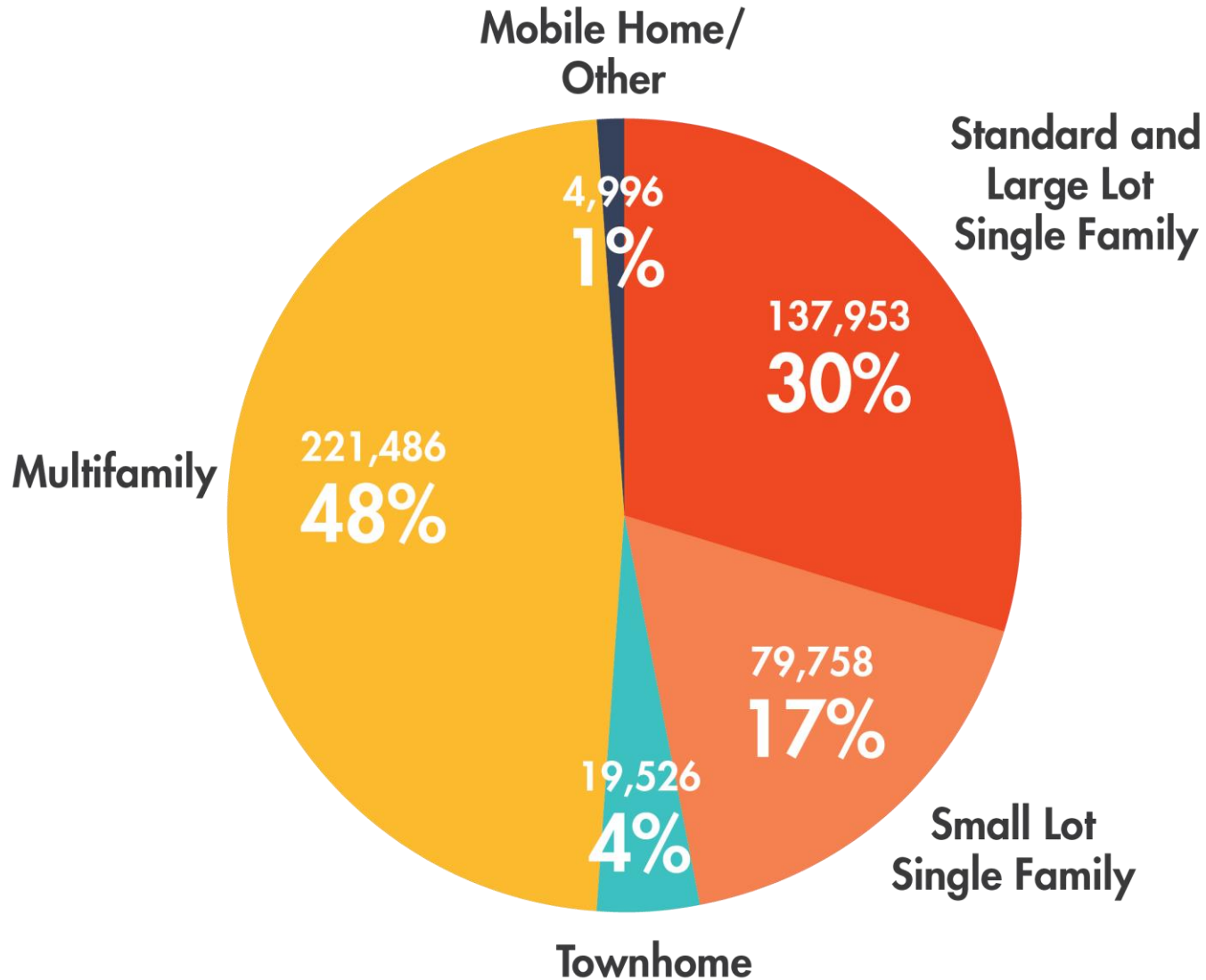
# Keeping Up With The Region

- Outcome:
  - Dallas remains 50% of the population of Dallas County by 2020
- Strategies:
  - Establish a growth target (or multiple targets for population, employment, housing units)
  - Expand options for housing to meet growing demand

# Dallas Population Growth



# Housing Type, 2012

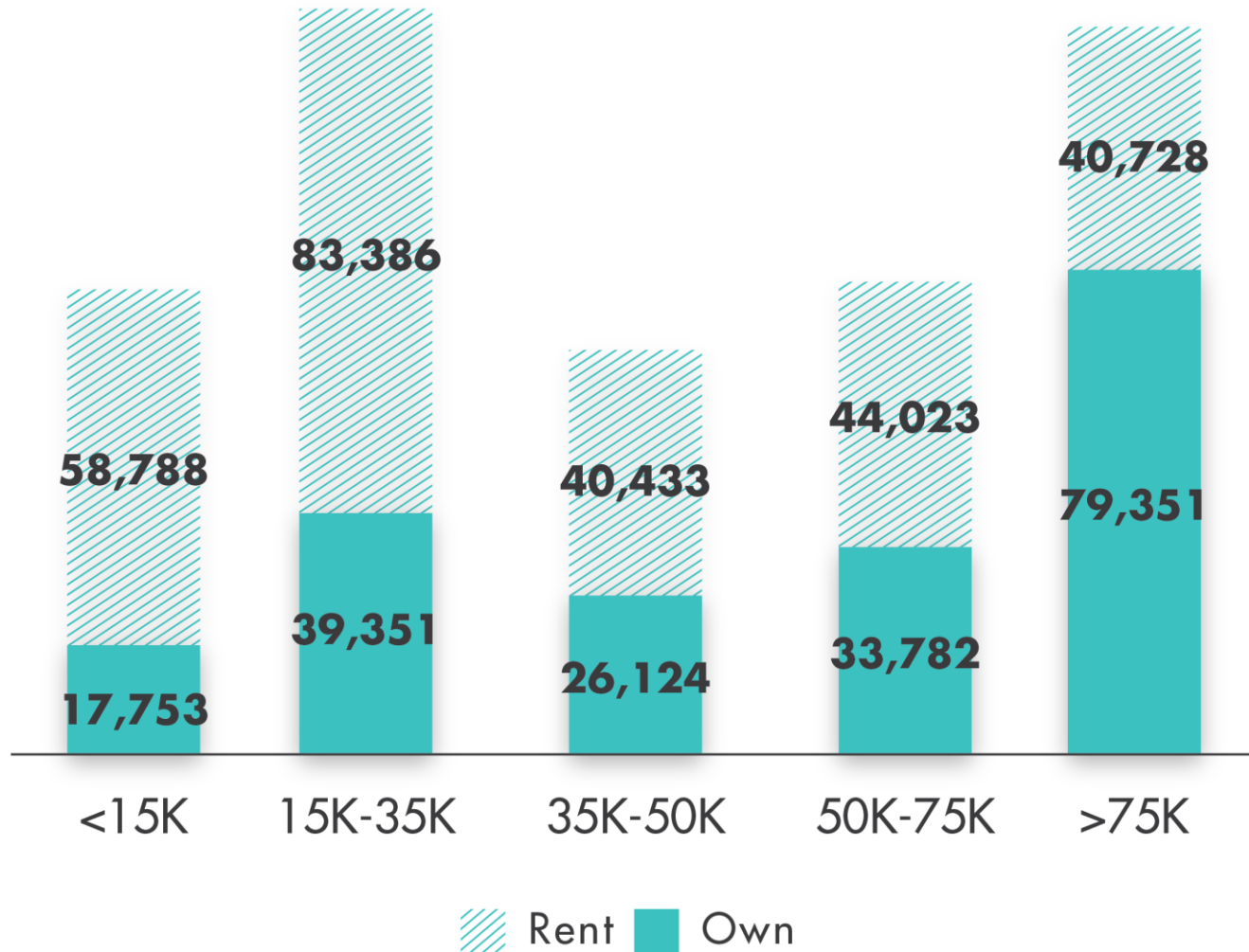


# Dallas 2020 Growth Target

## Annual Increment by Housing Type and Tenure

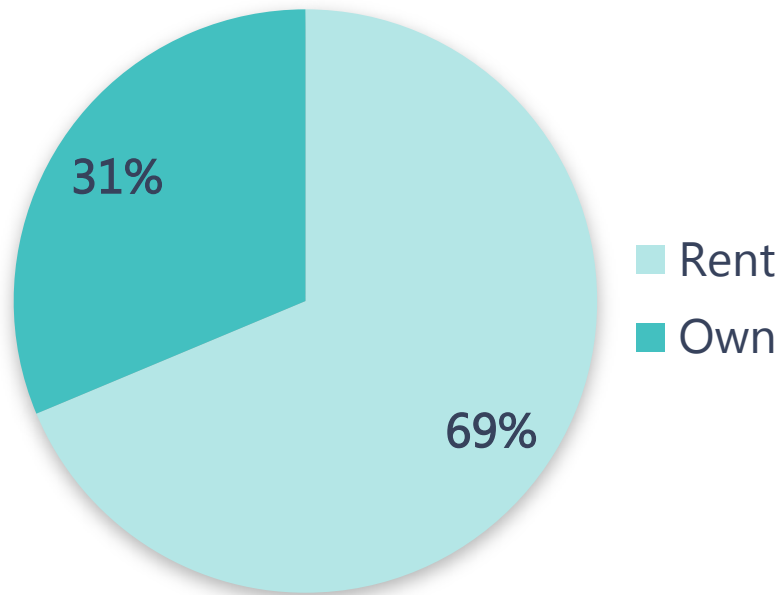


# Tenure by Household Income (2012)

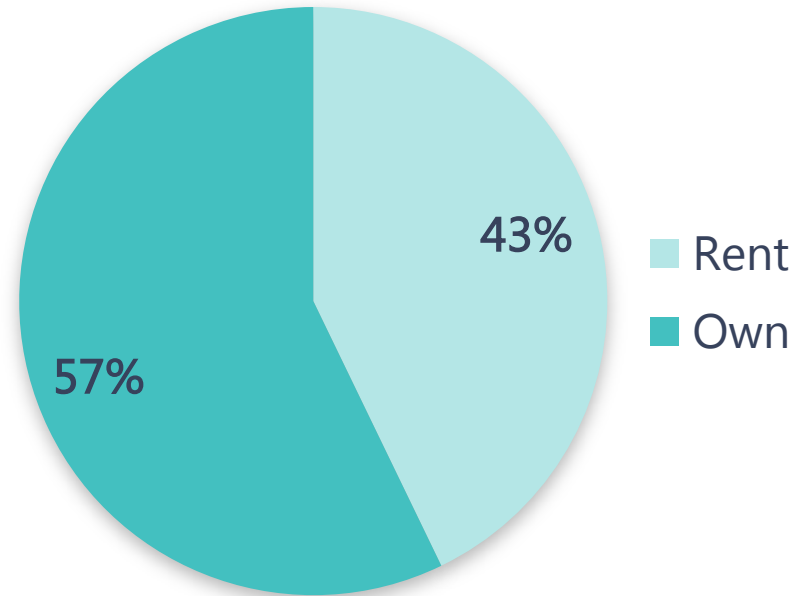


# Tenure in Dallas

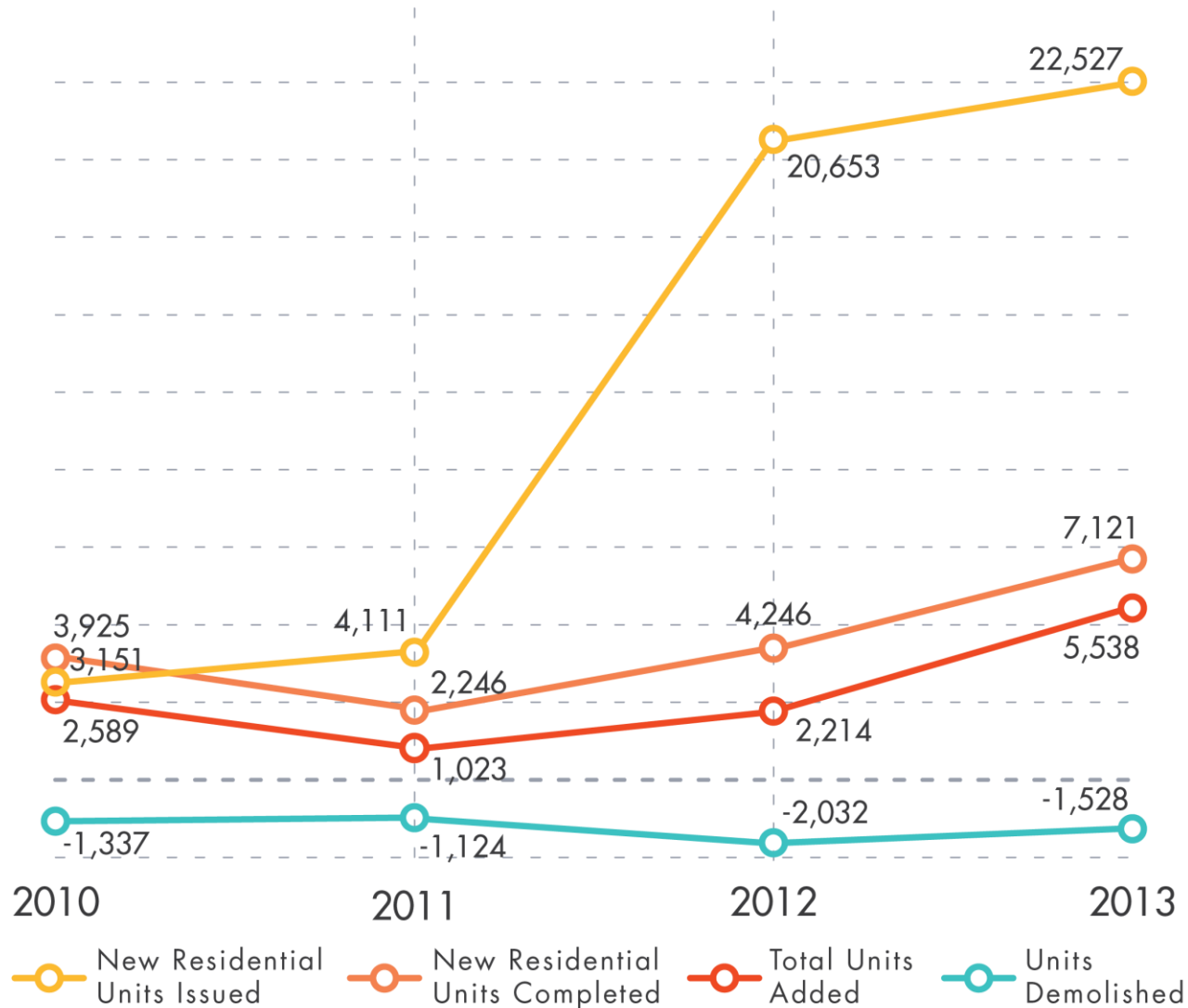
Tenure for Households Below  
\$50,000 per year



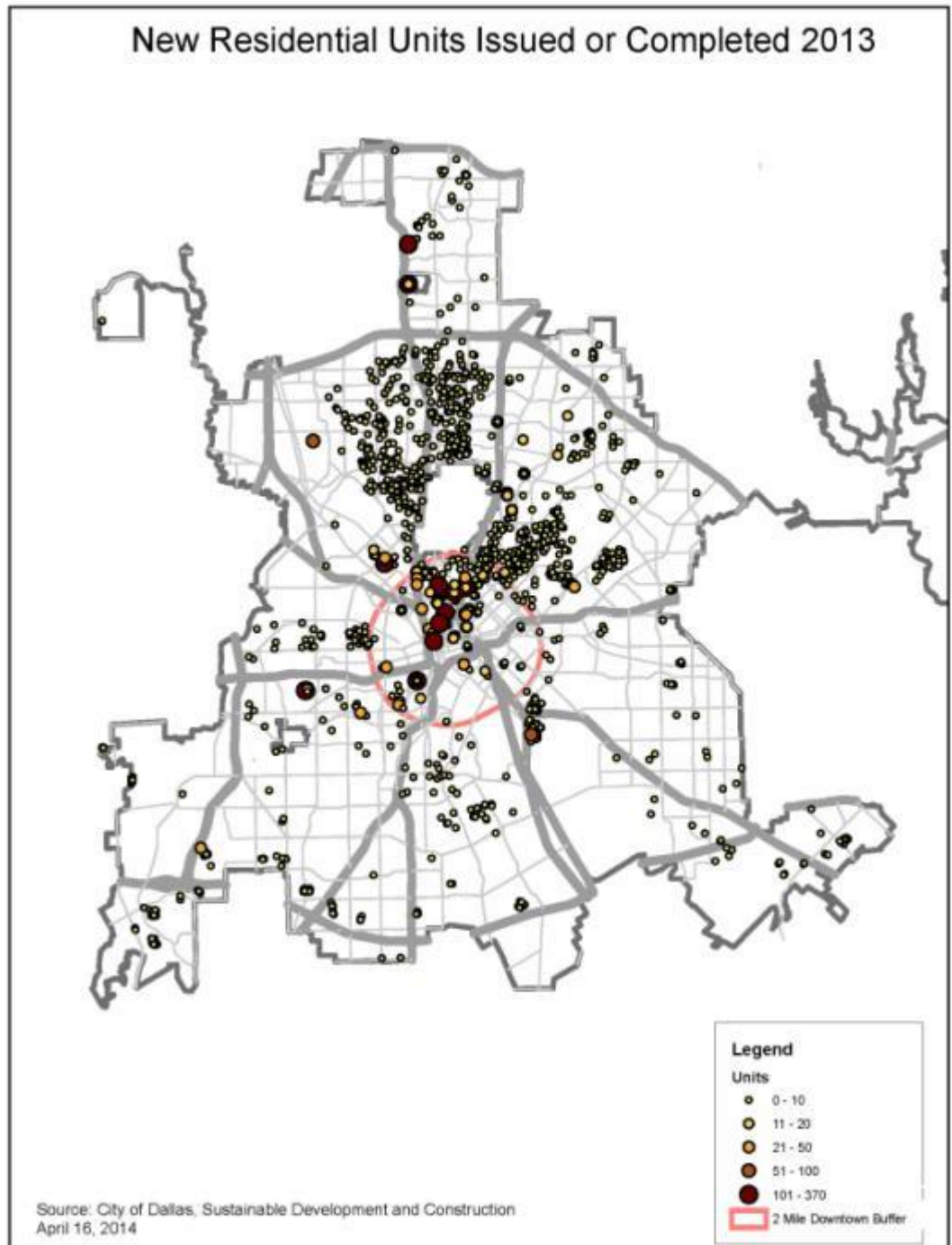
Tenure for Households Above  
\$50,000 per year



# New Units Issued & Completed (2010-2013)



# Map of Permits 2013

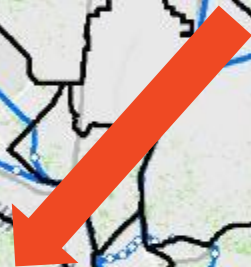




# Vacant Land 2005

City of Dallas, 2012

Taking a closer look



- Neighborhoods
- DART station
- DART line
- Major highways
- Flood plain area
- Bodies of water
- Vacant Land 2005



Source: U.S. Census Bureau, American Community Survey 2012 1-Year Estimates, retrieved via NHGIS.org



# Vacant Land 2005

City of Dallas, 2012

Inspire Dallas  
The future of living in our city



- Neighborhoods
- DART station
- DART line
- Major highways
- Flood plain area
- Bodies of water
- Vacant Land 2005



bing

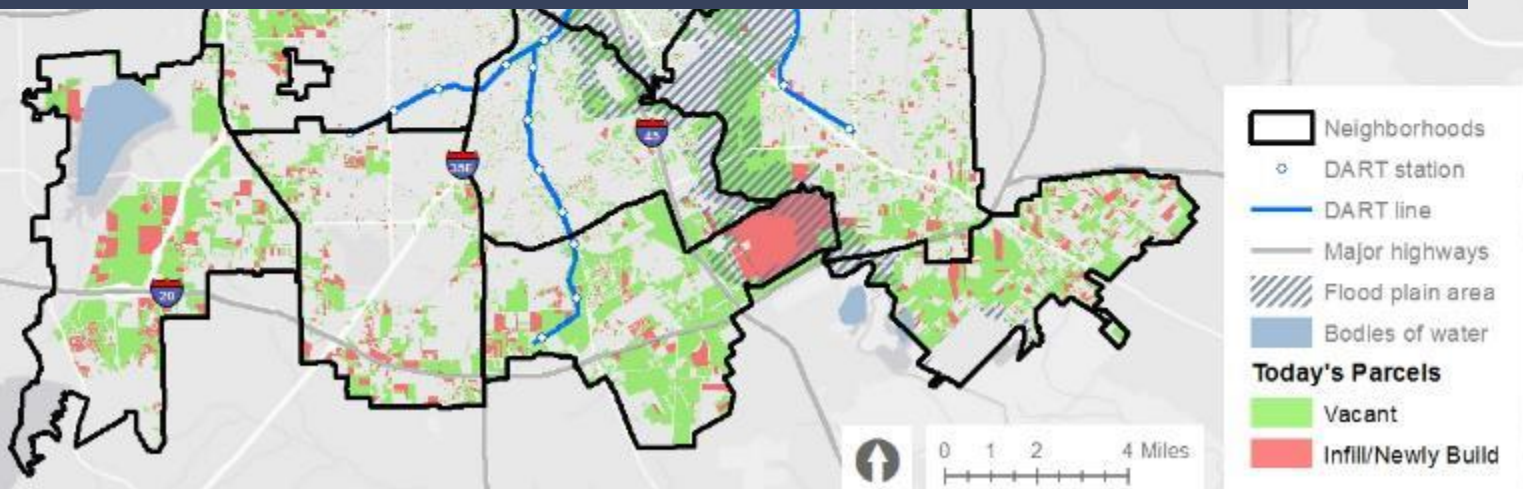


## Today's Parcels

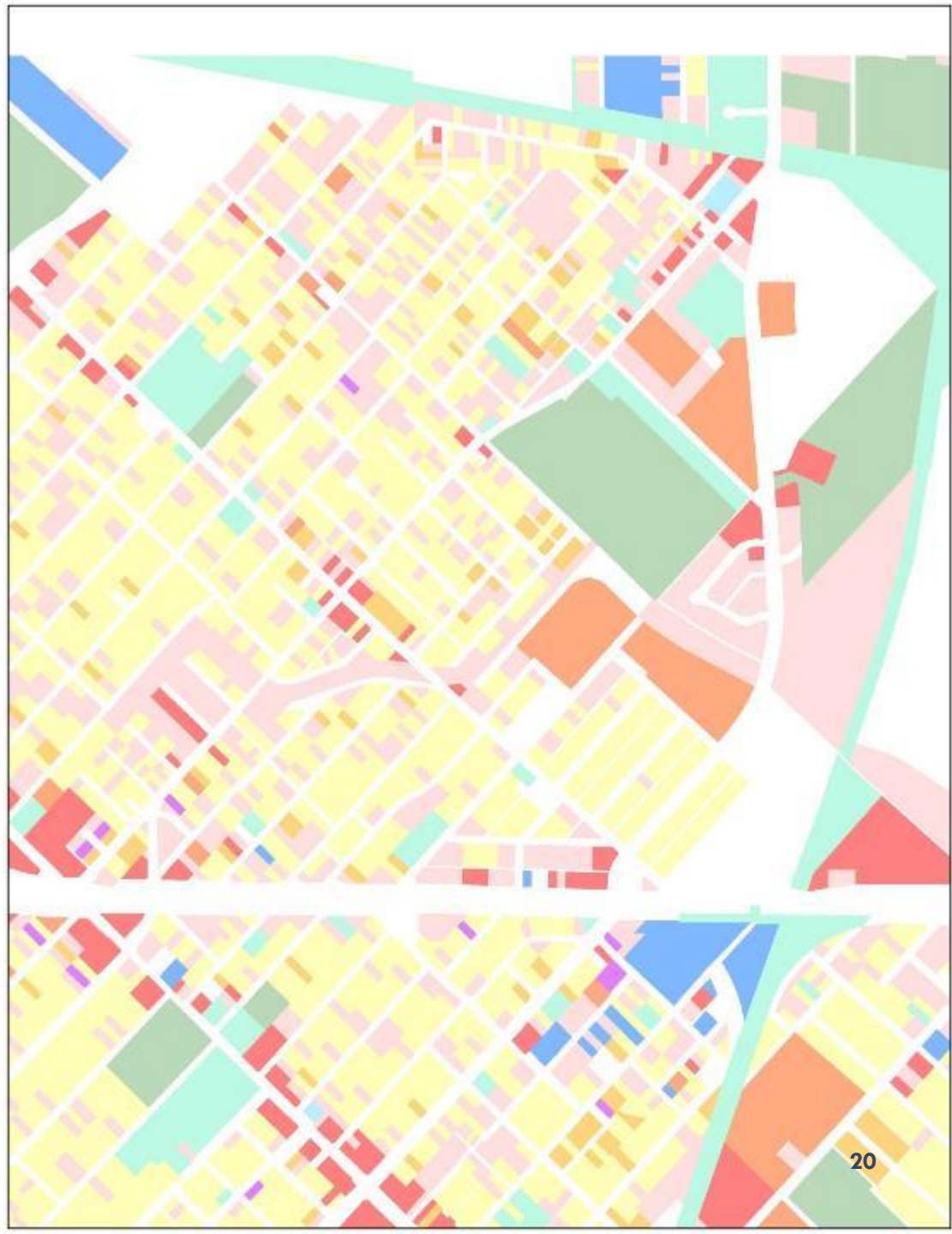
City of Dallas, 2012

InspireDallas  
The future of living in our city

- 8,520 newly built acres since 2005
- 3,168 newly build acres have a residential land use
- 2,145 acres on lots smaller than 1 acre on 12,421 lots (average lots size is about 7,500 sqft)



# Hatcher Station Land Use



# Hatcher Station Vacant Land



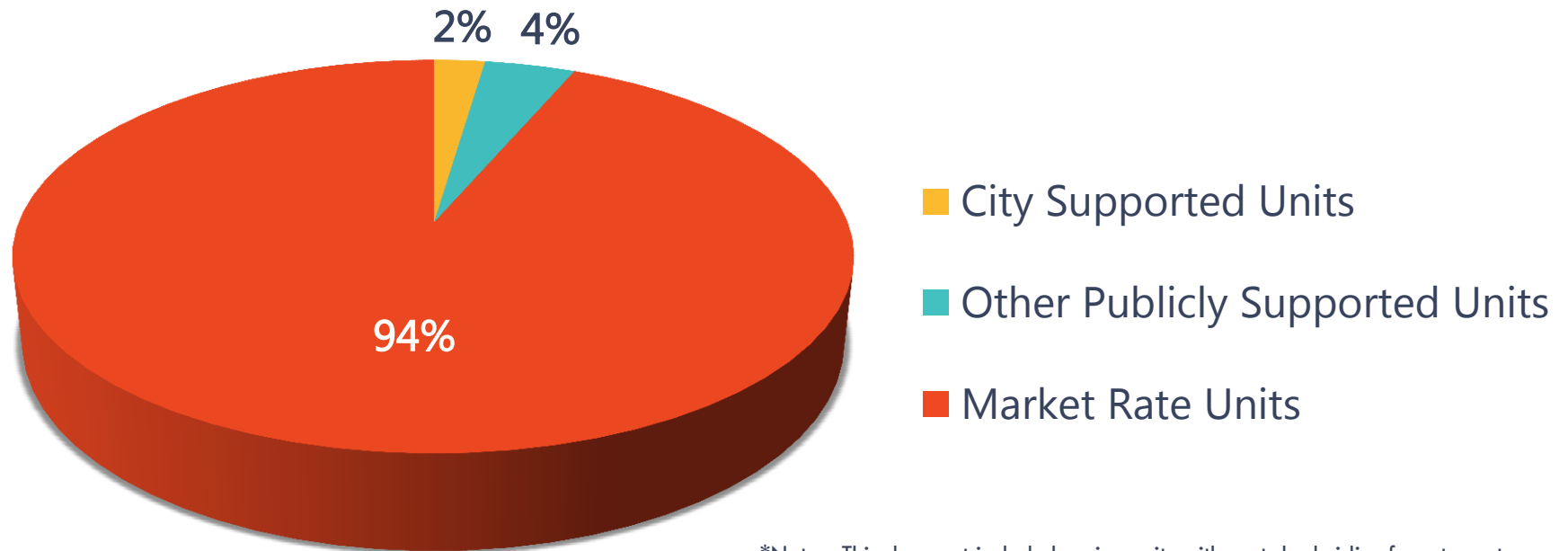
# Six Key Strategies





# Limited City Control

- City-supported and other publicly-supported housing units\* represent a very small share of total housing supply



\*Note - This does not include housing units with rental subsidies from tenant-based voucher programs through Dallas Housing Authority or VA.

# Instant Polling

- There are no right or wrong answers!
- Go with your “gut reaction”

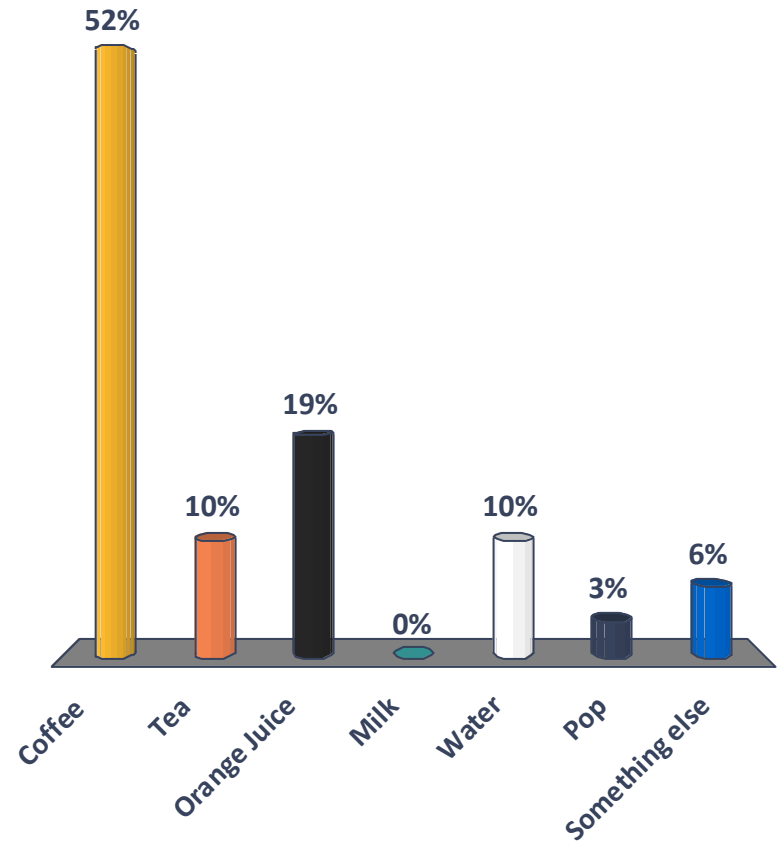




# A warm up!

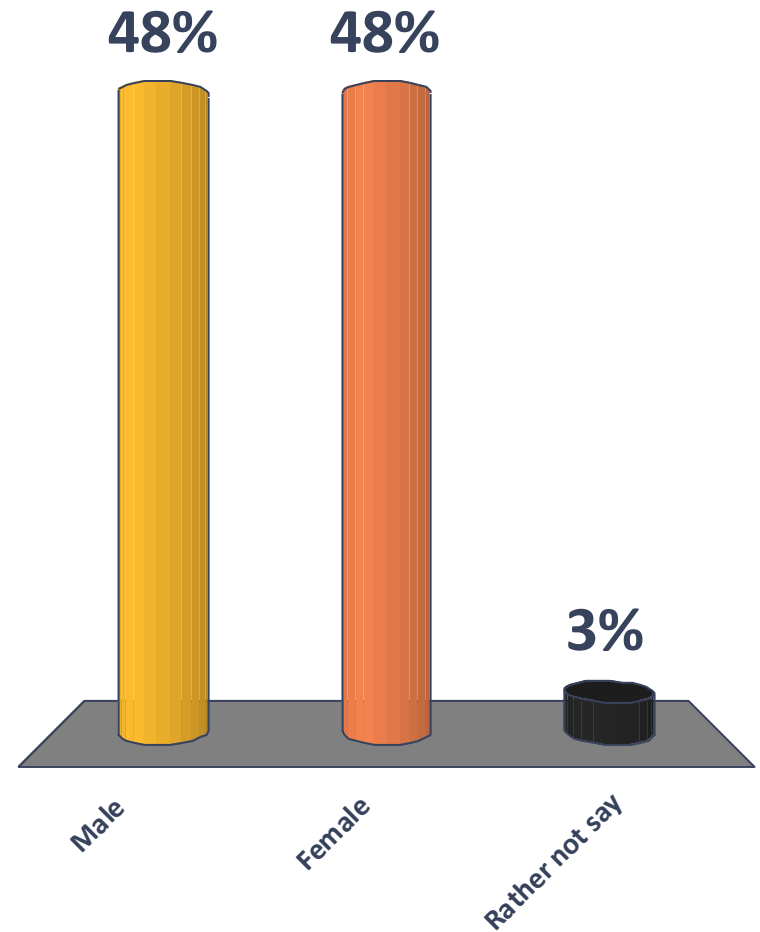
## What's your drink of choice in the morning?

- A. Coffee
- B. Tea
- C. Orange Juice
- D. Milk
- E. Water
- F. Pop
- G. Something else



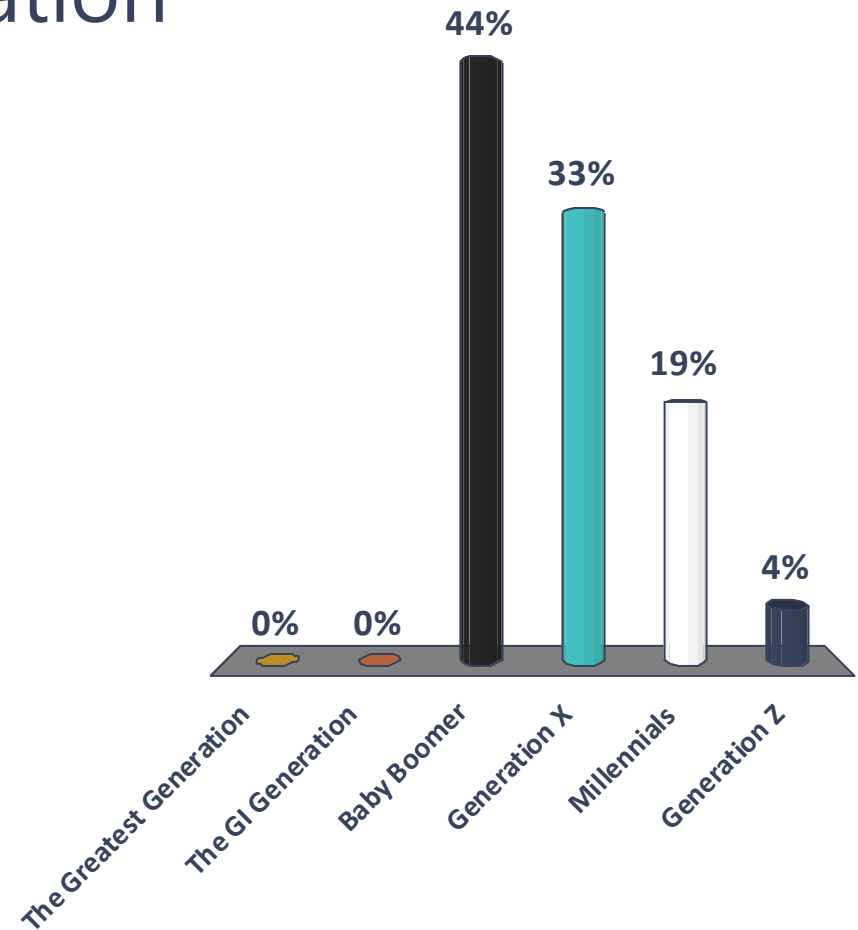
# Who is here today? What is your gender?

- A. Male
- B. Female
- C. Rather not say



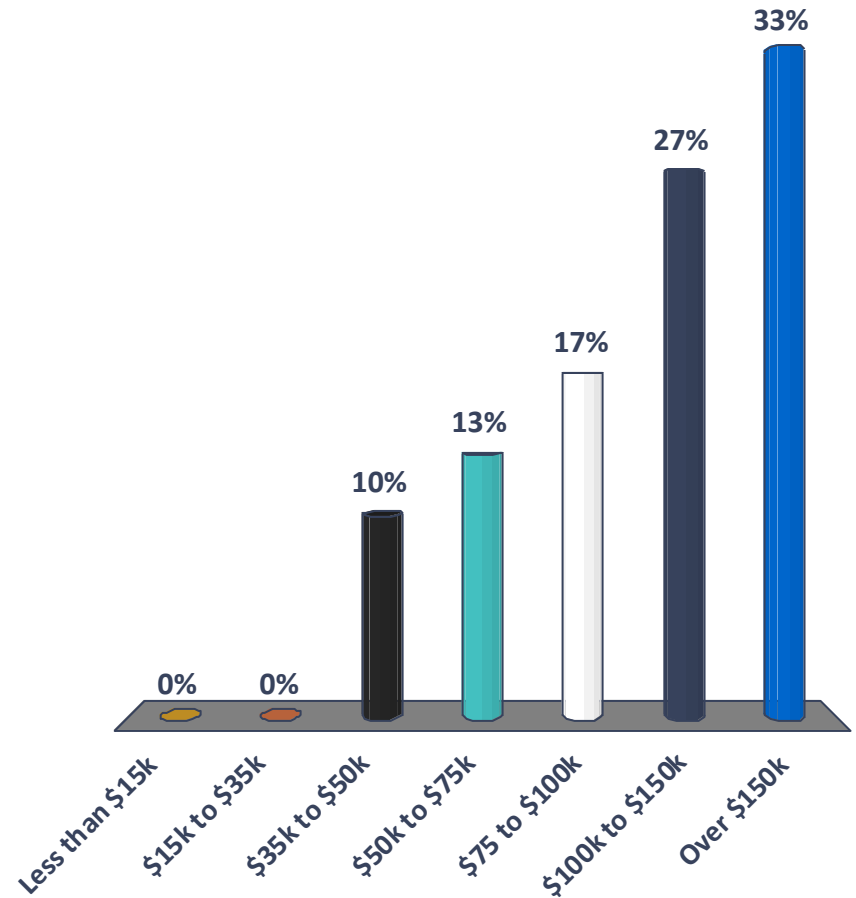
# How old are you? Which generation?

- A. The Greatest Generation
- B. The GI Generation
- C. Baby Boomer
- D. Generation X
- E. Millennials
- F. Generation Z



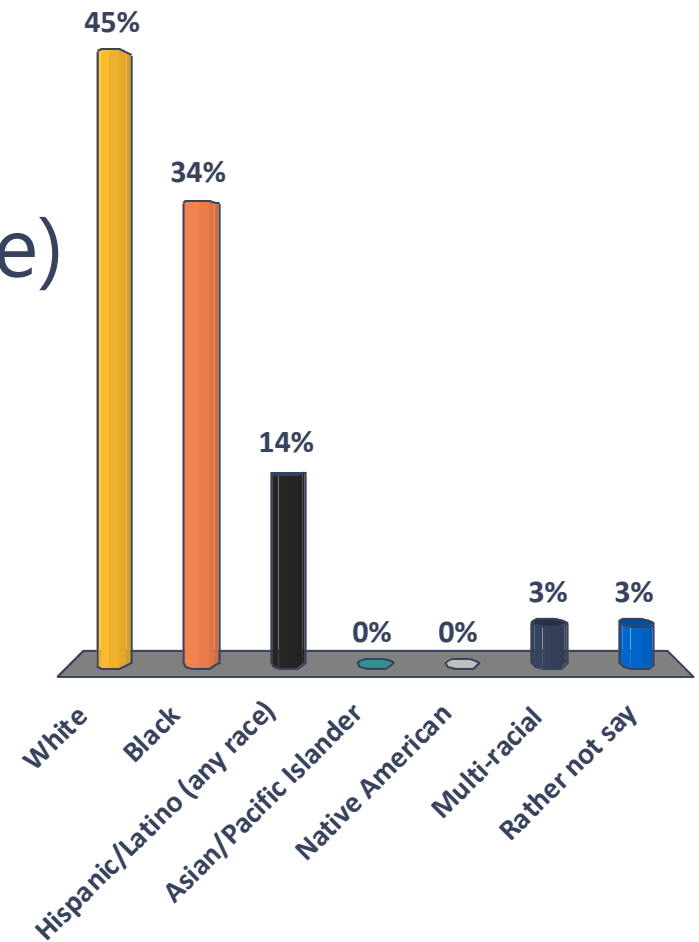
# What is your average household income each year?

- A. Less than \$15k
- B. \$15k to \$35k
- C. \$35k to \$50k
- D. \$50k to \$75k
- E. \$75 to \$100k
- F. \$100k to \$150k
- G. Over \$150k



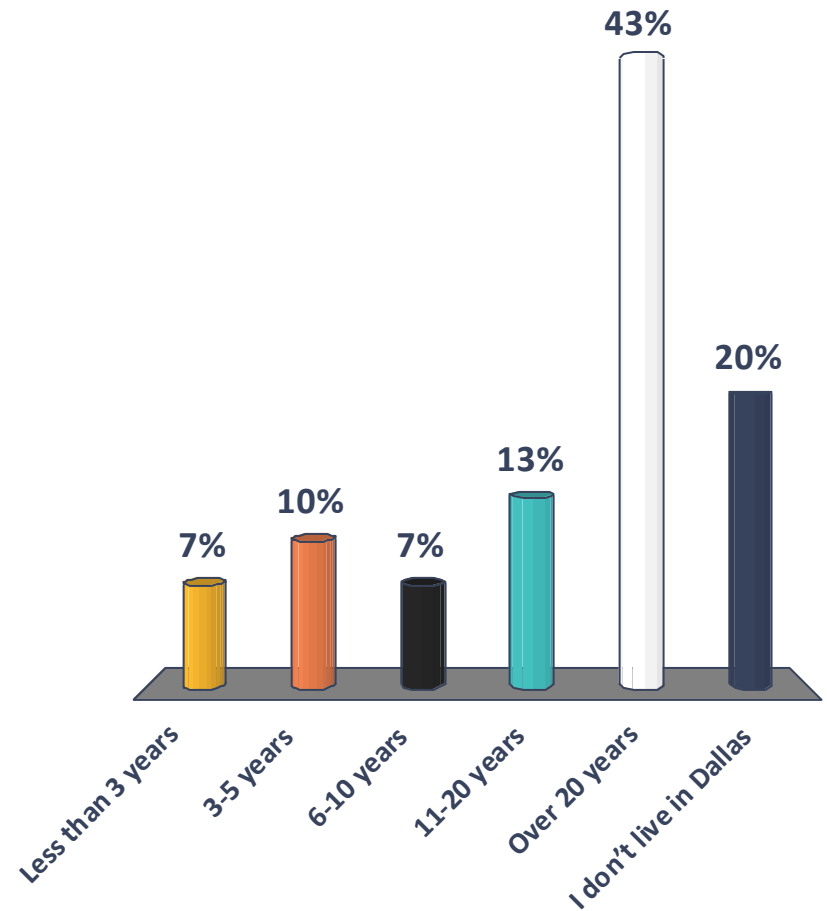
# What is your race/ethnicity?

- A. White
- B. Black
- C. Hispanic/Latino (any race)
- D. Asian/Pacific Islander
- E. Native American
- F. Multi-racial
- G. Rather not say



# How long have you lived in Dallas?

- A. Less than 3 years
- B. 3-5 years
- C. 6-10 years
- D. 11-20 years
- E. Over 20 years
- F. I don't live in Dallas



# Creating the Framework for Neighborhood-Based Collective Impact

# Dallas lacks a neighborhood framework

- There isn't a framework for effectively engaging neighborhoods in planning and implementing neighborhood improvements
- Many areas of the city lack organized neighborhood representation...
- So many residents don't have a voice to articulate and advocate for their needs at the neighborhood scale



# Five Conditions of Collective Impact:

- *Common Agenda:*
  - All participants have a shared vision for change (common understanding; joint approach; agreed actions)
- *Shared Measurement:*
  - Collecting data and measuring results consistently across all participants (alignment; accountability)
- *Mutually Reinforcing Activities:*
  - Activities differentiated while still coordinated (mutually reinforcing plan)
- *Continuous Communication:*
  - Consistent and open communication (build trust; assure mutual objectives; and common motivation)
- *Backbone Organization:*
  - Separate organization serves as backbone for the initiative; coordinates organizations

# Neighborhood-based Collective Impact – How We Get There

## OBJECTIVE

- By 2016, Dallas has a new framework for organizing, communicating and partnering with the private, nonprofit and neighborhood organizations for resource allocation and service provision.

## PROGRAMS

- Dallas Housing/Neighborhood Plus Compact
- Super-Neighborhood Organization
- Target Resources for Neighborhood Improvement

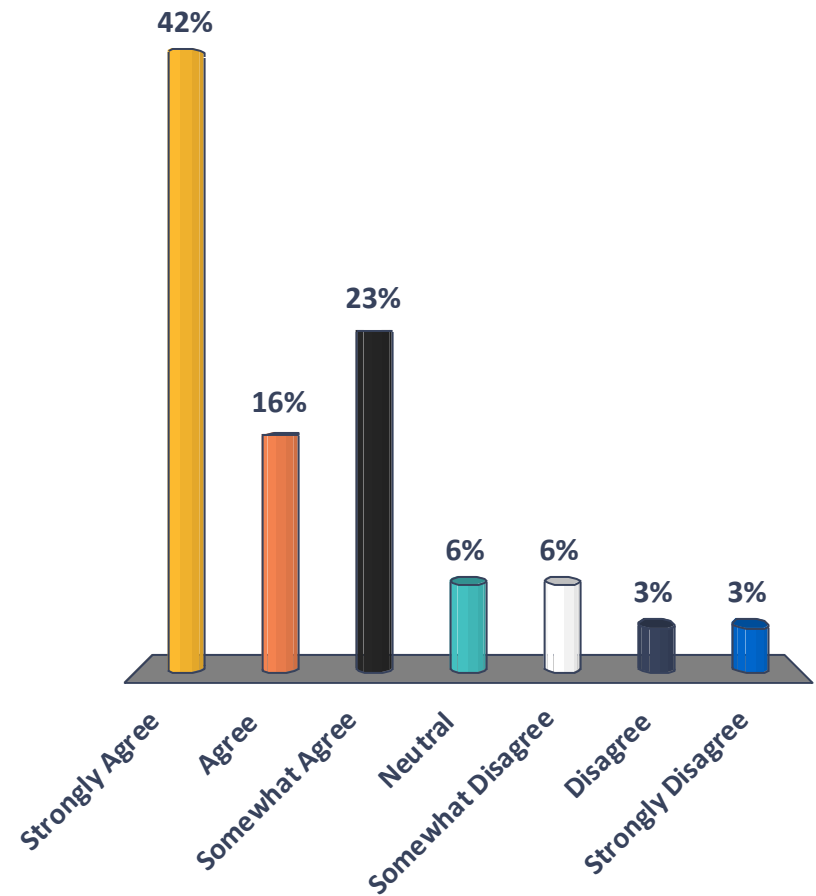
# Dallas Housing/Neighborhood Plus Compact

- Implement a City-wide Compact that includes diverse providers who support long-term partnerships between housing organizations, the development community, transportation, education, health and other service providers.
- Create a Partnership to administer the Compact.
- Consider expanding to a Regional Housing Compact.

# Housing and Neighborhood Compact

## Should this be a top priority?

- A. Strongly Agree
- B. Agree
- C. Somewhat Agree
- D. Neutral
- E. Somewhat Disagree
- F. Disagree
- G. Strongly Disagree

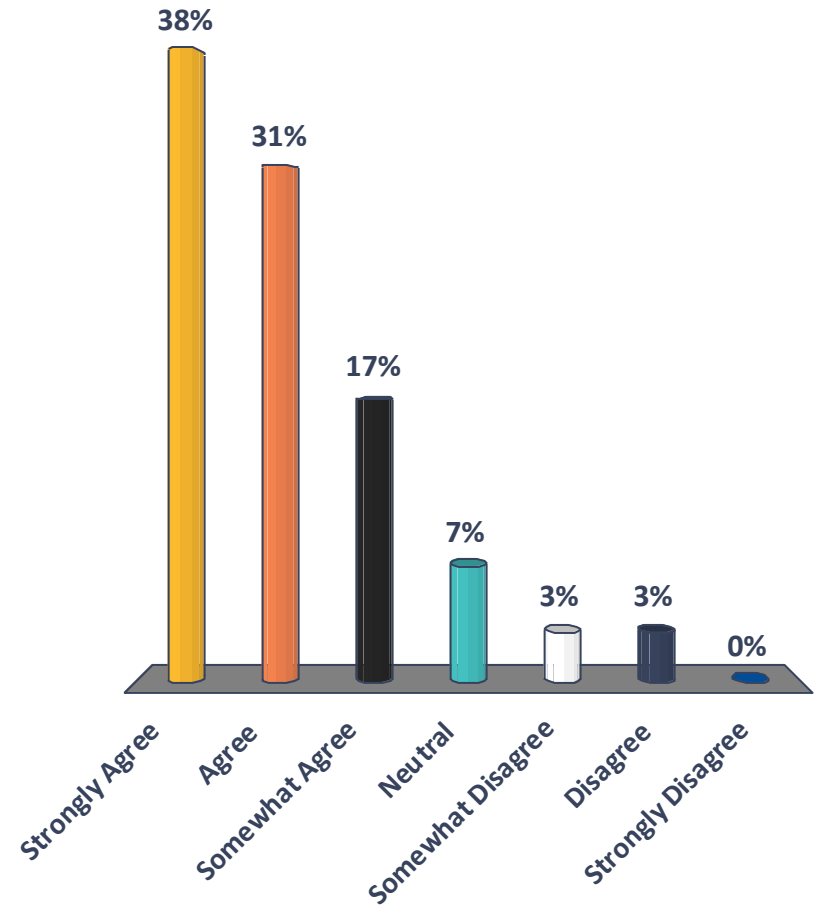


# Super-Neighborhood Organization

- Establish a citywide super-neighborhood unit structure that allows neighborhoods to organize to have a voice in meeting the needs of the residents.

# Super-Neighborhood Organization Should this be a top priority?

- A. Strongly Agree
- B. Agree
- C. Somewhat Agree
- D. Neutral
- E. Somewhat Disagree
- F. Disagree
- G. Strongly Disagree



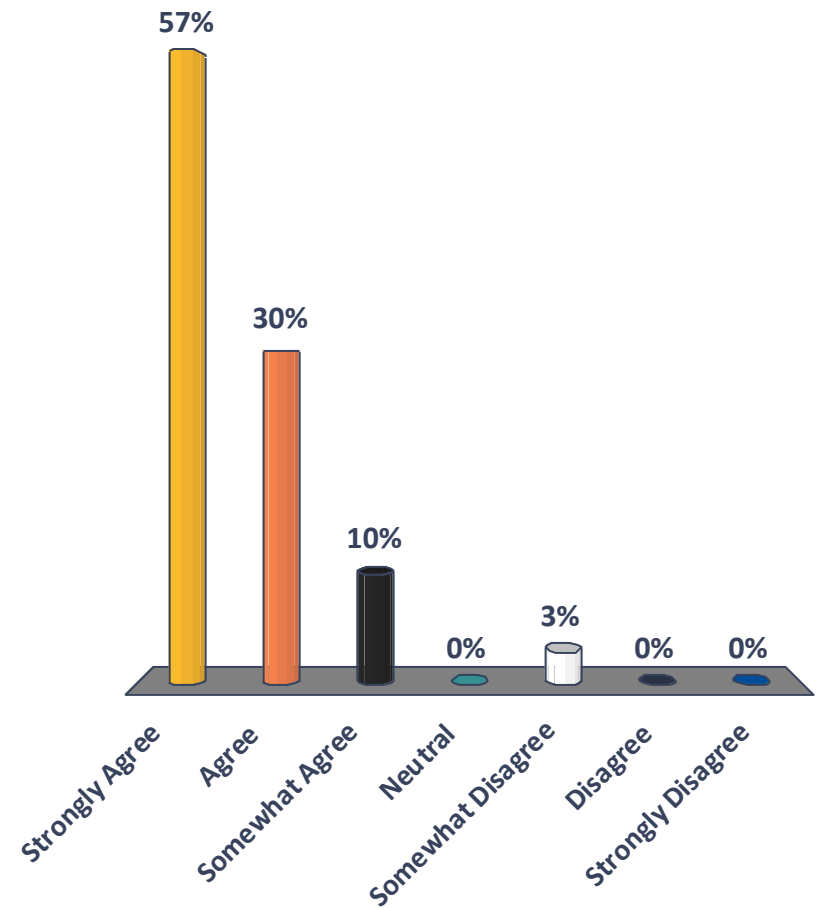
# Target Resources for Neighborhood Improvement

- Expand target area approach to address areas more strategically. Provide multiple types of funding, incentives and programs on a block-by-block approach
- Establish a measurable set of standards to qualify and determine areas at a tipping point

# Target Resources for Neighborhoods

## Should this be a top priority?

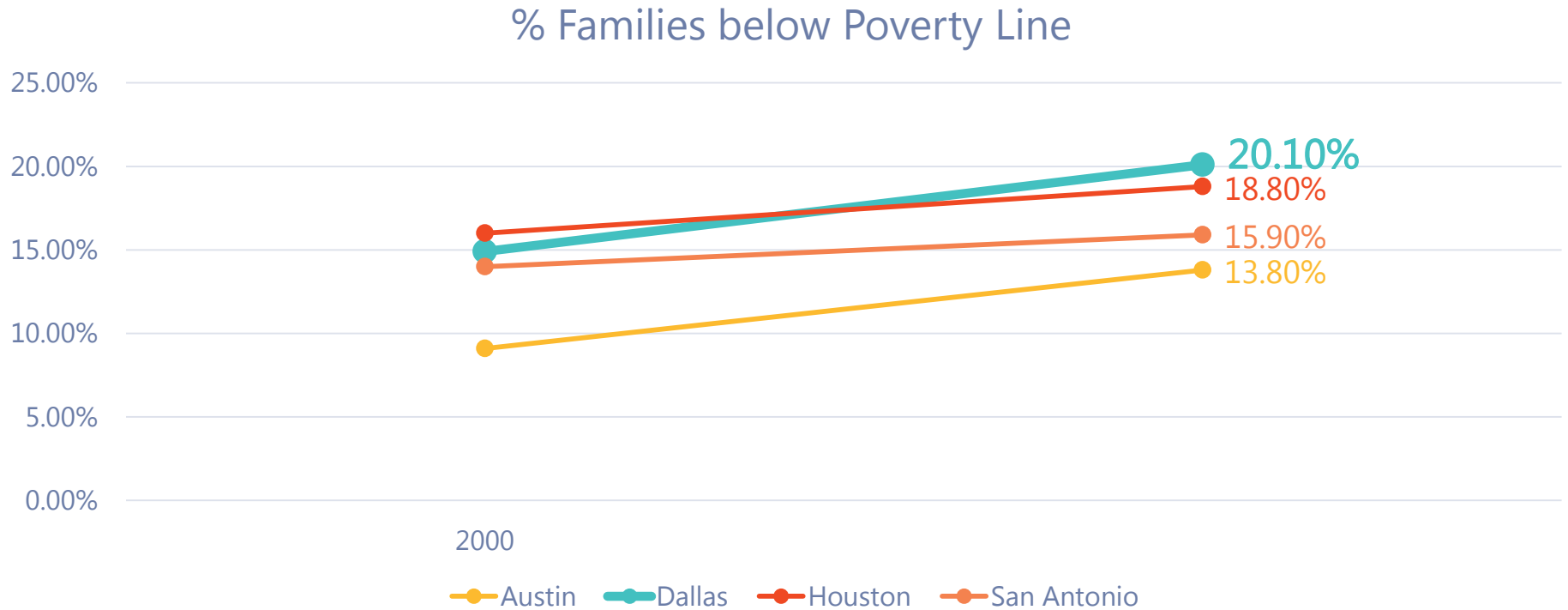
- A. Strongly Agree
- B. Agree
- C. Somewhat Agree
- D. Neutral
- E. Somewhat Disagree
- F. Disagree
- G. Strongly Disagree





# Alleviating Poverty

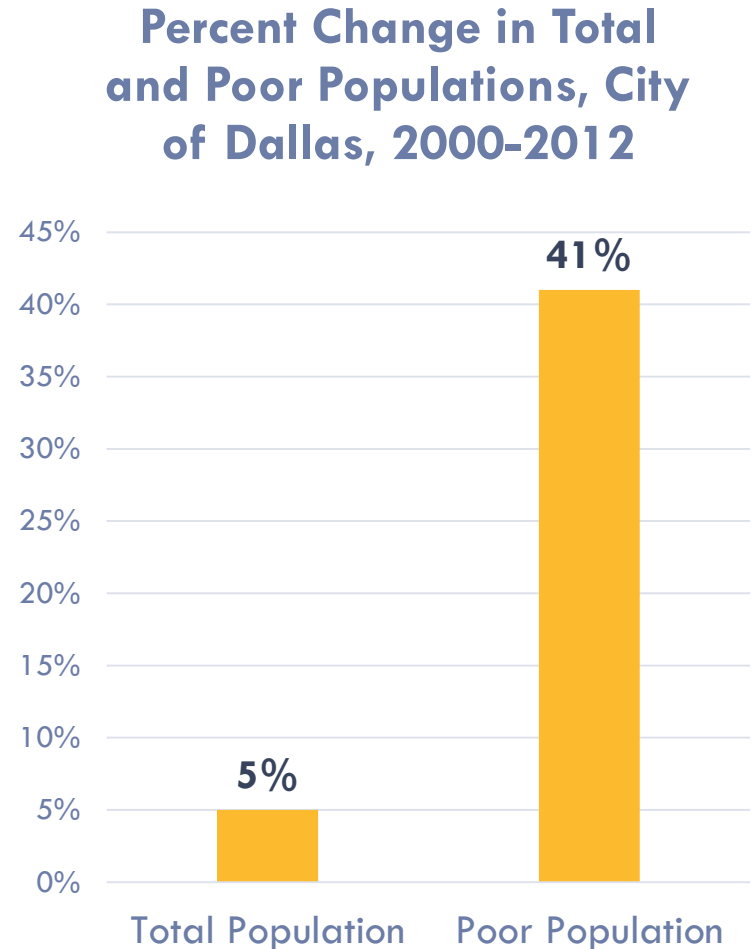
# Poverty in Dallas



Source: US Census Data (2000 Decennial Census and ACS 2008-2012 five year estimates) via Social Explorer T98/T179.

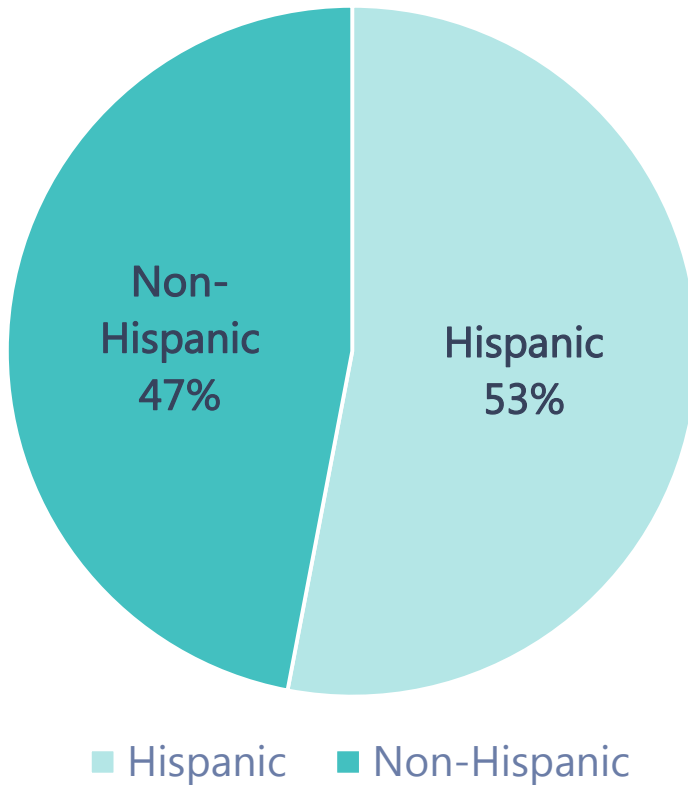
# Poverty – An Epidemic – Urgent Action is Necessary

- From 2001 to 2012, the DFW GDP increased by 68% or \$169B
- Yet, from 2000 to 2012, poverty growth outpaced total population growth in Dallas
- In 2012, Dallas ranked:
  - Worst Child Poverty Rate (38%)
  - 2<sup>nd</sup> Largest Growth in Overall Poverty Rate from 2000 (+6 percentage points)
  - 3<sup>rd</sup> Worst Overall Poverty Rate (24%)
  - 3<sup>rd</sup> Worst Growth in Number of Poor Persons (+41%)

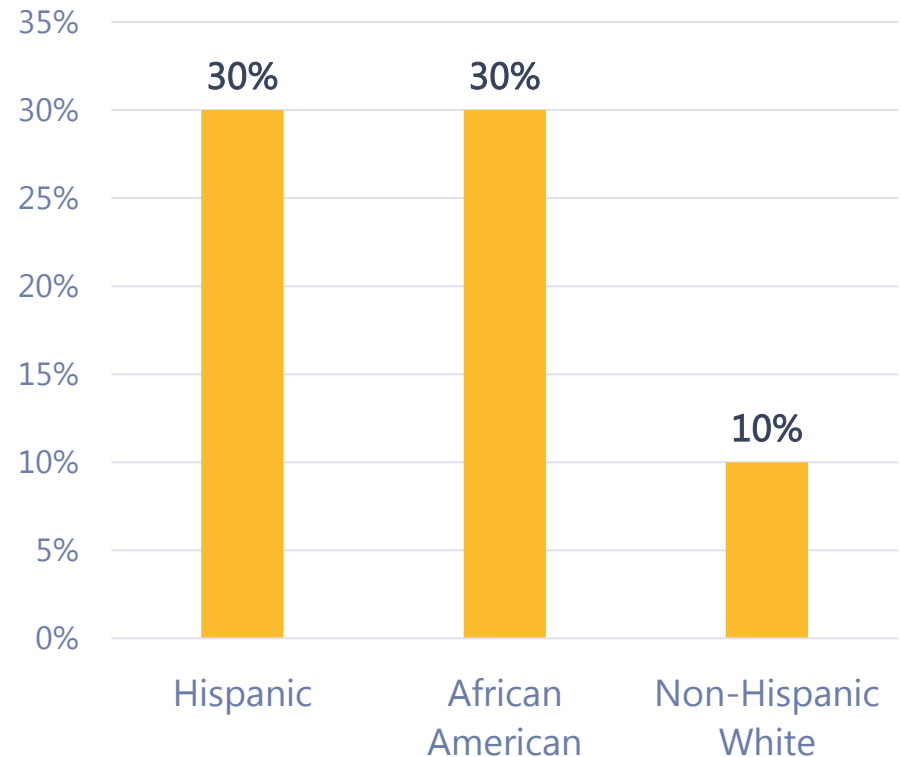


# Poverty Affects People of Color Disproportionately

### Ethnicity of Persons in Poverty City of Dallas, 2012



### Poverty in the Population, by Race and Ethnicity City of Dallas, 2012



# Alleviate Poverty – How We Get There

## OBJECTIVE

- By 2020, the poverty rate in Dallas is below 15%.

## PROGRAMS

- Increase the Minimum Wage
- Training and ESL Classes
- Transportation and Childcare

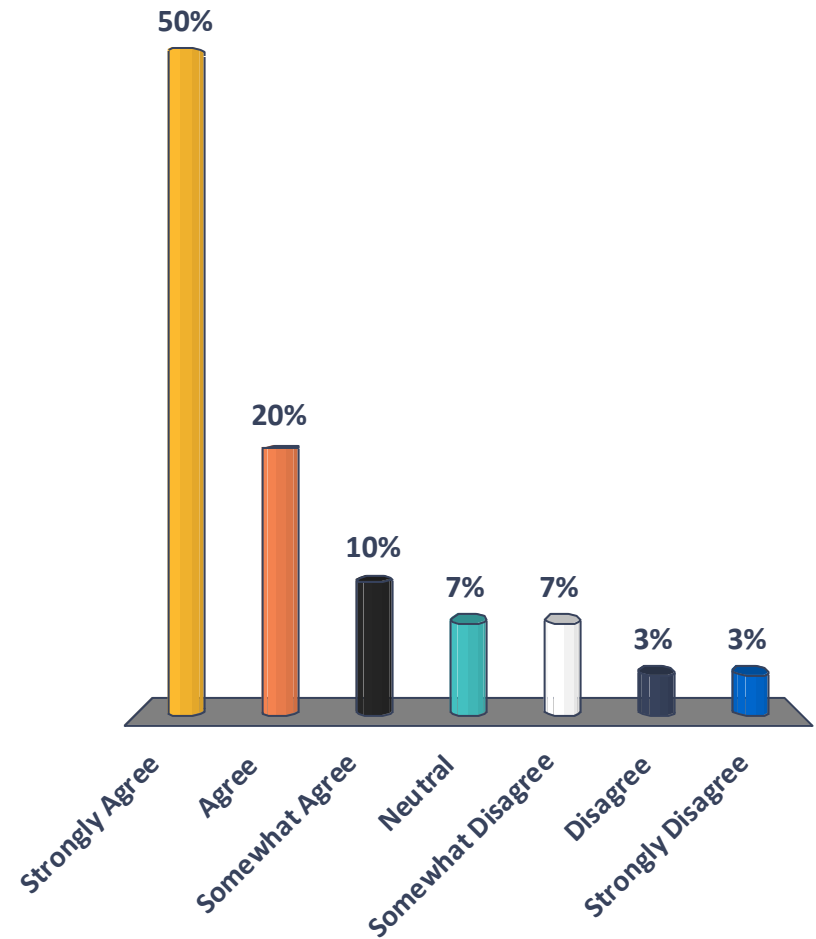
# Increase the Minimum Wage

- Establish an hourly rate of \$10.25 per hour (adjusted based on inflation) for City employees and contractors' employees.
- Encourage other government and private employers to follow this trend and provide a living wage to Dallas workers.

# Increase Minimum Wage

## Should this be a top priority?

- A. Strongly Agree
- B. Agree
- C. Somewhat Agree
- D. Neutral
- E. Somewhat Disagree
- F. Disagree
- G. Strongly Disagree



# Training and ESL Classes

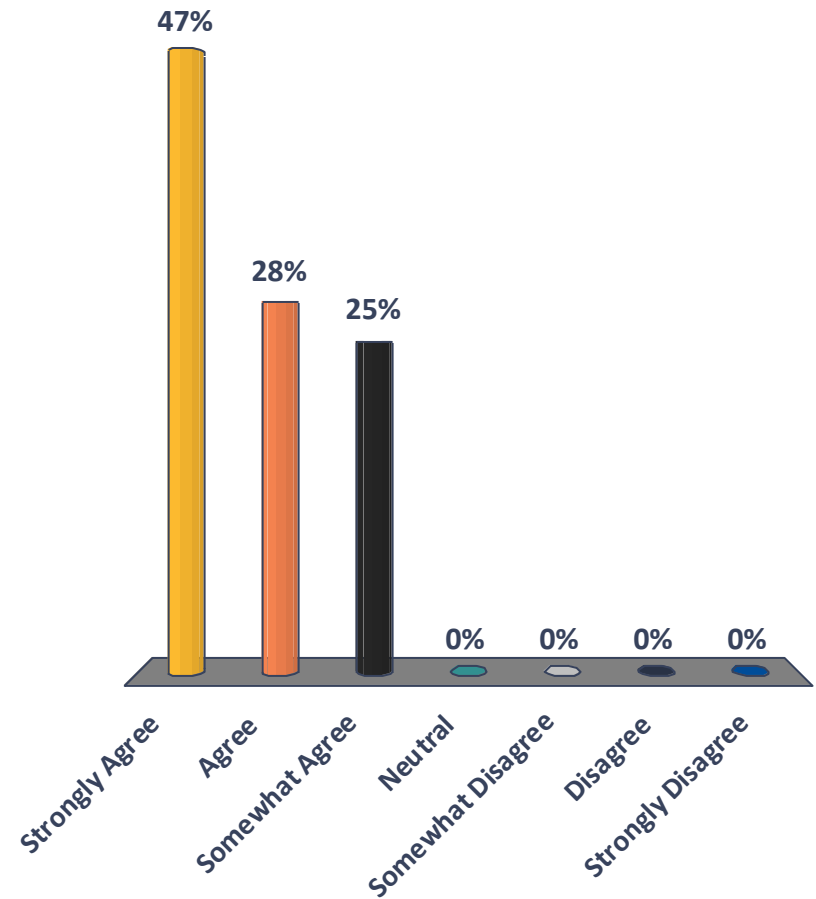
- Expand existing partnerships to provide neighborhood-based training and ESL centers to enhance adult education and improve literacy rates and English proficiency.
- Target training for young people.
- Expand programs to offer services for those not currently eligible for employment.



# Training and ESL

## Should this be a top priority?

- A. Strongly Agree
- B. Agree
- C. Somewhat Agree
- D. Neutral
- E. Somewhat Disagree
- F. Disagree
- G. Strongly Disagree



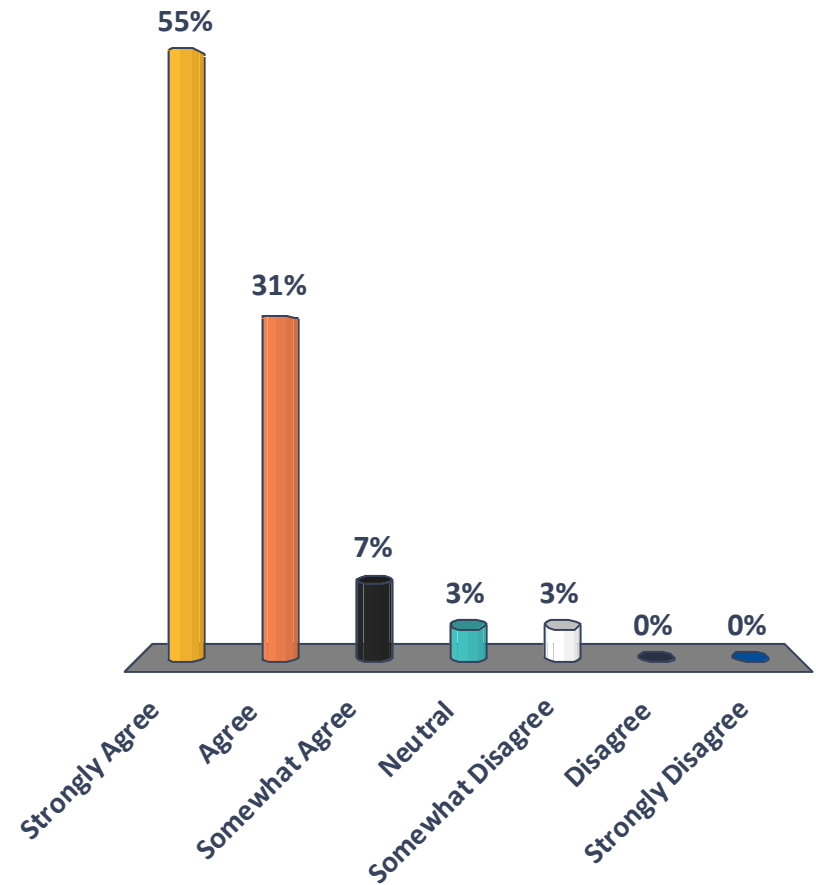
# Transportation and Childcare

- Create partnerships between employers, transportation providers and child care providers to increase workforce capacity of young working parents

# Transportation and Childcare

## Should this be a top priority?

- A. Strongly Agree
- B. Agree
- C. Somewhat Agree
- D. Neutral
- E. Somewhat Disagree
- F. Disagree
- G. Strongly Disagree



# Addressing Concentrations of Blight

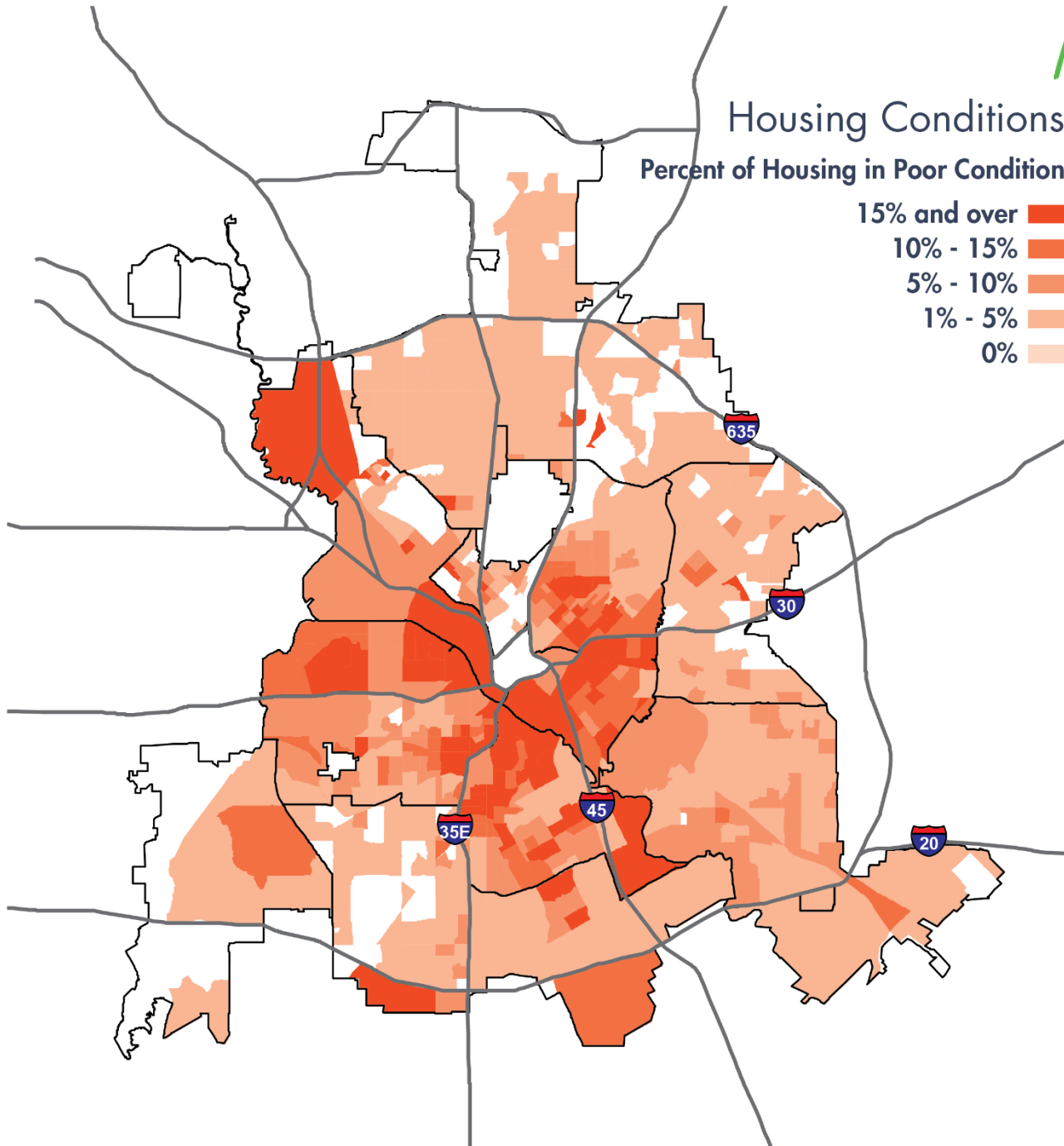
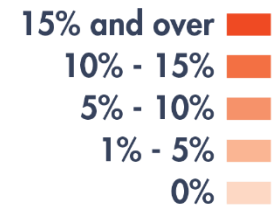
# More than one in 10 housing units in Dallas was vacant in 2012

## Vacancy Rate

- City of Dallas **11.7% in 2012**
- 4 County Region **8.1% in 2012**

## Housing Conditions

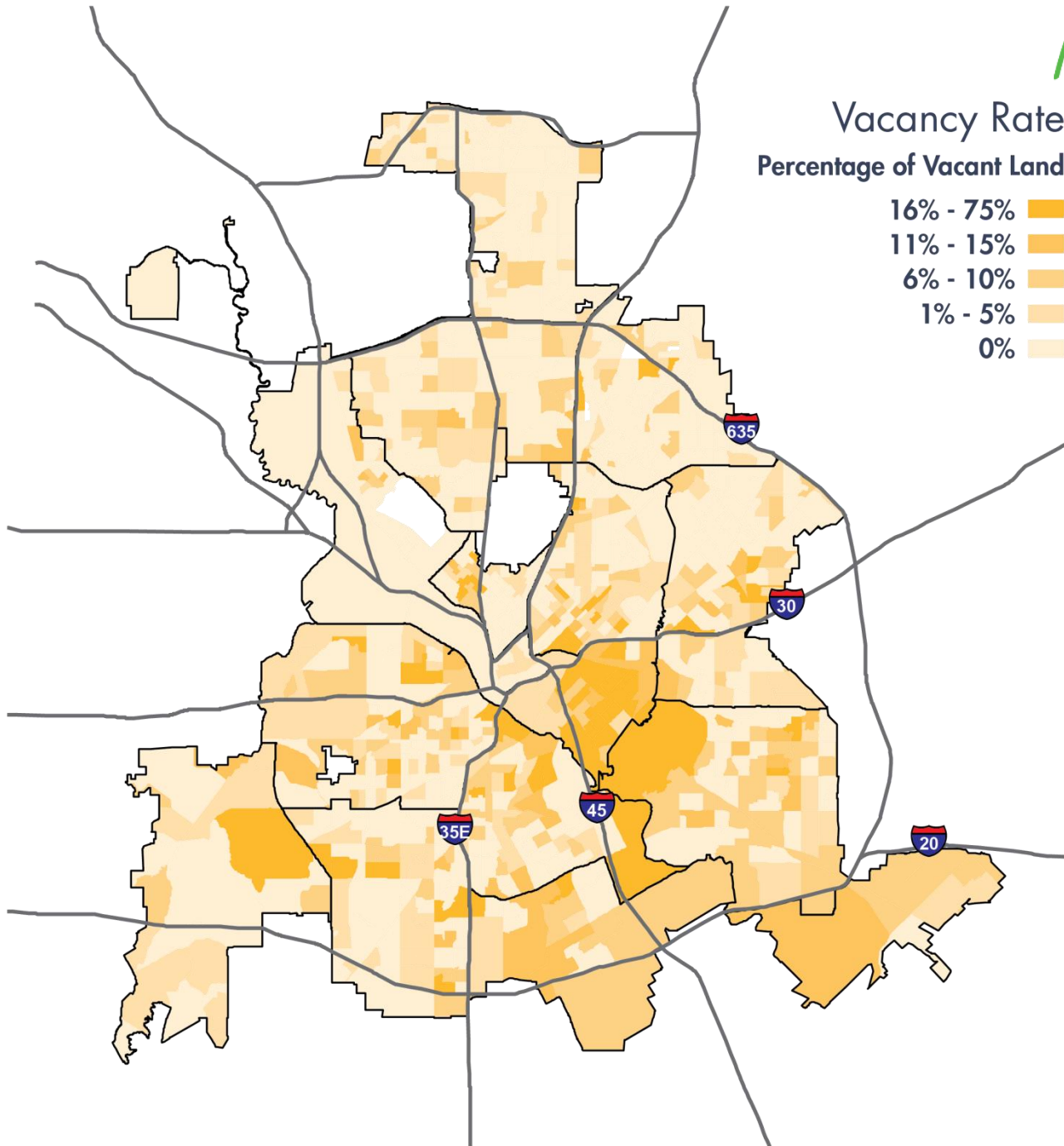
### Percent of Housing in Poor Condition



## Vacancy Rate

### Percentage of Vacant Land

- 16% - 75%
- 11% - 15%
- 6% - 10%
- 1% - 5%
- 0%



# Solutions

- Data driven approach to track blighted properties; manage blight database
- Implement a target program addressing physical improvements, including infrastructure, demolition, crime prevention, parks and amenities.
- Vacant properties available through competition (funded through foundation)
- Targeted proactive code enforcement linked to data



# Address Concentrations of Blight – How We Get There

## OBJECTIVE

- By 2020, concentrated blight in the City of Dallas is reduced by 25%.

## PROGRAMS

- Create a unified blight removal and improvement program
- Partner with health care agencies to address endemic health issues
- Create a comprehensive database of blighted properties

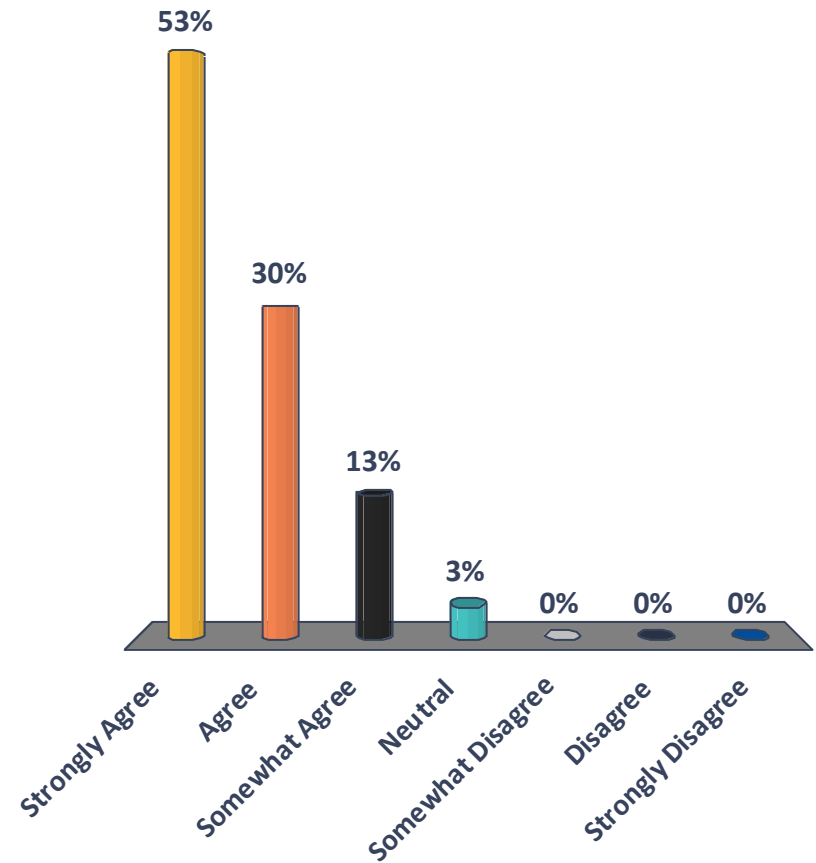
# Create a unified blight removal and improvement program

- Establish and codify a consistent way to address blight; evaluate and strengthen available legal tools
- Create a target area program to bring blighted properties into code compliance; integrate Neighborhood Police & Nuisance Abatement Team
- Address physical improvements in blighted areas
- Consolidate programs that address blight under one city department

# Blight Removal and Neighborhood Improvement

## Should this be a top priority?

- A. Strongly Agree
- B. Agree
- C. Somewhat Agree
- D. Neutral
- E. Somewhat Disagree
- F. Disagree
- G. Strongly Disagree



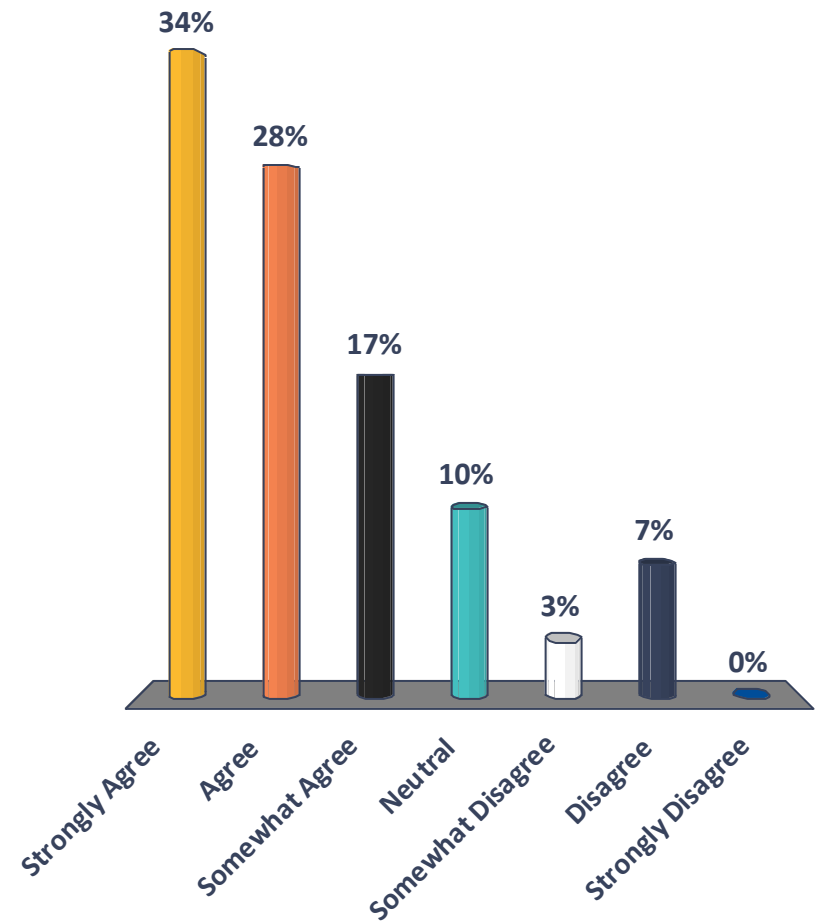
# Partner with health care agencies to address endemic health issues

- Establish effective ways to link code-related housing conditions to asthma triggers. Promote awareness about this link among residents and landlords
- Target areas with endemic obesity to transform vacant buildings through a collaborative effort to improve community health and provide education, supportive services, jobs and economic opportunities

# Health Impacts in Blighted Areas

## Should this be a top priority?

- A. Strongly Agree
- B. Agree
- C. Somewhat Agree
- D. Neutral
- E. Somewhat Disagree
- F. Disagree
- G. Strongly Disagree



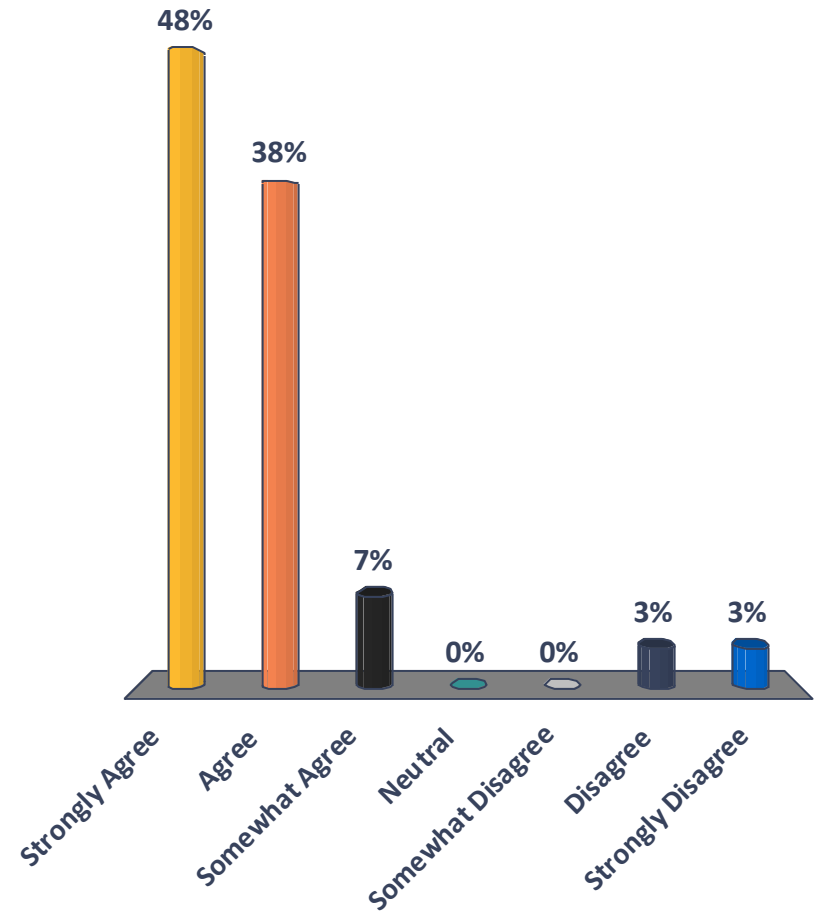
# Create a comprehensive database of blighted properties

- Coordinate data and information to measure blight across city departments (fire, code, police, CAO, housing)
- Integrate blight database with the development database and the Neighborhood Policing database
- Use the database to identify targeted areas for proactive enforcement
- Allow residents to track the City's progress on addressing blighted properties

# Database of Blighted Properties

## Should this be a top priority?

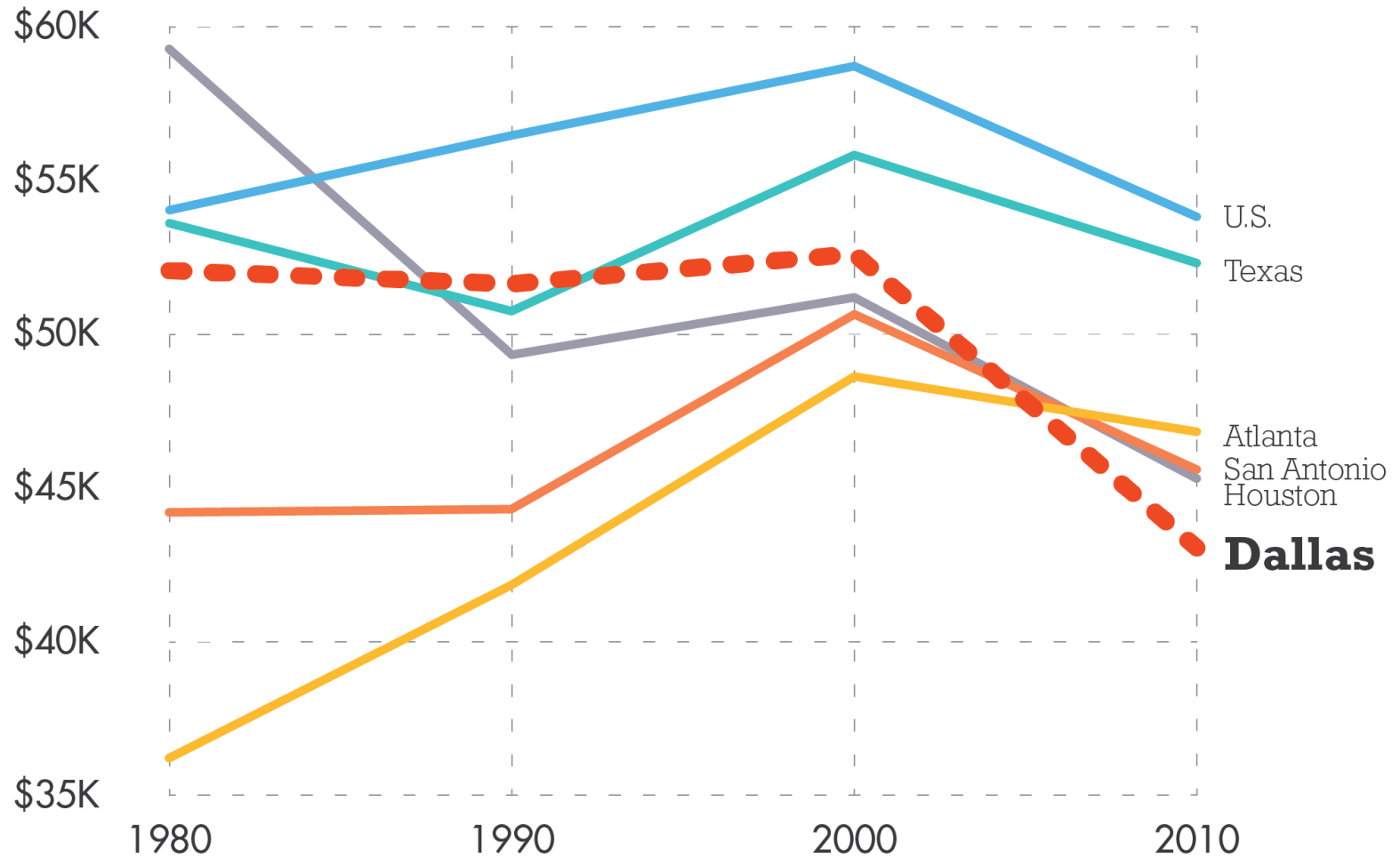
- A. Strongly Agree
- B. Agree
- C. Somewhat Agree
- D. Neutral
- E. Somewhat Disagree
- F. Disagree
- G. Strongly Disagree



# Attracting & Retaining the Middle class



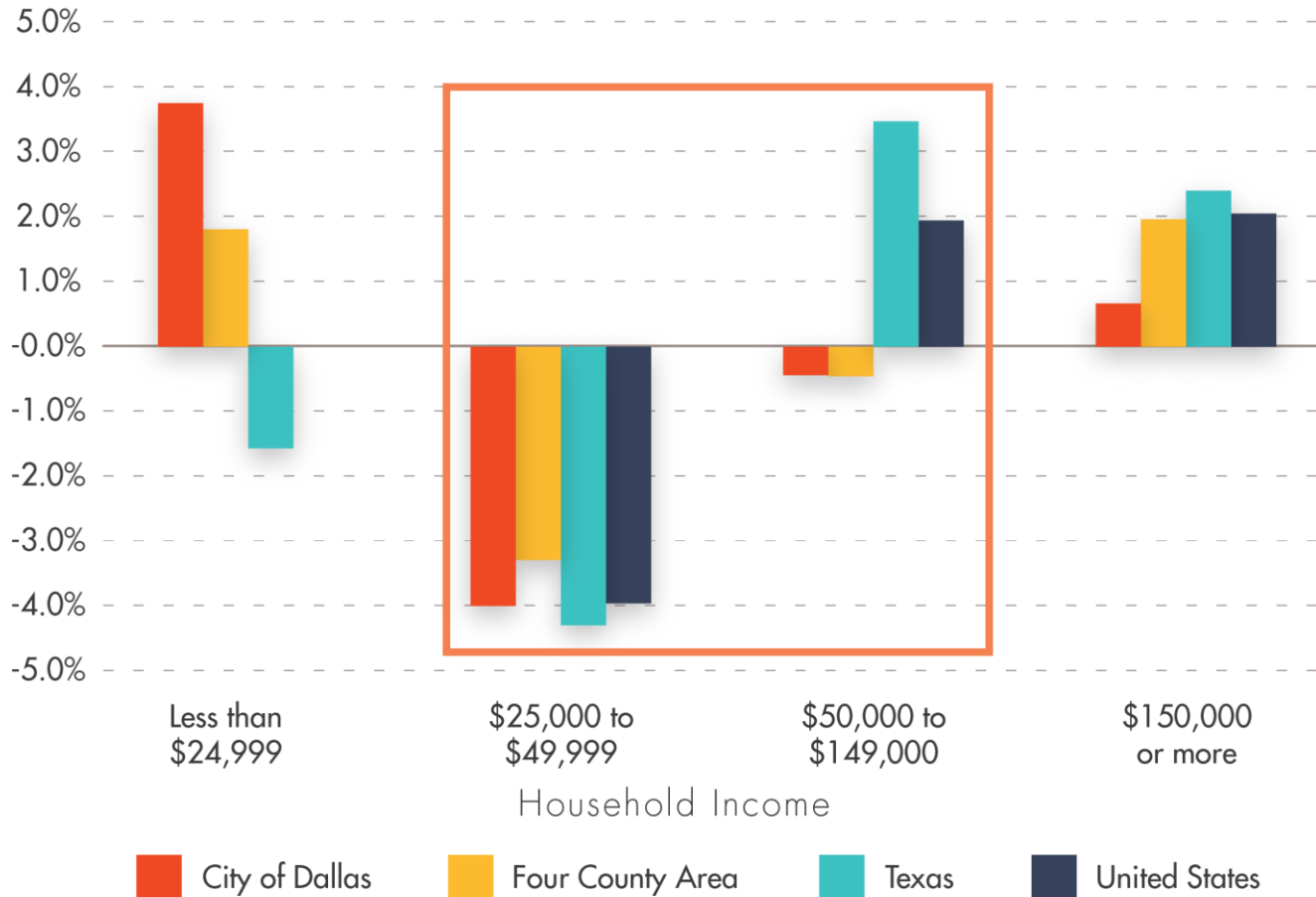
# Median Income Trends



Median Household Income (Adjusted to 2013 Dollars) retrieved from Social Explorer of US Decennial Census 1980 (T53), 1990 (T43), 2000 (T93), and ACS 2008-2012 5 year estimates (T57).

# City Losing Share of Middle Income Households

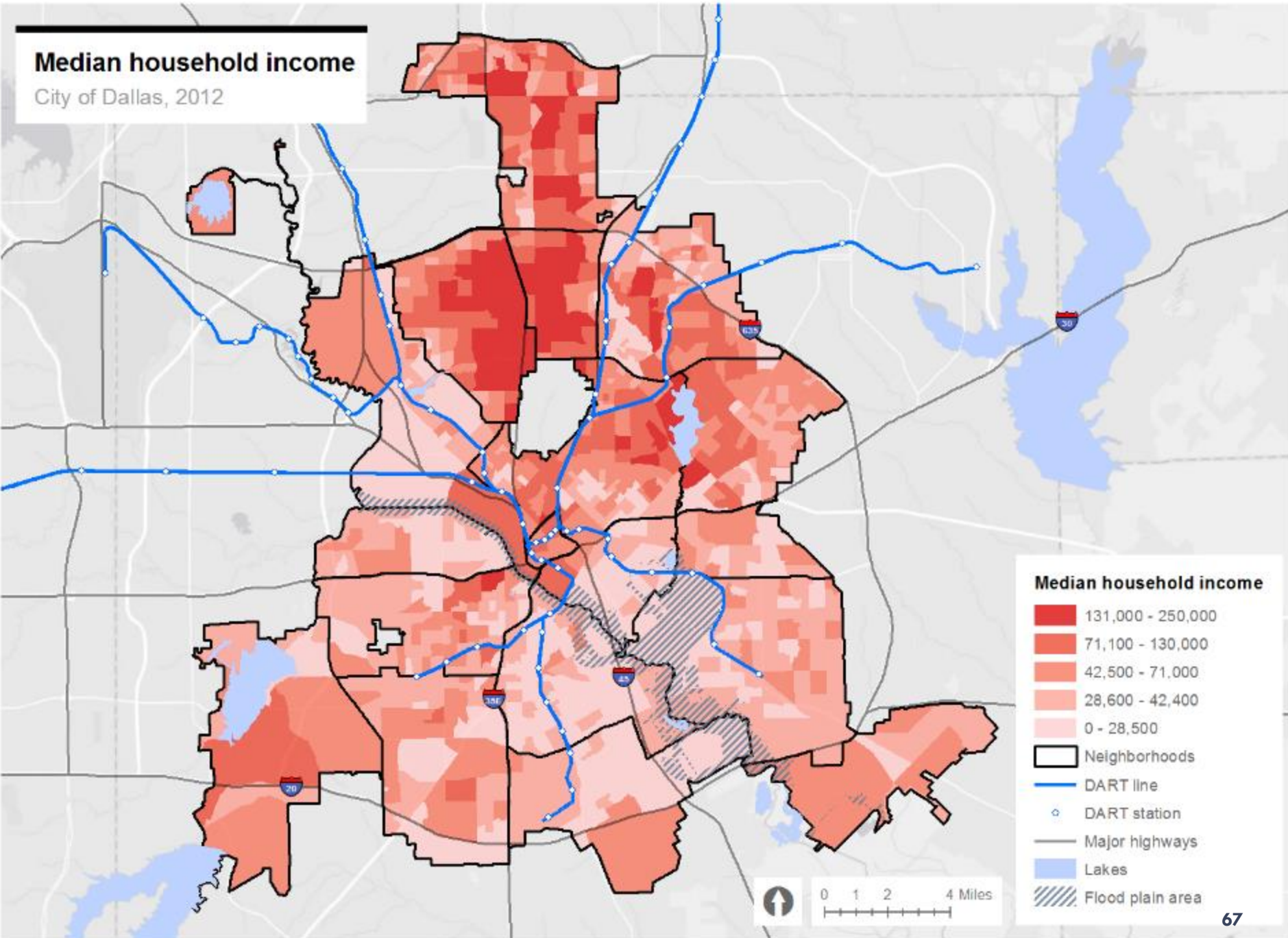
Change in Share of Households (2000-2012)



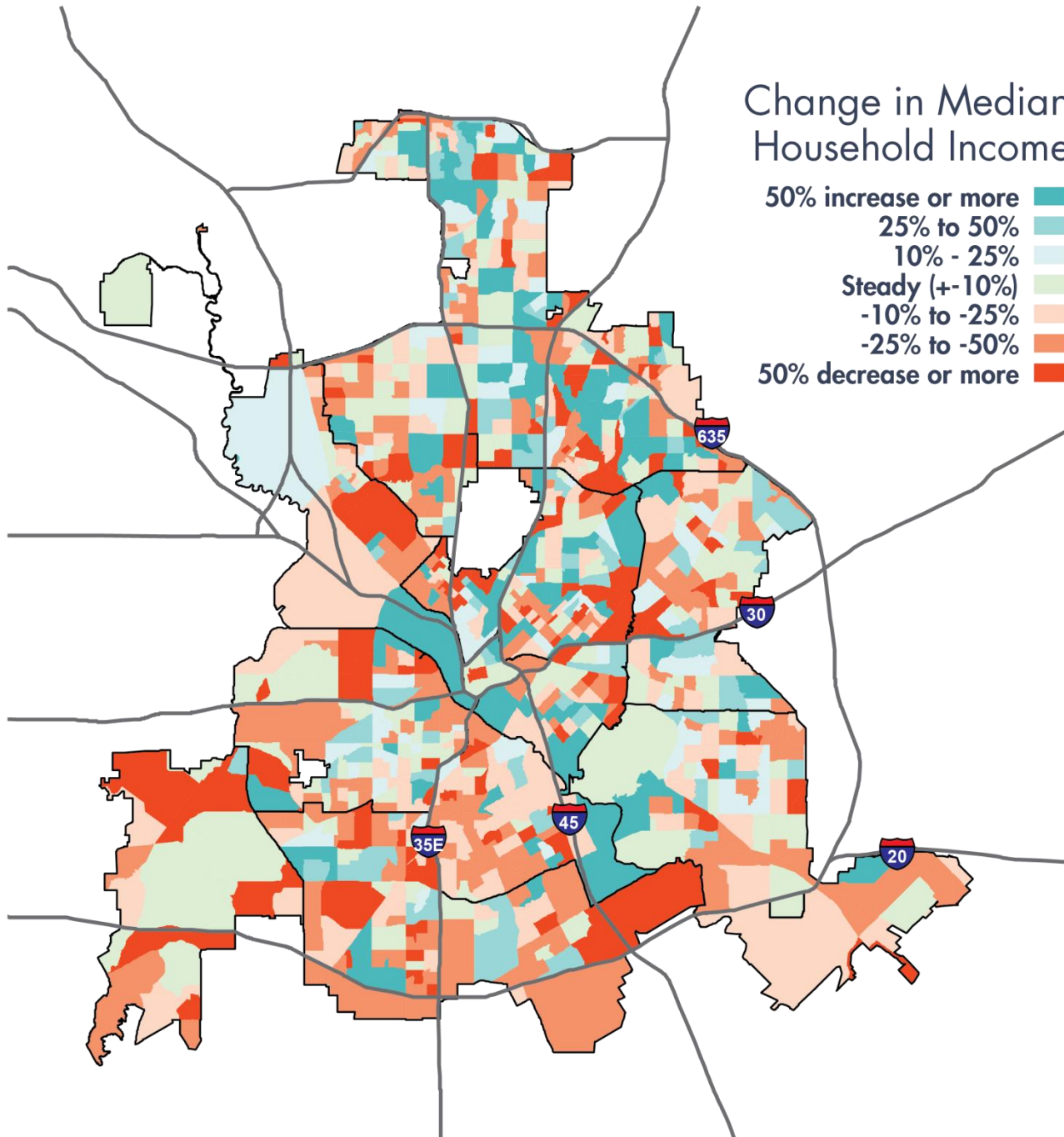
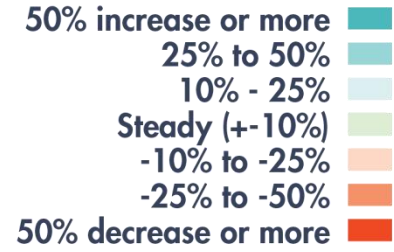
Source: Census 2000 (in 2012 Dollars) and American Community Survey 2012 1 Year Estimates

# Median household income

City of Dallas, 2012



## Change in Median Household Income



# Attract and Retain the Middle Class – How We Get There

## OBJECTIVE

- By 2035, the median household income in Dallas rises from 75% of the 4-county area to 85%.

## PROGRAMS

- Eliminate barriers to infill development
- Support and coordinate with DISD school quality and school choice programs
- Home improvement incentive program

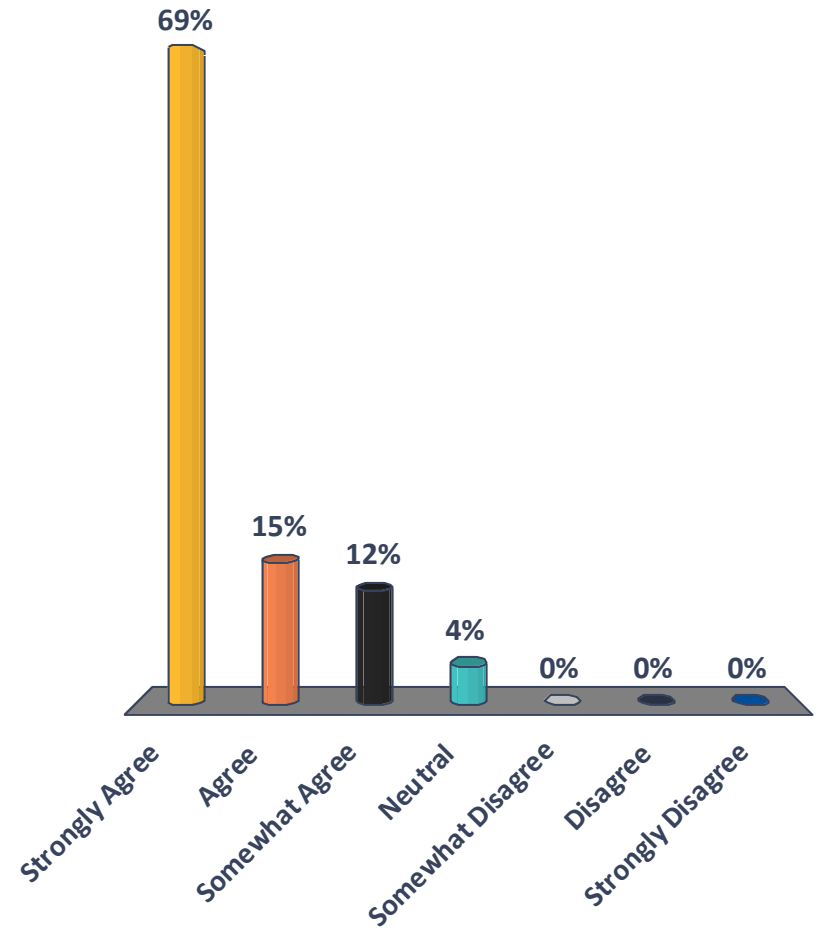
# Eliminate barriers to infill development

- Eliminate code barriers such as minimum lot size, excessive setbacks, excessive parking requirements
- Audit the development process to identify processing, permitting, platting and other issues that make infill more difficult, uncertain or costly.

# Eliminate Barriers to Infill

## Should this be a top priority?

- A. Strongly Agree
- B. Agree
- C. Somewhat Agree
- D. Neutral
- E. Somewhat Disagree
- F. Disagree
- G. Strongly Disagree





# Support and coordinate with DISD school quality and school choice programs

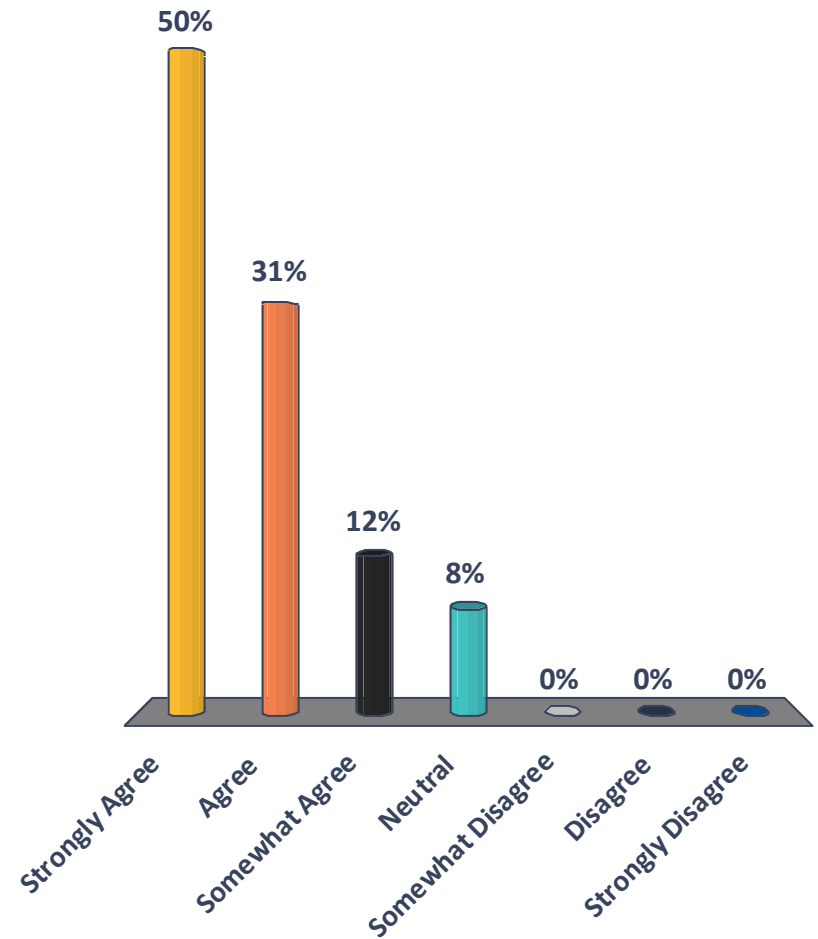
- Integrate DISD school choice programs with super-neighborhood organization structure to support educational efforts at the neighborhood level.
- Coordinate with targeted neighborhood improvement programs to enable collective impact.
- Partner with other educational institutions for career readiness and certification programs



# Coordinate with School District

## Should this be a top priority?

- A. Strongly Agree
- B. Agree
- C. Somewhat Agree
- D. Neutral
- E. Somewhat Disagree
- F. Disagree
- G. Strongly Disagree



# Home improvement incentive program

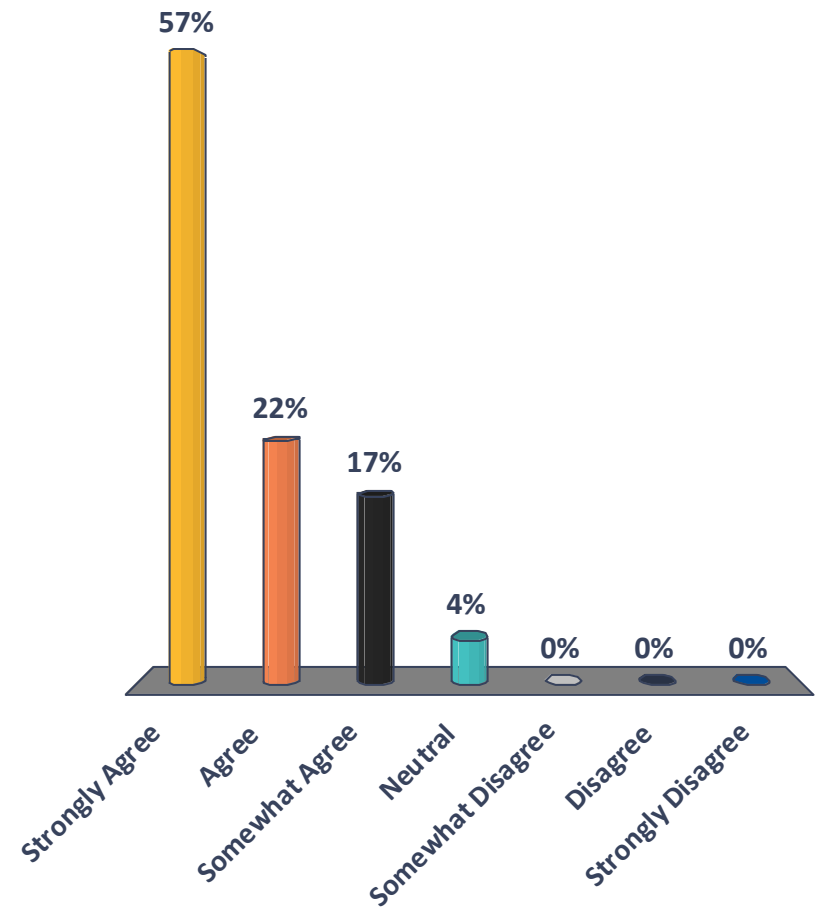
- Administer a program that provides a one-time incentive payment to qualifying residents who make improvements to their homes to lower the financial burden on homeowners, encourage reinvestment in neighborhoods, and incentivize prospective home buyers.

EXAMPLE: Richardson provides a one-time incentive paid to the homeowner equal to 10x the increase in city taxes based on the property's pre-construction and post-construction appraised value

# Home Improvement Incentives

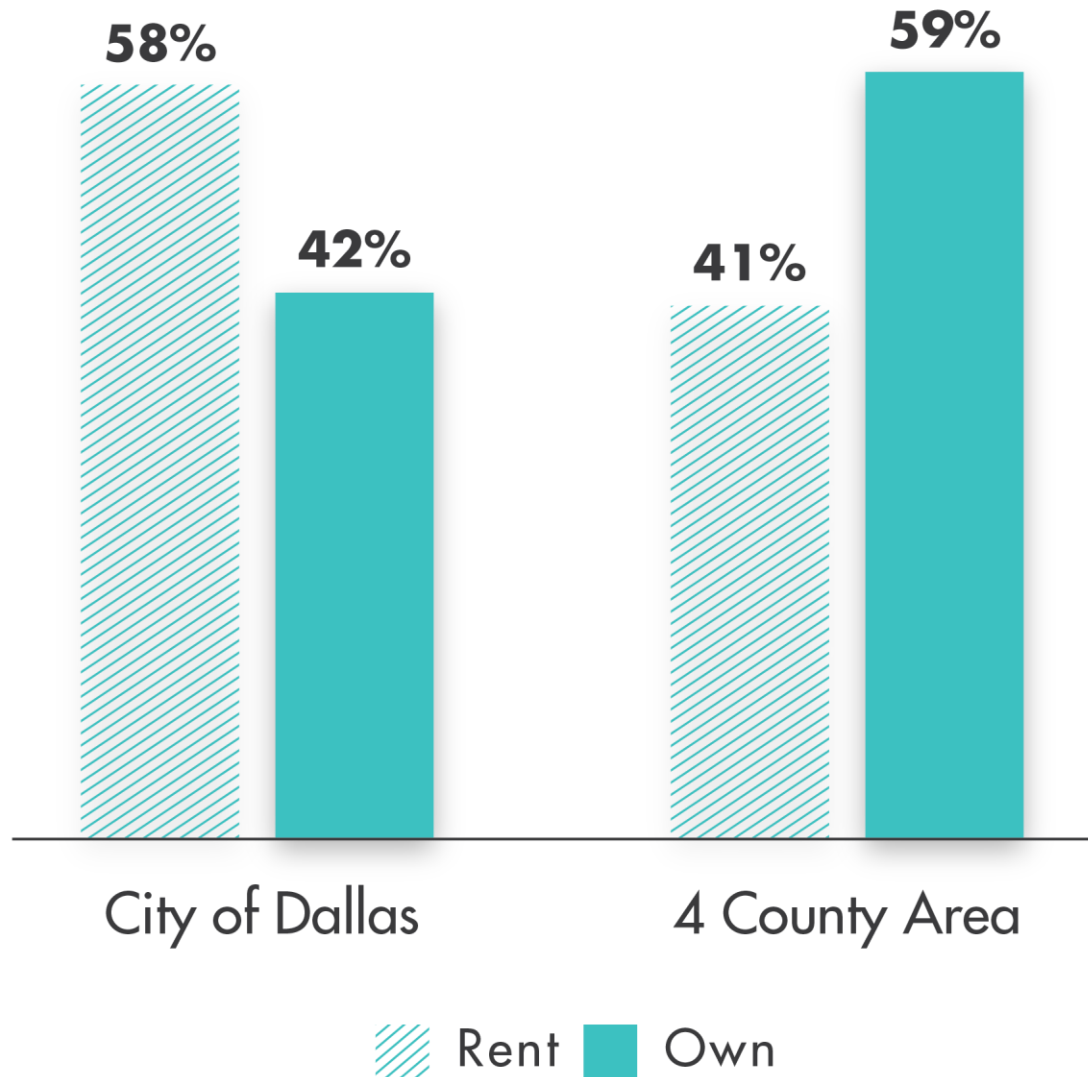
## Should this be a top priority?

- A. Strongly Agree
- B. Agree
- C. Somewhat Agree
- D. Neutral
- E. Somewhat Disagree
- F. Disagree
- G. Strongly Disagree

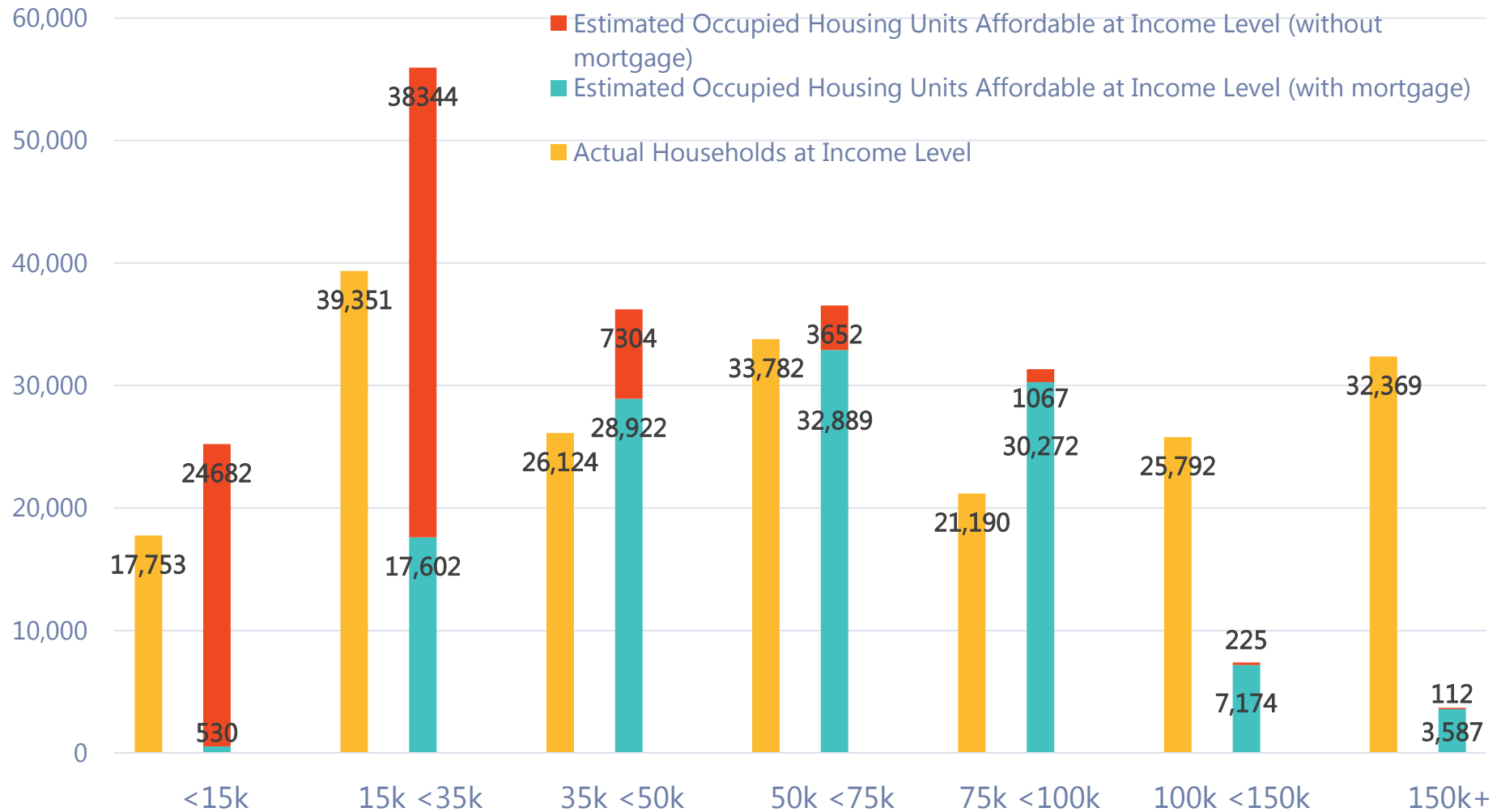


# Expanding Homeownership

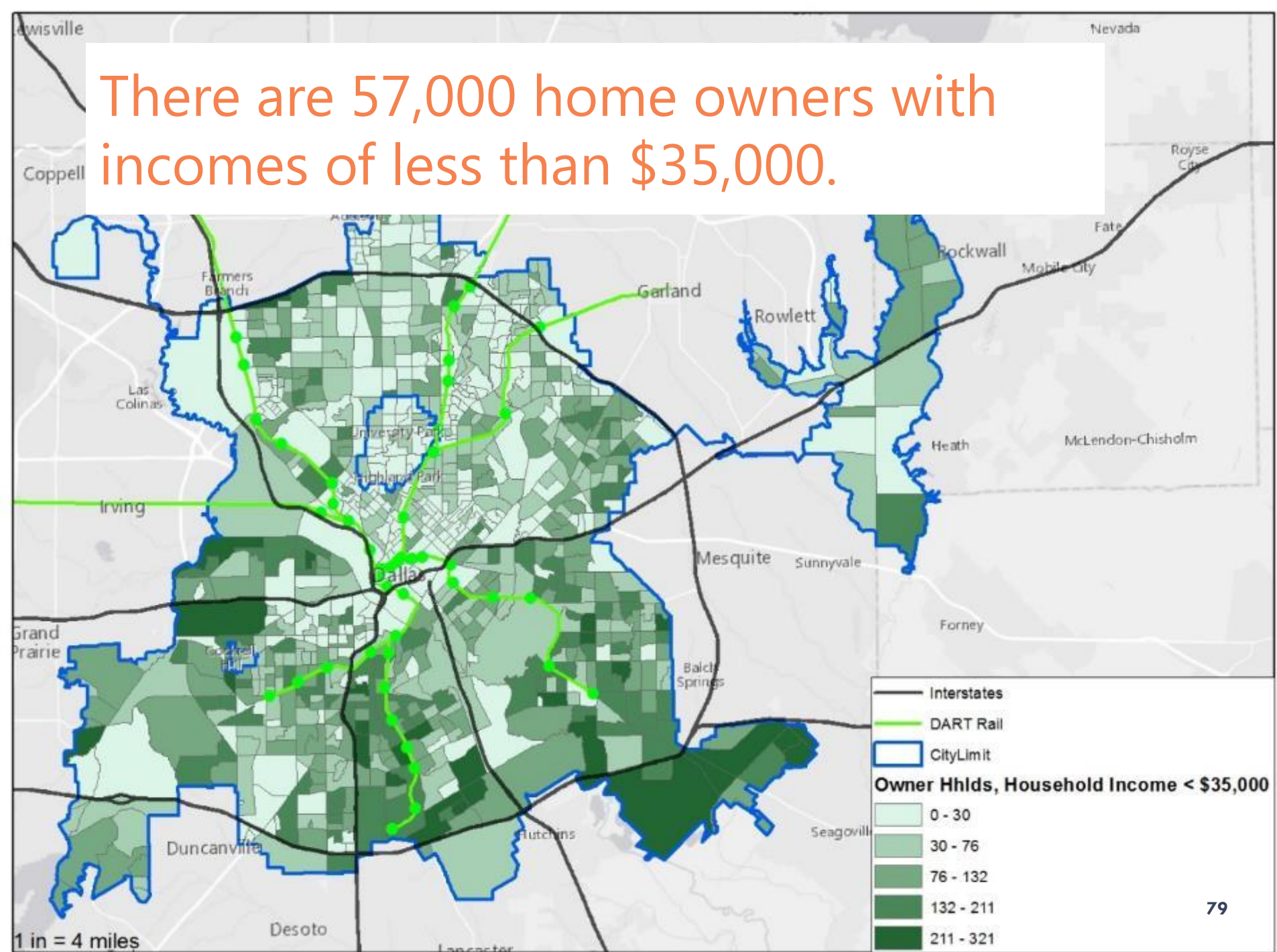
# Renters and Owners



## Comparing Owner Household Incomes with Occupied Units Affordable at Each Income Level: City of Dallas 2012

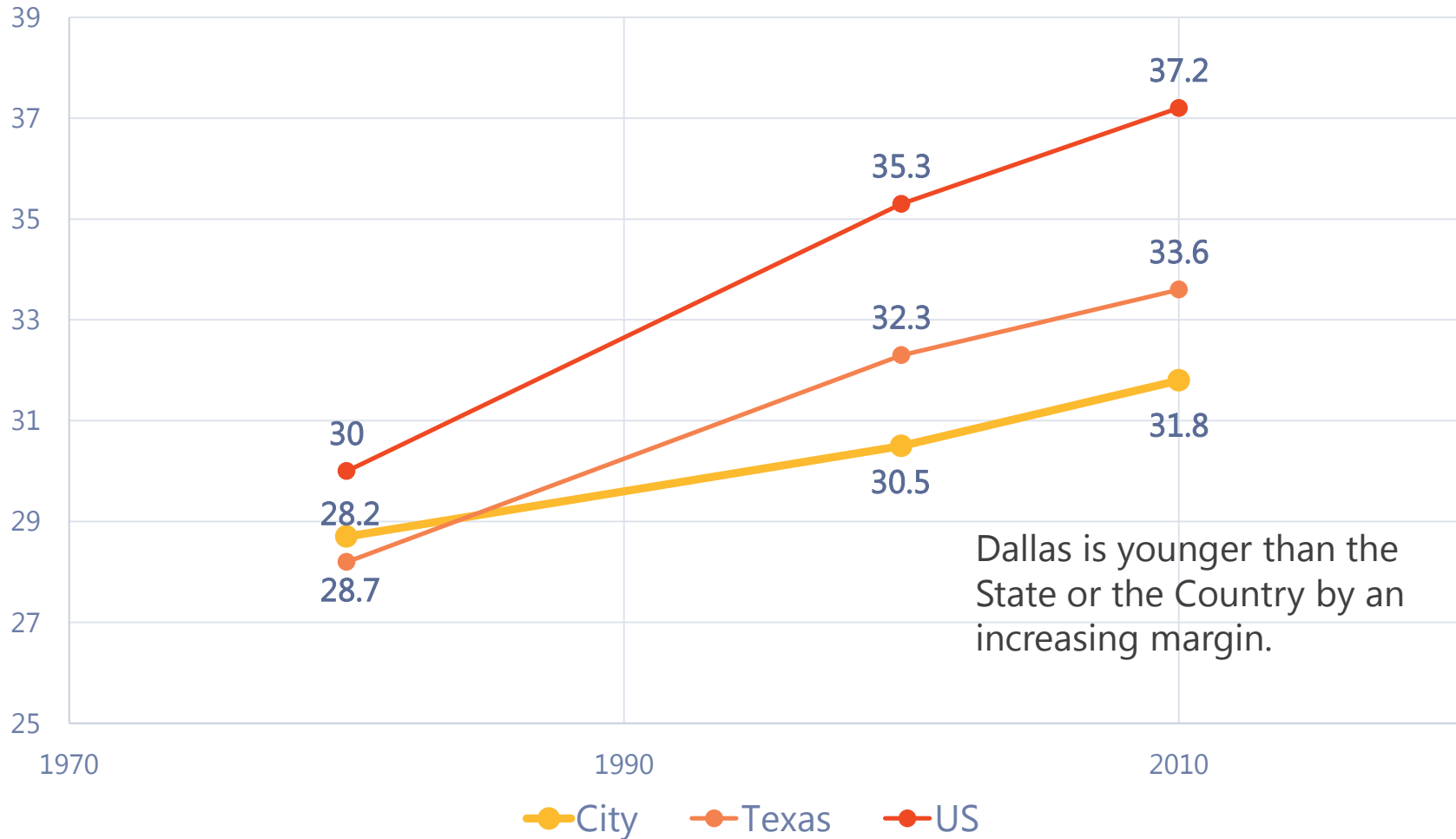


There are 57,000 home owners with incomes of less than \$35,000.



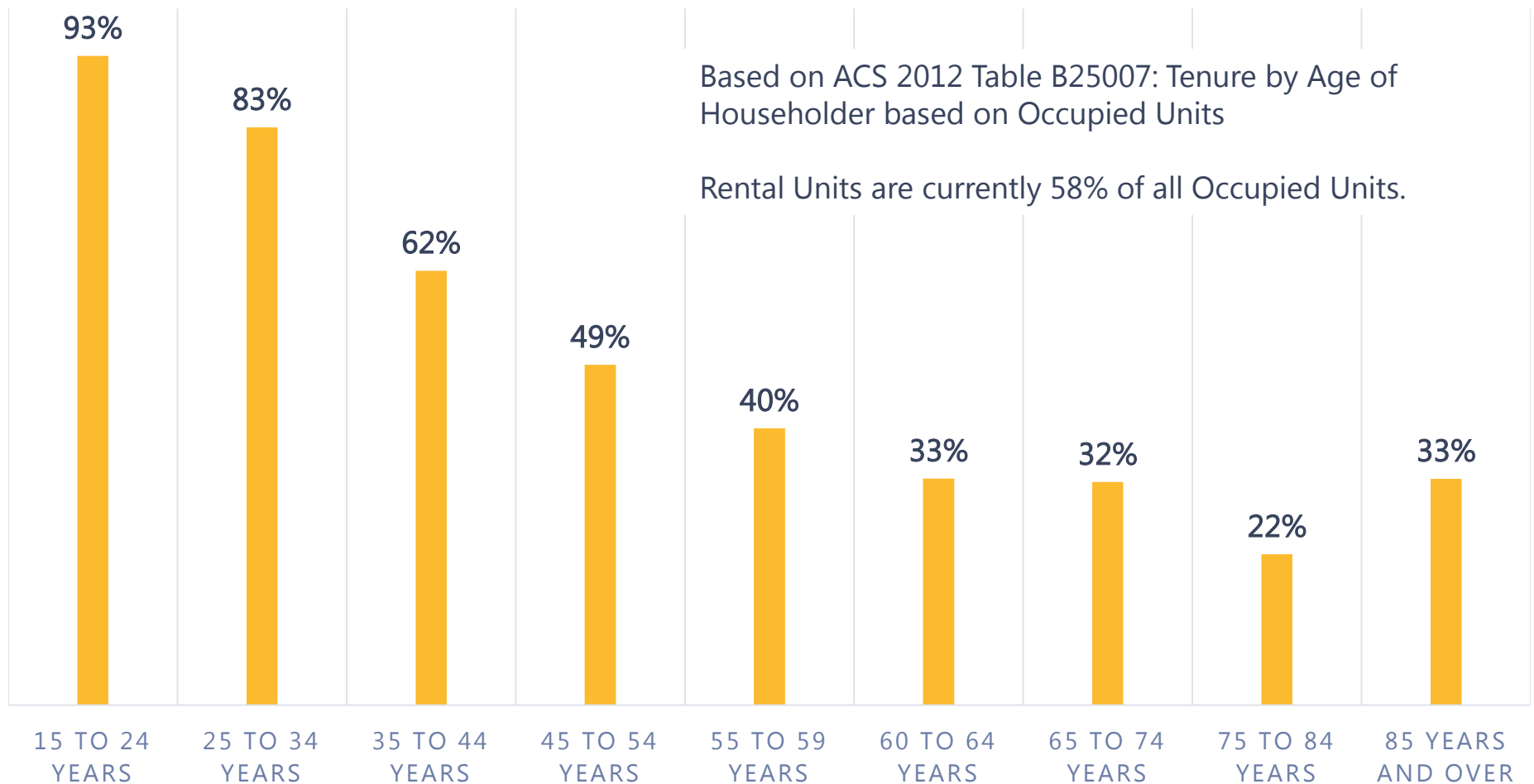


# Dallas Housing Past & Present: Median Age





## % OF AGE GROUP THAT ARE RENTERS, 2012



# Housing Needs Assessment: Growth Targets

- City of Dallas 2020 Annual Increment
  - Standard SF 757
  - Small Lot SF 1,989
  - Townhome 1,155
  - Multifamily 4,096
  - Mobile 28

**Goal is to keep the City at 50% of County Population.**

# Dallas 2020 Growth Target

## Annual Increment by Housing Type and Tenure



# Expand Homeownership – How We Get There

## OBJECTIVE

- By 2035, the homeownership rate in Dallas has increased to 50%.

## PROGRAMS

- Incentivize builders and buyers by increasing mortgage assistance levels
- Increase the number of eligible loan applicants
- Encourage a wider range of housing types to meet emerging preferences

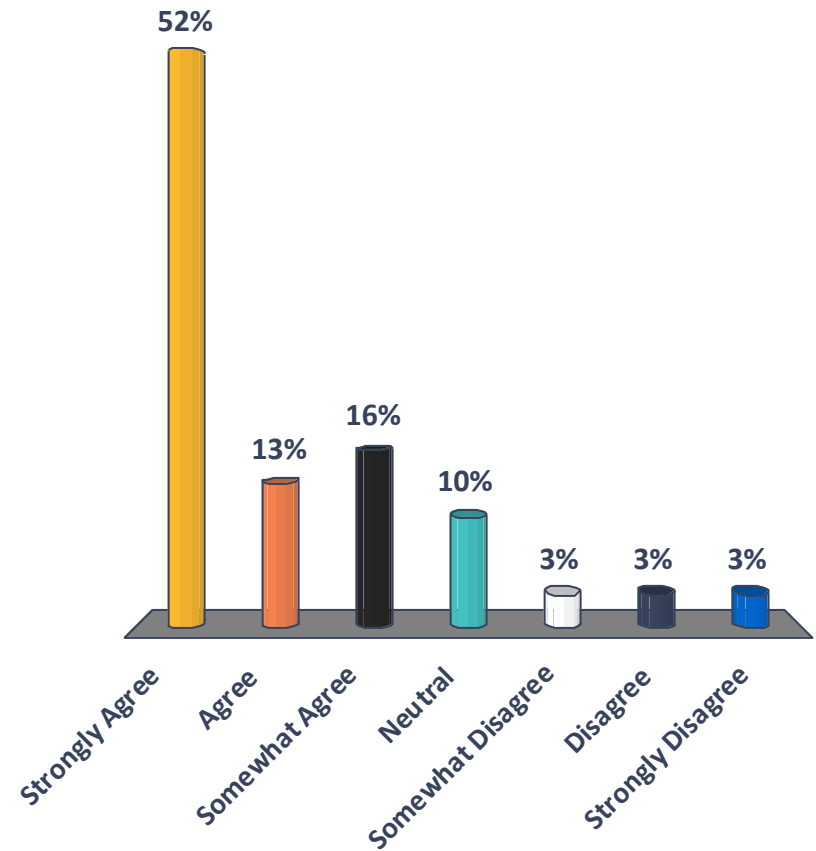
## Incentivize builders and buyers by increasing mortgage assistance

- Open mortgage assistance to a wider range of income groups.
- Develop programs to promote down payment savings.
- Partner with banks to expand levels of support to a broader range of incomes (address 81% to 140% of AMI)
- Reduce the homebuyer gap for lower middle income families

# Increase Mortgage Assistance

## Should this be a top priority?

- A. Strongly Agree
- B. Agree
- C. Somewhat Agree
- D. Neutral
- E. Somewhat Disagree
- F. Disagree
- G. Strongly Disagree

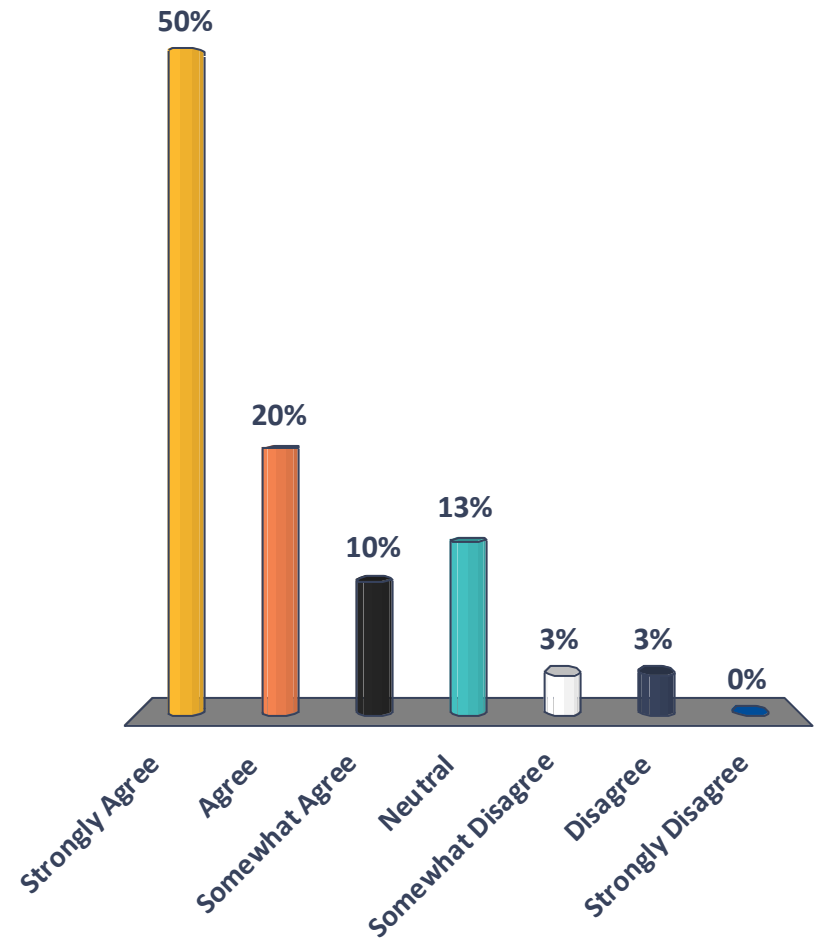


# Increase the number of eligible loan applicants

- Work with lenders and other groups to build home ownership programs that increase the number of eligible loan applicants
- Expand and consolidate existing educational programs for low-income families and first-time homebuyers on how to manage their finances, delivering customized knowledge and guidance on family finances, smart budgeting and strong credit and saving habits

# Increase Eligible Loan Applicants Should this be a top priority?

- A. Strongly Agree
- B. Agree
- C. Somewhat Agree
- D. Neutral
- E. Somewhat Disagree
- F. Disagree
- G. Strongly Disagree





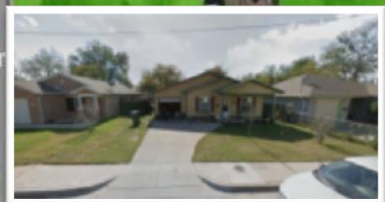
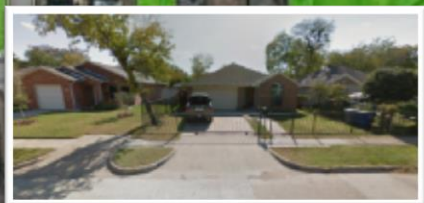
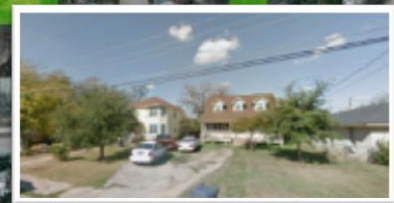
## Encourage wider range of housing types to meet emerging preferences

- Ensure that single family housing on small lots are allowed and easy to permit, with a goal of dramatically increasing housing production for households at all income levels
- Promote alternative housing options for home-ownership such as cottage homes, courtyard homes and townhouses
- Hold an architectural design contest for innovative designs that expand the palette of infill and small lot housing options

# Vacant Land 2005

City of Dallas, 2012

Inspire Dallas  
The future of living in our city



- Neighborhoods
- DART station
- DART line
- Major highways
- Flood plain area
- Bodies of water
- Vacant Land 2005

0 0.01 0.02 0.04 Miles



# Hatcher Station Vacant Land



# Duplexes





# Cottage Homes





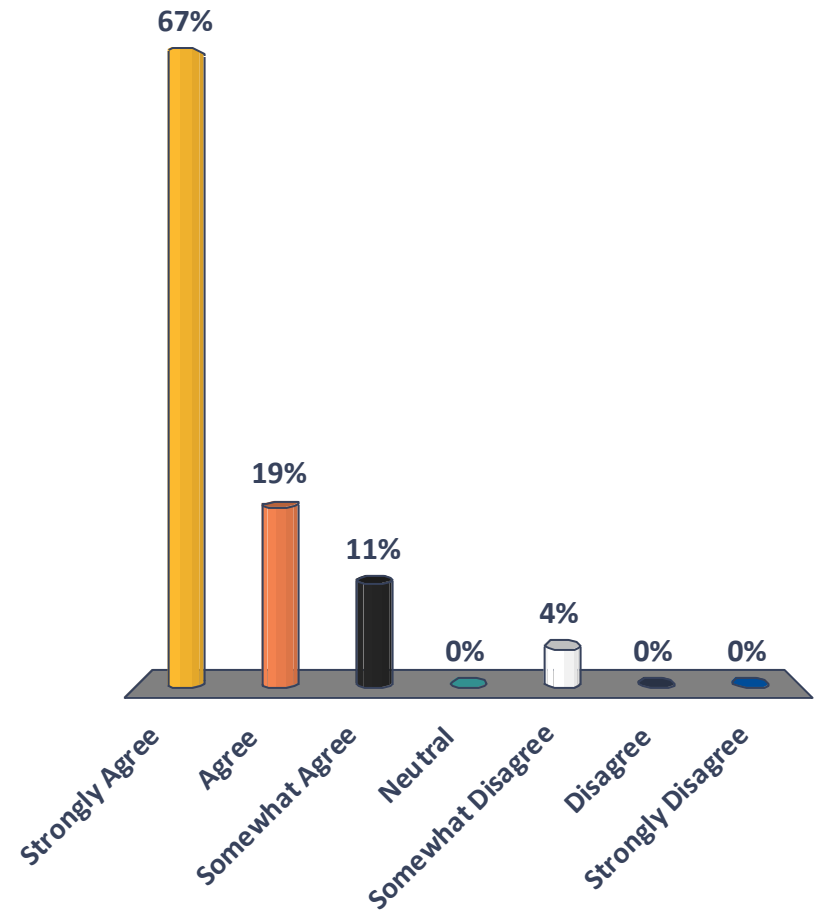
# Courtyard Housing



# Expand Housing Types

## Should this be a top priority?

- A. Strongly Agree
- B. Agree
- C. Somewhat Agree
- D. Neutral
- E. Somewhat Disagree
- F. Disagree
- G. Strongly Disagree



# Affordable Street of Dreams

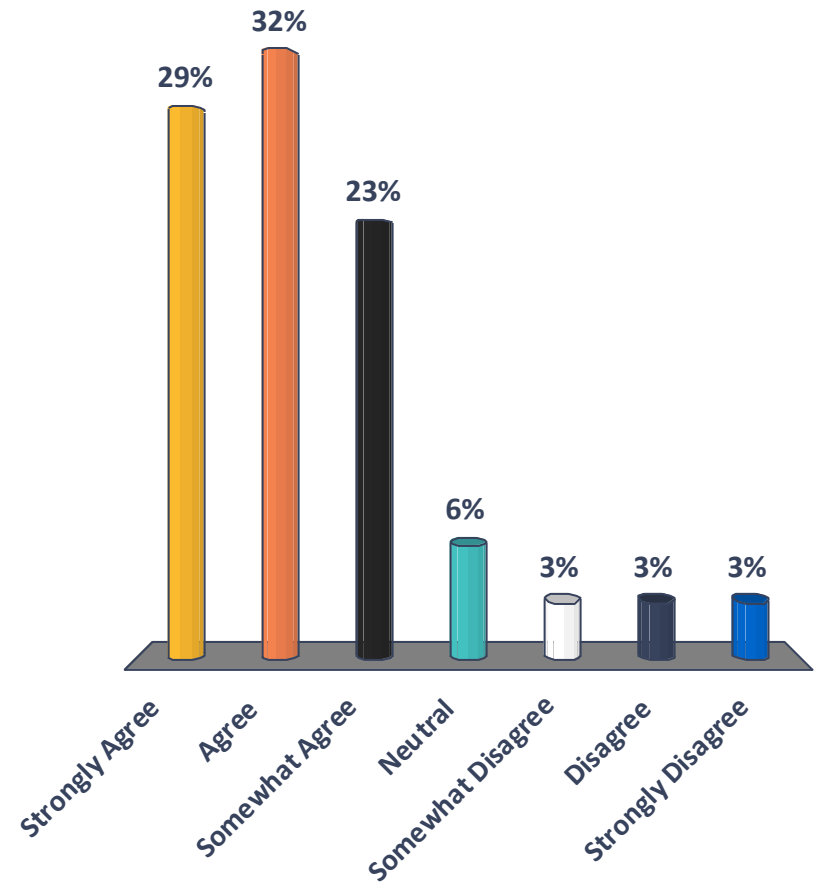
- Create a “Street of Dreams” that is affordable to middle income households, sponsored by the development community
- Infill 4 to 6 properties on several blocks in transitioning neighborhoods
- Test approval process and prove the market for innovative housing types not common in the Dallas market today



# Affordable Street of Dreams

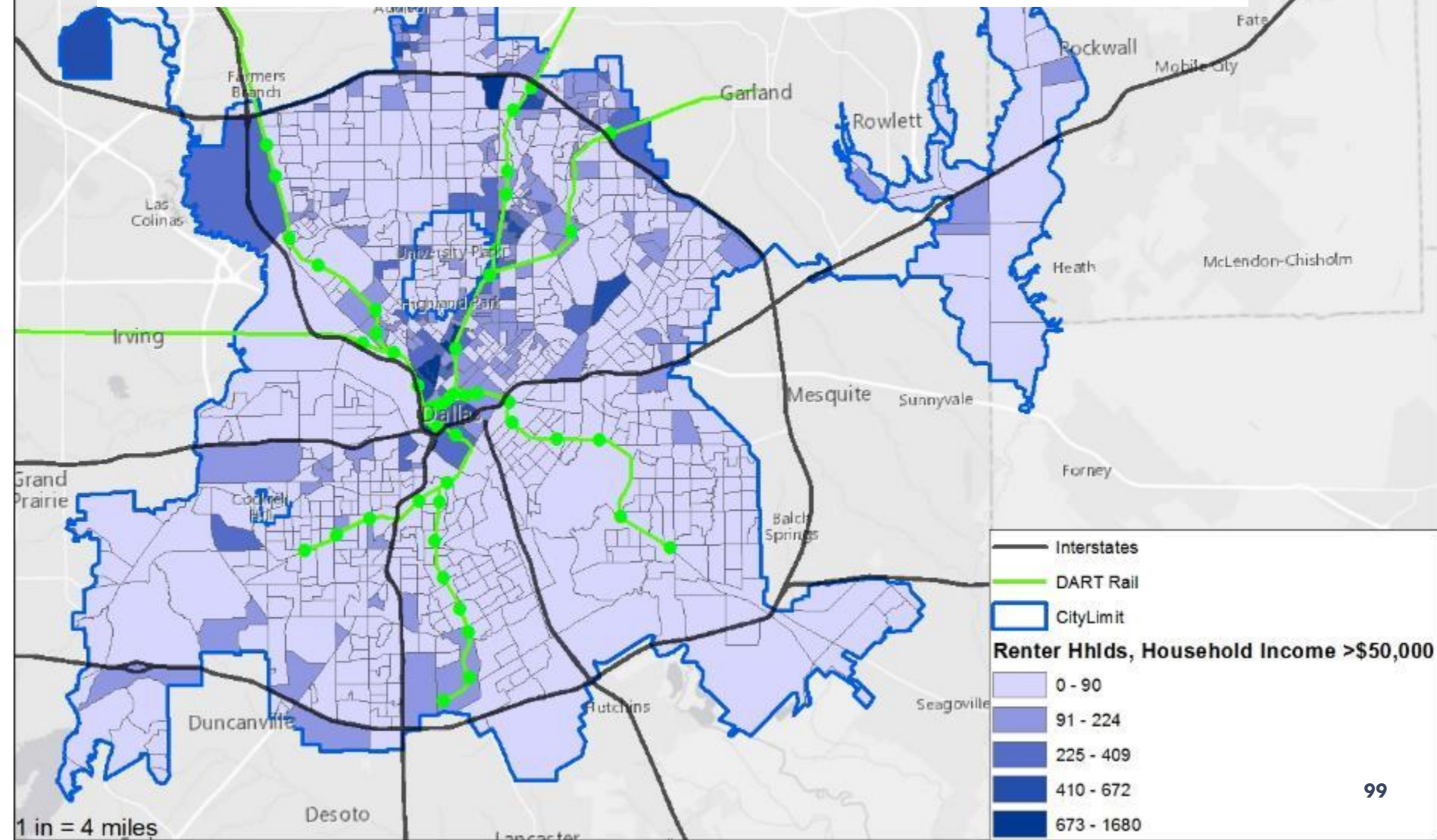
## Should this be a top priority?

- A. Strongly Agree
- B. Agree
- C. Somewhat Agree
- D. Neutral
- E. Somewhat Disagree
- F. Disagree
- G. Strongly Disagree



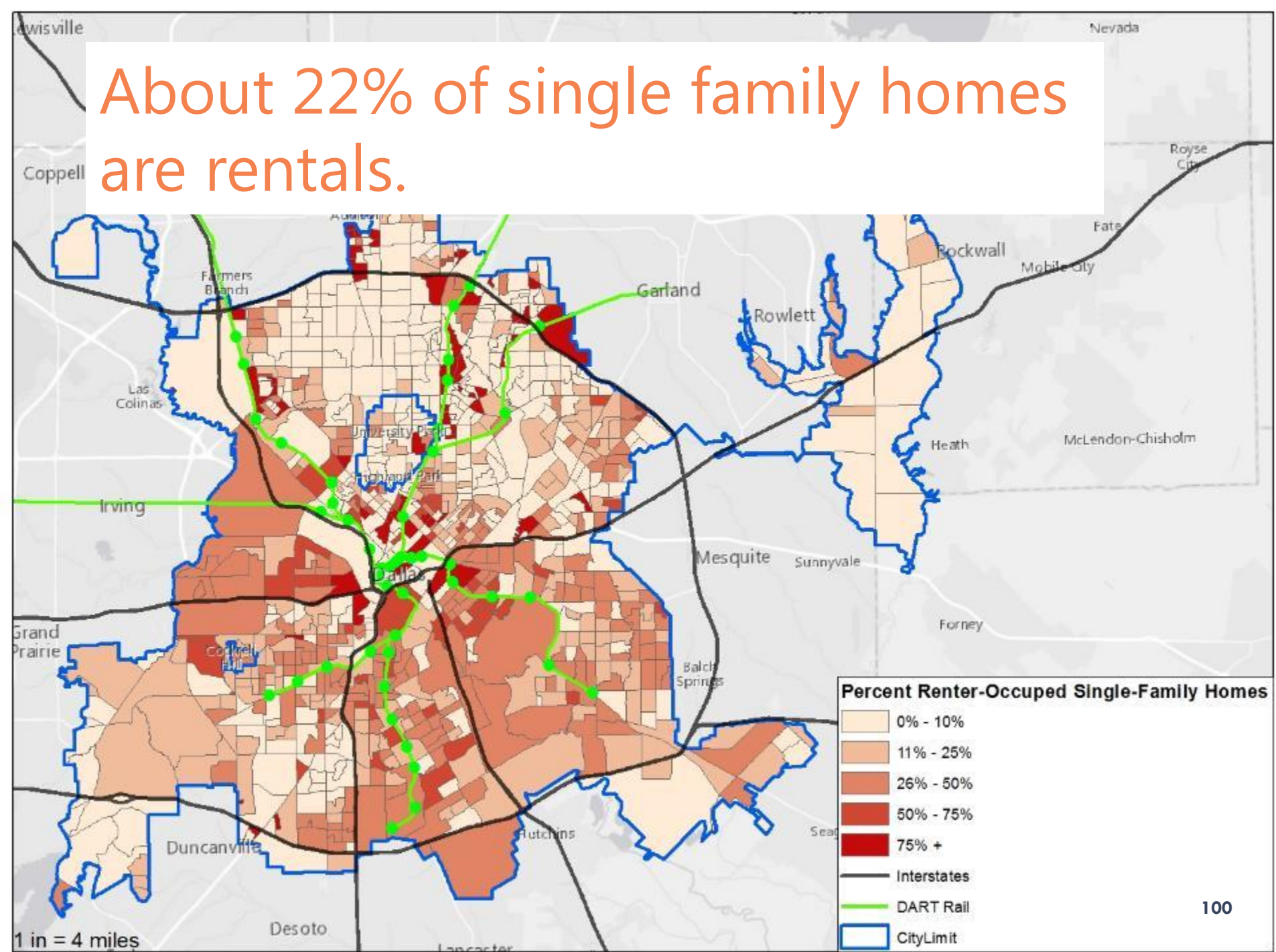
# Enhancing Rental Housing Options

# 84,000 rental households that make more than \$50,000





About 22% of single family homes are rentals.



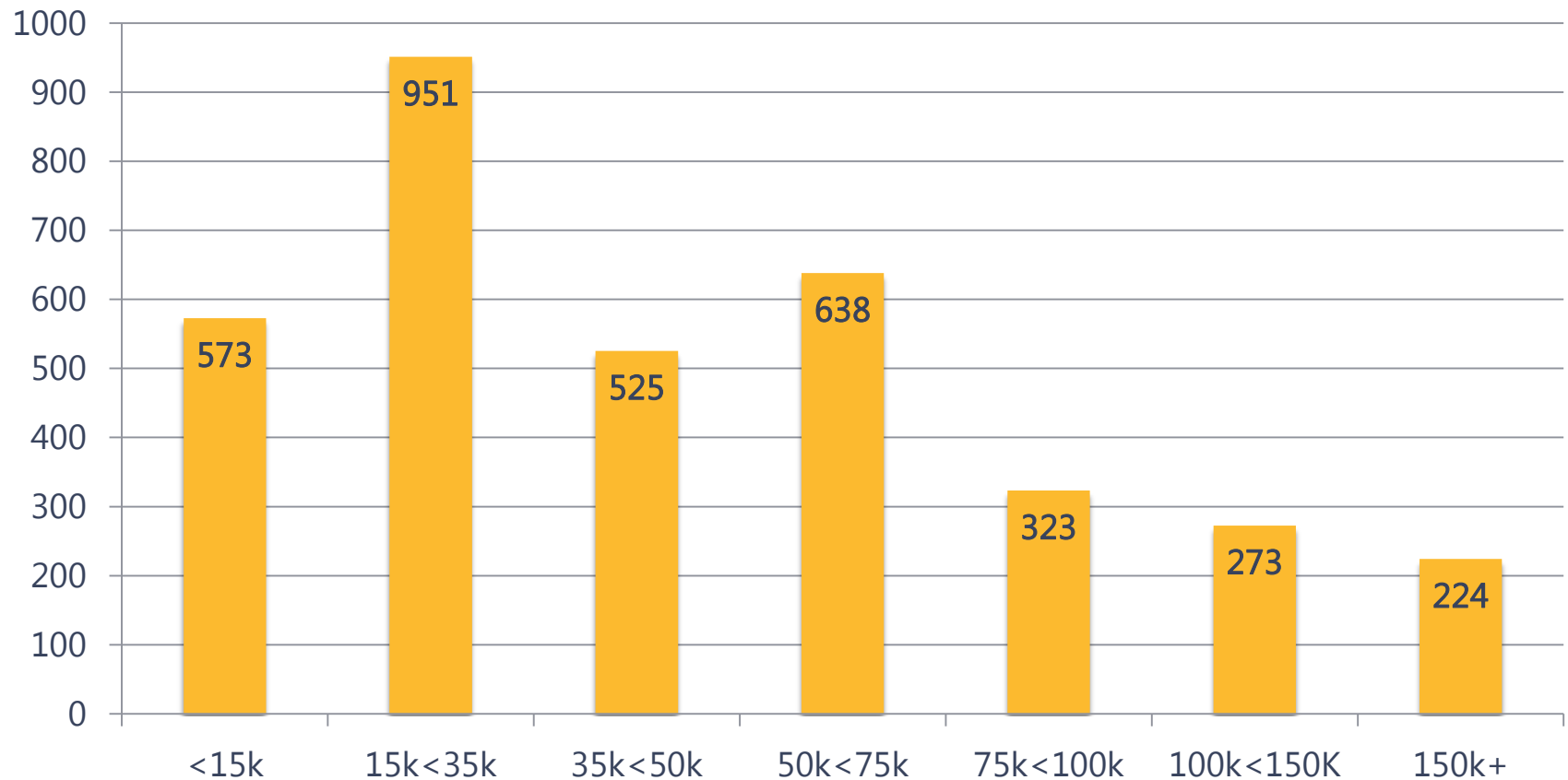
# Dallas 2020 Growth Target

## Annual Increment by Housing Type and Tenure



# Target Rental Units by Income

## Rental Annual Increment by Income



# Enhance Rental Housing Options – How We Get There

## OBJECTIVE

- By 2035, the City of Dallas has reduced substandard rental housing by 50%.

## PROGRAMS

- Rental registration and proactive code enforcement
- Require affordable housing in projects receiving public funds or other city entitlements
- Align planning, funding and community investments with transit and transportation planning to support transit-oriented development <sup>103</sup>

# Rental registration and proactive code enforcement

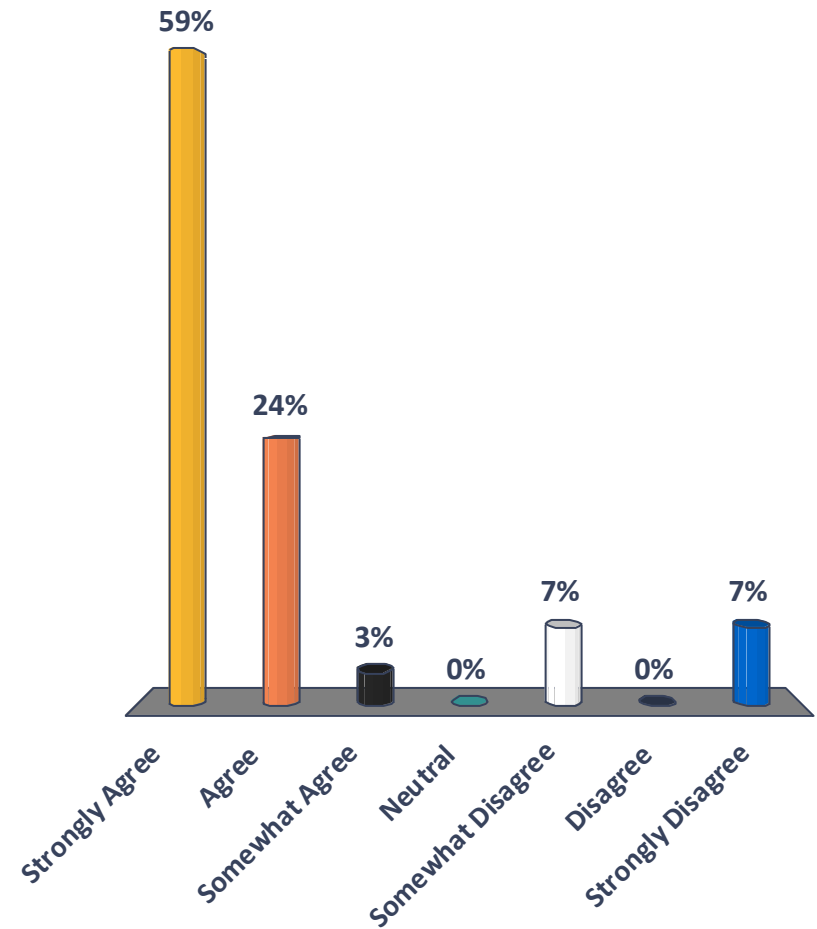
- Require routine inspections of multifamily, condominium and single family rental units; charge for inspection program; inspect all properties in a 3 year cycle.
- Develop an effective program to register and ensure code compliance of condominium rental properties.
- Target investors with large numbers of properties with habitual code violations. Address maintenance, health and safety issues related to overcrowding.



# Rental Registry & Code Enforcement

## Should this be a top priority?

- A. Strongly Agree
- B. Agree
- C. Somewhat Agree
- D. Neutral
- E. Somewhat Disagree
- F. Disagree
- G. Strongly Disagree



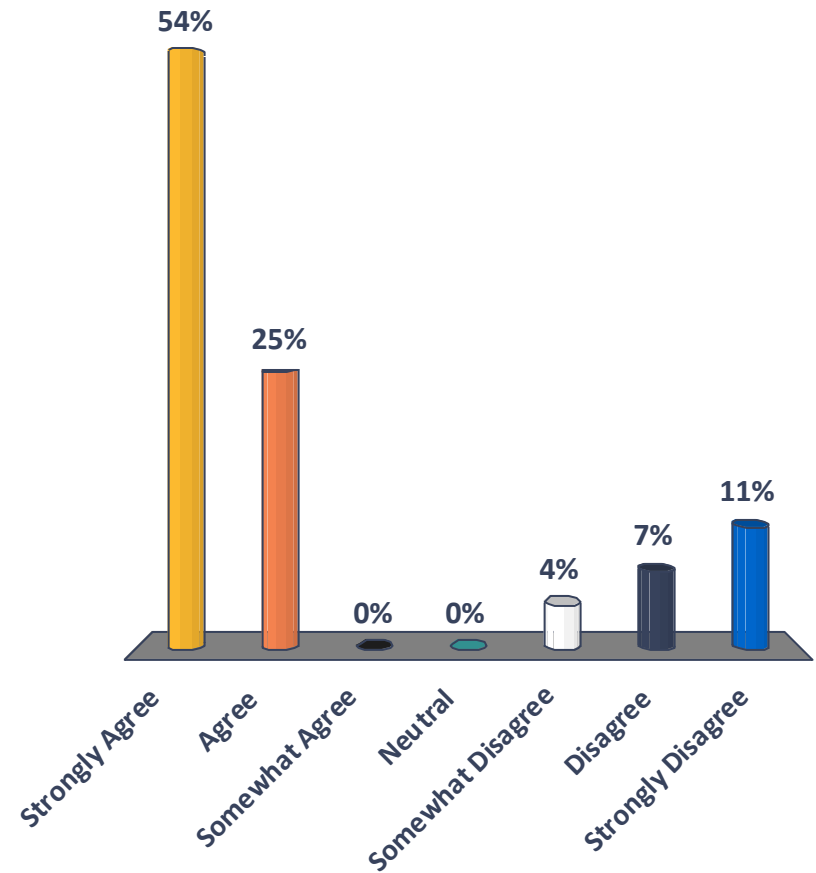
# Require affordable housing in projects receiving public funds

- Promote mixed income projects and preservation of affordability in revitalizing areas by enforcing city policy to require projects receiving public funds to provide 20% of the units in affordable housing.
- Establish a policy to require affordable units in projects requesting zoning changes that result in increased residential density (% tied to density increase).

# Affordable Requirements for Public Funds

## Should this be a top priority?

- A. Strongly Agree
- B. Agree
- C. Somewhat Agree
- D. Neutral
- E. Somewhat Disagree
- F. Disagree
- G. Strongly Disagree



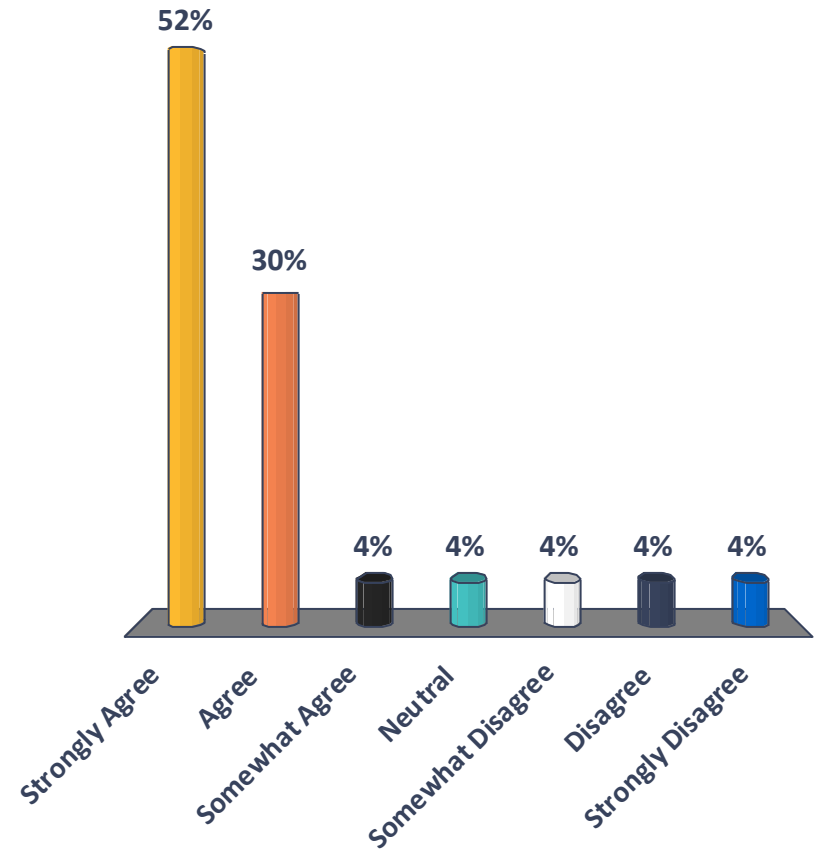
# Align community investments with transit to support TOD

- Partner with DHA, DART and others to utilize publicly-owned land near transit
- Align available housing funding sources to promote transit-oriented, mixed-income residential development
- Through the super-neighborhood unit structure, evaluate amenities and identify, prioritize opportunities to improve infrastructure to support walking and biking in transit-oriented areas

# Align Housing with Transit

## Should this be a top priority?

- A. Strongly Agree
- B. Agree
- C. Somewhat Agree
- D. Neutral
- E. Somewhat Disagree
- F. Disagree
- G. Strongly Disagree



# Six Key Strategies



# Brainstorm

## *Small Group Activity*

1. REVIEW AND EDIT the solutions list.
2. BRAINSTORM additional solutions to achieve each strategy.
3. Identify PARTNERS and RESOURCES.
4. Choose the TOP THREE solutions. Choose a presenter.