

ORDINANCE NO. **25116**

An ordinance changing the zoning classification on the following described property, to wit:

An area being bounded by the center line of the alley between McCommas Boulevard and Longview Street on the north, the center line of Greenville Avenue on the east, the centerline of the alley between Vanderbilt Avenue and Goodwin Avenue on the south, and the centerline of US-75 on the west, but excluding Block 2193, Lots 9 and 10 and Block H2912, Lot 8A, and containing approximately 176 acres of land;

from an R-7.5(A) Single Family District and an R-7.5(A)-MD-1 Single Family District with Modified Delta No. 1 Overlay to Conservation District No. 9 (the M Streets Conservation District) with retention of Modified Delta No. 1 Overlay; providing procedures and regulations for this conservation district; providing a penalty not to exceed \$2,000; providing a saving clause; providing a severability clause; and providing an effective date.

WHEREAS, the city plan commission and the city council of the City of Dallas find that the property described in Section 2 of this ordinance is an area of cultural and architectural importance and significance to the citizens of the city; and

WHEREAS, the city plan commission and the city council, in accordance with the provisions of the Charter of the City of Dallas, the state law, and the applicable ordinances of the city, have given the required notices and have held the required public hearings regarding the rezoning of the property hereinafter described; and

WHEREAS, the city council finds that it is in the public interest to establish this conservation district; Now, Therefore,

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF DALLAS:

SECTION 1. Approval of the conceptual plan. That the conceptual plan for the M Streets Conservation District, attached to this ordinance as Exhibit B, is approved.

SECTION 2. Creation of the conservation district. That the zoning ordinances of the City of Dallas, as amended, are amended by changing the zoning classification from an R-7.5(A) Single Family District and an R-7.5(A)-MD-1 Single Family District with Modified Delta No. 1 Overlay to Conservation District No. 9 (the M Streets Conservation District) with retention of Modified Delta No. 1 Overlay on the following described property, to wit:

An area being bounded by the center line of the alley between McCommas Boulevard and Longview Street on the north, the center line of Greenville Avenue on the east, the centerline of the alley between Vanderbilt Avenue and Goodwin Avenue on the south, and the centerline of US-75 on the west, but excluding Block 2193, Lots 9 and 10 and Block H2912, Lot 8A, and containing approximately 176 acres of land.

SECTION 3. Purpose. That this conservation district is established to conserve the M Streets neighborhood and to protect and enhance its significant architectural and cultural attributes. The conservation district regulations are attached to this ordinance as Exhibit A. The conservation district regulations ensure that new construction, renovation, and remodeling is done in a manner that is compatible with the original architectural styles found in the conservation district.

SECTION 4. Zoning district maps. That the director of the department of development services shall correct Zoning District Map Numbers H-8 in the offices of the city secretary, the building official, and the department of development services, to reflect the changes in zoning made by this ordinance.

SECTION 5. Penalty clause. That a person who violates a provision of this ordinance is guilty of a separate offense for each day or portion of a day during which

the violation is committed, continued, or permitted, and each offense is punishable by a fine not to exceed \$2,000.

SECTION 6. Saving clause. That the zoning ordinances of the City of Dallas, as amended, shall remain in full force and effect, save and except as amended by this ordinance.

SECTION 7. Severability clause. That the terms and provisions of this ordinance are severable and are governed by Section 1-4 of CHAPTER 1 of the Dallas City Code, as amended.

SECTION 8. Effective date. That this ordinance shall take effect immediately from and after its passage and publication in accordance with the provisions of the Charter of the City of Dallas and it is accordingly so ordained.

APPROVED AS TO FORM:

MADELEINE B. JOHNSON, City Attorney

By _____
Assistant City Attorney

Passed _____ November 13, 2002 _____

EXHIBIT A

M STREETS CONSERVATION DISTRICT REGULATIONS

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(a) Interpretations and definitions.

- (1) Unless otherwise stated, all references to articles, divisions, or sections in this ordinance are to articles, divisions, or sections in Chapter 51A.
- (2) Unless otherwise stated, the definitions in Chapter 51A apply to this ordinance. In this ordinance:
 - (A) ARCHITECTURAL DESIGN FEATURES include chimneys; roof style, slope, and overhang; materials; window style; vent style; balconies; towers; wing walls; eave overhangs; window sashes; front porches; crowns; pilasters; and other exterior architectural features.
 - (B) CIRCULAR DRIVEWAY means a non-permeable surface located in a front yard or cornerside yard, used to access off-street parking or for off-street parking, and that has two curb cuts onto the same street or perpendicular streets.
 - (C) COMPATIBLE means consistent with the architectural design features found within the district, including architectural style, scale, massing, setbacks, colors, and materials.
 - (D) CONTEMPORARY means contemporary architectural style as shown in Exhibit B.
 - (E) CORNER LOT means a lot that has frontage on two different streets.
 - (F) CORNERSIDE FACADE means a main building facade facing a side street.
 - (G) CORNERSIDE LOT LINE means the lot line on a side street.
 - (H) CORNERSIDE YARD means a side yard that abuts a street. A NON-CORNERSIDE YARD means a side yard that is not a cornerside yard.
 - (I) CRAFTSMAN means craftsman architectural style as shown in Exhibit B.
 - (J) DEMOLITION means the razing of the entire building or structure.

- (K) DIRECTOR means the director of the department of development services or the director's representative.
- (L) DISTRICT means the M Streets Conservation District.
- (M) FENCE means a structure or hedgerow that provides a physical barrier.
- (N) FRONT FACADE means the building elevation facing the front street.
- (O) FRONT STREET means Homer Street for houses with Homer Street addresses, McCommas Boulevard, Mercedes Avenue, Merrimac Avenue, Monticello Avenue, Morningside Avenue, Ridgedale Avenue, and Vanderbilt Avenue.
- (P) FRONT YARD means the portion of a lot that abuts a street and extends across the width of the lot between the street and a main building and lines parallel to and extending outward from the front facade of a main building. REQUIRED FRONT YARD means the portion of the front yard between the street and the setback line.
- (Q) HARDSCAPE means any non-plant landscape materials such as boulders, cobbles, decorative concrete, gravel, mulch, pavers, or stones.
- (R) HEIGHT means the vertical distance measured from grade to the highest point of the structure as shown in Exhibit B.
- (S) HIGH TUDOR means high tudor architectural style as shown in Exhibit B.
- (T) LARGE CANOPY TREES means those varieties of Maple, Oak, Elm, and Pecan designated as large canopy trees by the city arborist.
- (U) LINE-OF-SIGHT refers to an imaginary line extending from the viewpoint of a six-foot-tall person standing in the middle of the street to the apex of the roof of the main structure's side gable. (See Exhibit B.)
- (V) MAIN STRUCTURE means the building on a lot intended for occupancy by the main use.

- (W) MINIMAL TRADITIONAL means minimal traditional architectural style as shown in Exhibit B.
- (X) NEO-COLONIAL means neo-colonial architectural style as shown in Exhibit B.
- (Y) ONE-AND-ONE-HALF STORY STRUCTURE means a main structure in which the space within the roof structure has been converted to livable space.
- (Z) ORIGINAL HOUSE means a house constructed between 1920 and 1940 in the High Tudor style.
- (AA) PARKWAY means that area between the sidewalk and the curb, or that area between the sidewalk and the street pavement if there is no curb.
- (BB) RANCH means ranch architectural style as shown in Exhibit B.
- (CC) REAR YARD means:
- (i) on an interior lot, the portion of the lot between the side lot lines that extends across the width of the lot between a main building and lines parallel to and extending outward from the rear facade of a main building and the rear lot line; and
 - (ii) on a corner lot, the portion of the lot that extends between the interior side lot line and a line parallel to and extending outward from the rear corner of the cornerside facade, and between the rear lot line and a main building and a line parallel to and extending outward from the interior side corner of the rear facade.
- (DD) REMODEL means improvements or repairs that change the appearance of the main structure or replace original materials of the main structure with another material.
- (EE) RETAINING WALL means a wall used to prevent the erosion of land.

- (FF) ROOF RIDGE means the apex of any roof structure, regardless of its style or form.
- (GG) SIDE-STREET means Central Expressway, Glencoe Street, Greenville Avenue, Homer Street for houses with non-Homer addresses, Laneri Avenue, McMillan Avenue, and Worcola Street.
- (HH) SIDE YARD means any portion of a lot not occupied by a main building that is not a front yard or rear yard. "Side yard" includes "cornerside yard."
- (II) SPANISH REVIVAL means spanish revival architectural style as shown in Exhibit B.
- (JJ) STREET FACADE means any part of a building that faces a public street.
- (KK) TUDOR COTTAGE means tudor cottage architectural style as shown in Exhibit B.
- (LL) WRAP-AROUND means that portion of a side facade of a main structure 25 feet behind the corner of the front facade.

- (b) Conceptual plan. The M Streets Conservation District Conceptual Plan is attached to and made a part of this ordinance as Exhibit B. In the event of a conflict between Exhibit A, the M Streets Conservation District Regulations, and Exhibit B, the conceptual plan, Exhibit A controls.
- (c) Nonconforming structures. Section 51A-4.704(c), "Nonconforming Structures," applies, except that if the degree of nonconformity is voluntarily reduced, all rights to the previous degree of nonconformity are lost.
- (d) Development standards. Except as otherwise provided, the development standards of the R-7.5(A) Single Family District apply.
 - (1) Use. The only use allowed is single-family.
 - (2) Conversions or additions. The number of dwelling units on a lot may not be increased.
 - (3) Lot size. Lots must have a minimum area of 7,500 square feet.

- (4) Lot width. Lots must have a minimum width of 50 feet. Lots may not exceed 60 feet in width.
- (5) Lot coverage. The maximum lot coverage is 45 percent.
- (6) Height. The maximum height for all structures is 30 feet, except that no part of the main structure may exceed the line-of-sight. Height must be calculated by a licensed architect or engineer. (See Exhibit B.)
- (7) Front yard setback for main structures. The minimum front yard setback for main structures is the average of the front yard setback of the two adjacent houses. The maximum front yard setback for main structures is the greater setback of the two adjacent houses. Setback calculations must be prepared by a licensed architect or engineer.
- (8) Side yard setback for main structures. Except for houses located on Homer Street, the minimum side yard setback for main structures is five feet on the west side and 10 feet on the east side. For houses on Homer Street, the minimum side yard setback for main structures is five feet on the north side and 10 feet on the south side.
- (9) Rear yard setback for main structures. The minimum rear yard setback for main structures is 20 feet.
- (10) Stories. The front facade of main structures must have the appearance of a one-and one-half story structure as shown in Exhibit B.
- (11) Accessory structures, garages, and carports.
 - (A) Location. Garages and carports must be located in the rear 30 percent of the lot. On corner lots, accessory structures may not be located closer to the cornerside lot line than the main structure.
 - (B) Access. Garages must have at least one vehicle entrance from the street.
 - (C) Style and materials. The color, style, design, and materials of garages that are visible from the street must be compatible with the main structure.

- (D) Roof slope. If a garage is visible from the street, the slope of the roof must match either the roof slope of the main structure or the roof slope of original garages.
- (E) Side yard setback. There is no required side yard setback for garages, except that no part of the garage may overhang adjacent property.
- (F) Rear yard setback for garages.
 - (i) Garages over 15 feet in height must have a minimum five-foot rear yard setback.
 - (ii) Garages 15 feet or less in height must have a three-foot rear yard setback unless the property owner can document the original footprint, in which case the garage may be built on the original footprint.
 - (iii) The minimum rear yard setback for all rear-entry garages is 20 feet.
- (G) Existing garages. Existing garages that are not located to the rear of the main structure may be repaired or maintained, but may not be enlarged or replaced.
- (12) Roofing materials. No corrugated plastic, standing-seam metal, rolled, or tar-and-gravel roofing is allowed on the front facade, the wrap-around, or any part of a garage that is visible from a street. Copper roofing accents are allowed on dormers and eyebrows.
- (13) Fences and walls.
 - (A) Fences are not allowed in the front yard.
 - (B) Fences and walls that can be seen from a street must be constructed of brick that matches the main structure, stone, wood, or wrought iron.
 - (C) Fences in cornerside yards must be located behind the mid-point of the main structure.

- (D) Fences in non-cornerside yards must be located at least five feet behind the front corner of the house.

(14) Driveways and curbing.

- (A) All houses must have a straight driveway located along the east side (south side for Homer lots) of the main structure. The driveway entry must be from the front street, except that corner lots may have a driveway entry from the side street.
- (B) Circular driveways are prohibited. Lots may only have one driveway entry, except that additional access is allowed from the alley.
- (C) All driveways and curbing located in a front yard or cornerside yard must be constructed of brushed concrete.
- (D) The driveway entry must be between eight and ten feet wide. On corner lots, a driveway on the side street may be 24 feet wide if it is located behind the rearmost corner of the main structure or provides access to a garage.
- (E) Existing driveways on cornerside lot lines may be removed if the entire driveway is removed, the curb and parkway is restored, and the driveway is relocated.

(15) Front yards and parkways.

- (A) No more than 30 percent of the front yard may be paved or hardscaped. The parkway may not be paved or hardscaped except for curb cuts and sidewalk extensions.
- (B) Mailboxes, pylons, satellite dishes, and other accessory structures are not allowed in the front yard or parkway.

(16) Retaining walls.

- (A) Existing retaining walls may be repaired and maintained.
- (B) New retaining walls must be made of stone and may not exceed 30 inches in height as measured from the sidewalk or four inches

above the yard it is retaining, whichever is less; and must match the materials and color of the main structure.

(17) Parkway trees. Prior to final inspection on any new construction or additions over 100 square feet, at least two, two-caliper-inch large canopy trees must be planted in or adjacent to the parkway. This requirement does not apply if there are already two or more large canopy trees located in or adjacent to the parkway. A large canopy tree is considered adjacent to the parkway when the tree, fully grown, will provide a 10-foot-wide shaded area over the parkway and a portion of the street at midday. If trees are planted in the public right-of way, all applicable licensing requirements must be met.

(18) Windows and doors.

(A) The following applies to windows and doors on the front facade and the wrap-around:

(i) Only transparent, stained, or leaded glass is allowed in windows and doors.

(ii) Window height must be greater than the window width.

(iii) All windows must fit the wall opening. Infill surrounding the window is not allowed.

(iv) Metal window frames must have a finish that is indistinguishable from the finish on original wood windows.

(v) Window air conditioner units are not allowed.

(vi) Window muntins and mullions must be expressed by a minimum of one-fourth inch. Window assemblies must have a profile depth of at least three inches.

(e) Architectural standards for new construction.

(1) Applicability. The standards contained in this section apply to construction of new main structures, except Craftsman replacement houses. This section applies to the front facade and the wrap-around.

- (2) Style. All new construction must be built in the High Tudor style and must be compatible with original houses.
- (3) Materials.
- (A) Except as otherwise provided in this paragraph, new houses must be constructed of brick and/or stone using the same colors, course patterns, material placement, and material combinations found in original houses.
 - (B) Brick must be scratch-face or textured, with at least three subtle variations in tone. Brick colors and textures must be typical of the brick used on original houses. Brick must be modular or standard size.
 - (C) Stone must be similar to the stone used on original houses.
 - (D) Projecting front-facing gables and side gables must be constructed of brick, stone, or stucco with wood half-timbering. All decorative wood elements must be painted.
 - (E) Non-gabled areas above the eaves on the sides of the house must be constructed of brick, hardiplank, siding that has the appearance of wood, stone, stucco with wood half-timbering, or wood.
- (4) Front facade dimensions. The width of the front facade of the new house must be at least 75 percent of available buildable lot width. The front facade may vary no more than six feet in depth along the front plane. The front facade may not face a side street.
- (5) Roof form. The roof of new houses must be side-gabled with a roof slope between 45 degrees and 70 degrees. Hipped roofs are not allowed. The maximum overhang for eaves is 18 inches. (See Exhibit B.)
- (A) Projecting front-facing gables.
 - (i) The front facade of new houses must have one dominant projecting front-facing gable, and one or two smaller subordinate projecting front-facing gable(s).
 - (ii) Projecting front-facing gables must be placed asymmetrically along the front facade.

- (iii) Projecting front-facing gables may overlap.
 - (iv) Projecting front-facing gables must have a roof slope between 45 degrees and 70 degrees. The roof slope of each projecting front-facing gable must be the same.
 - (v) The height of the peak of the dominant projecting front-facing gable must be between 20 feet and 24 feet. The height of subordinate projecting front-facing gables must be at least 70 percent to 80 percent of the height of the dominant projecting front-facing gable.
- (B) Eaves. The eaves of all projecting front-facing gables and side gables must have a common height between 9 feet to 11 feet above grade.
- (C) Side gables. Side gables must be true gables, with both front and back roof slopes. At least 30 percent of the back slope must be maintained. The roof ridge of side gables must be flat and uninterrupted.
- (6) Foundation. The foundation must be raised a minimum of 12 inches above grade. The foundation must have a concrete exterior finish.
- (7) Steps.
- (A) Original rolling or waterfall steps leading from the sidewalk to the house must be retained. Where the original rolling or waterfall steps have been removed, they should be replaced to match the original.
 - (B) Front porch steps must lead to building entrances.
 - (C) Steps must be made of concrete.
- (8) Front porches.
- (A) New houses must have a front porch constructed with multiple arched openings compatible with original houses.
 - (B) The front porch must be a minimum of 25 percent of the ground floor front facade width. Front porches must have a minimum

depth of six feet, measured from inside the column to the face of the front facade.

- (C) Front porches may be open-air or enclosed. If front porches are enclosed, at least 95 percent of the material used to enclose the front porch openings must be transparent, stained, or leaded glass.

(9) Front facade windows.

- (A) The following standards apply to front facade windows located below the eaves:

- (i) New houses must have at least one pair of narrow, stained or leaded glass windows with a height-to-width ratio of at least 2-to-1.
- (ii) All other windows must be clear glass configured as 9-over-9, 6-over-6, or 1-over-1 lights; leaded glass; or stained glass.
- (iii) Windows must be asymmetrically positioned in groups along the front facade.

- (B) The following standards apply to front facade windows located above the eaves:

- (i) Windows may only be located in front projecting gables, dormers, or eyebrows.
- (ii) Casement and awning dimensions must be compatible with original houses.
- (iii) Windows must be stained or leaded glass.

(10) Chimneys.

- (A) New houses must incorporate a brick and/or stone chimney into the front facade or the front 15 feet of a side facade. The chimney must be at least five feet in width.

- (B) New houses must incorporate at least one of the following elements into the chimney:

- (i) Corbel chimney statue ledge.

- (ii) Twin chimney flues with expressed masonry openings.
- (iii) Complex brick or stone patterns.

(11) Dormers and eyebrows.

- (A) One gabled dormer is allowed on the front facade. Gabled dormers may not be inset or recessed. The width of gabled dormers may not exceed six feet. The height of the gabled dormer may not exceed the width by more than one foot.
- (B) Up to two eyebrow dormers are allowed on the front facade. Eyebrow dormers must be compatible with original houses.

(12) Optional architectural design features.

- (A) New houses must incorporate at least four of the following architectural design features into the front facade (see Exhibit B):
 - (i) Arched doorway which matches the shape of the front porch arches.
 - (ii) Turned cast-stone front porch columns.
 - (iii) Stucco with wood half-timbering in projecting front-facing gables.
 - (iv) Decorative, articulated verge boards.
 - (v) Stone accents.
 - (vi) Massive chimney located on the front facade.
 - (vii) Blond or light-colored brick compatible with original houses.
 - (viii) Open-air front porch.

(f) Architectural standards for remodeling of High Tudor and Tudor Cottage houses.

- (1) Applicability. Remodeling of houses that are identified as High Tudor or Tudor Cottage in Exhibit B must comply with the standards for new construction and the standards contained in this section. This section applies to the front facade and wrap-around.
- (2) Materials. Any remodeling must match the original brick and stone in size, color, coursing, texture, mortaring, and joint detailing.
- (3) Porte cocheres. Porte cocheres may not be enclosed.
- (4) Architectural design features.
 - (A) The following architectural design features must be maintained or duplicated. These architectural design features may be relocated within the front facade or wrap-around.
 - (i) Balustrades.
 - (ii) Chimneys.
 - (iii) Dormers.
 - (iv) Exterior stained and leaded glass.
 - (v) Front porches with columns.
 - (vi) Porte cocheres.
 - (vii) Roof eaves.
 - (viii) Turrets.
 - (ix) Window and door openings.
- (g) Demolition of High Tudor houses. Houses identified as High Tudor in Exhibit B may be demolished only if the cost of bringing the house into compliance with all applicable building code requirements using materials similar to the original materials is greater than 80 percent of the structure's value according to the Dallas Central Appraisal District.
- (h) Architectural standards for remodeling and reconstruction of non-Tudor houses. Non-Tudor houses may be remodeled in their own style, or in the High Tudor style, as long as the front facade and wrap-around reflects the chosen

architectural style. Houses completely or partially destroyed due to acts of God may be rebuilt in the original architectural style or in the High Tudor style.

(i) Architectural standards for Craftsman houses.

(1) Applicability.

(A) If a Craftsman house is demolished, it may be replaced by a High Tudor house or a Craftsman house. If the new house is a High Tudor house, it must comply with the architectural standards for new construction. If the new house is a Craftsman house, it must comply with these standards.

(B) Houses that are identified as Craftsman in Exhibit B must be remodeled according to the following standards.

(C) This section applies to the front facade and wrap-around.

(2) Materials. Craftsman houses must be constructed of brick, hardiplank, or wood. Any remodeling must match the original materials in type, size, color, coursing, texture, and joint detailing.

(3) Roof form. Craftsman houses must have a front-gabled roof with a shallow roof slope between 20 degrees and 40 degrees, with a minimum roof overhang of at least 18 inches. Roof rafters must be exposed. Decorative beams or braces must be added under gables. Gables must have dentils.

(4) Windows. Windows must be double-hung with 1-over-1 lights, or must be mission-styled. Windows must be grouped in clusters of two or three.

(5) Front porches. An unenclosed front porch is required along a minimum of 50 percent of the front facade. The front porch roof must be supported by tapered, square box columns with a brick or stone base. The front porch must be surrounded by a wood balustrade or railing. The entryway must have a Craftsman wood door.

(j) Architectural standards for Spanish Revival houses.

(1) Applicability. Spanish Revival houses must be remodeled according to the following standards. This section applies to the front facade and wrap-around.

- (2) Materials. Any renovations or additions must match the original brick, stone, or stucco in color, coursing, mortaring, size, and texture.
- (3) Roofs. Spanish Revival houses must have a front-gabled roof with a shallow roof slope between 20 degrees and 40 degrees, with a maximum roof overhang of 8 inches.
- (4) Windows. Windows must have 6-over-6 or 9-over-9 divided lights.
- (5) Arches. Arches above doors and windows must be retained.

(k) Architectural standards for Minimal Traditional houses.

- (1) Applicability. Minimal Traditional houses must be remodeled according to the following standards. This section applies to the front facade and wrap-around.
- (2) Materials. Any remodeling must match the original brick or stone in color, coursing, joint detailing, mortaring, size, and texture.
- (3) Roofs. Minimal Traditional houses must have a cross-gabled roof with low to moderate roof slope between 30 degrees and 45 degrees, and a single projecting front-facing entryway. The maximum roof overhang is 12 inches.
- (4) Windows. Windows must have multi-pane sashes.
- (5) Front porches. A front porch entry feature is required.

(l) Architectural standards for Neo-Colonial houses.

- (1) Applicability. Neo-Colonial houses must be remodeled according to the following standards. This section applies to the front facade and wrap-around.
- (2) Materials. Any remodeling must match the original brick or stone in color, coursing, joint detailing, mortaring, size, and texture.
- (3) Roof form. Neo-Colonial houses must have a side-gabled roof with a low to moderate roof slope between 35 degrees and 60 degrees.

- (4) Windows. Windows must be double hung with multi-pane sashes. Windows must be symmetrically balanced on both sides of the center door.
 - (5) Front door. The front door must be accentuated with a decorative pediment with crown, entry porch, slender columns, and pilasters.
- (m) Architectural standards for Ranch houses.
- (1) Applicability. Ranch houses must be remodeled according to the following standards. This section applies to the front facade and wrap-around.
 - (2) Materials. Any remodeling must match the original brick, stone, or wood in color, coursing, joint detailing, mortaring, size, and texture.
 - (3) Roof form. Ranch houses must have a hipped roof with a low roof slope between 20 degrees and 35 degrees. The overhang must be a minimum of 12 inches but no more than 24 inches.
 - (4) Windows. Windows must be ribbon or picture style.
- (n) Architectural standards for Contemporary houses.
- (1) Applicability. Contemporary houses must be remodeled according to the following requirements. This section applies to the front facade and wrap-around.
 - (2) Style and materials. Any remodeling must match the original materials, roof slope, and style of the main structure.
- (o) Procedures.
- (1) Review form applications. A review form application must be submitted to the Director for any work covered by the standards contained in this ordinance.
 - (2) Posting of architectural plans.
 - (A) Upon filing a review form application for new construction, the applicant must post a laminated minimum 11-inch-by-17-inch sign in the front yard with the following information, and provide a

copy of the sign to the neighborhood association(s) for the area where the property is located.

(i) A scaled color rendering of the front facade of the completed new construction or remodeling and the two adjacent houses, indicating the dimensions of all structures.

(ii) A scaled site plan showing the front yards, driveways, and footprints of the completed new construction or remodeling and the two adjacent structures. The site plan must be sealed by a licensed architect or engineer.

(3) Work requiring a building permit.

(A) Upon receipt of a review form application for work requiring a building permit, the building official shall refer the review form application to the Director to determine whether the new construction or remodeling meets the standards of this ordinance. The review of the review form application by the Director must be completed within 30 days after submission of a complete review form application.

(B) If the Director determines that the new construction or remodeling complies with the standards of this ordinance, the Director shall approve the review form application, and forward it to the building official, who shall issue the building permit if all requirements of the construction codes and other applicable ordinances have been met.

(C) If the Director determines that the new construction or remodeling does not comply with the standards of this ordinance, the Director shall state in writing the specific requirements to be met before issuance of a building permit, deny the review form application, and forward it to the building official, who shall deny the building permit. The Director shall give written notice to the applicant stating the reasons for denial of the review form application. Notice is given by depositing the notice properly addressed and postage

paid in the United States mail. The notice to the applicant must be sent to the address shown on the review form application.

(4) Work not requiring a building permit.

- (A) For work not requiring a building permit, the applicant must submit a review form application. The Director shall determine whether the proposed new construction or remodeling meets the standards of this ordinance. The review of the review form application by the Director must be completed within 10 days after submission of the review form application.
- (B) If the Director determines that the new construction or remodeling complies with the standards of this ordinance, the Director shall approve the review form application and give written notice to the applicant.
- (C) If the Director determines that the new construction or remodeling does not comply with the standards of this ordinance, the Director shall state in writing the specific requirements to be met before an approval can be granted. The Director shall give written notice to the applicant stating the reasons for denial. Notice is given by depositing the notice properly addressed and postage paid in the United States mail. Notice to the applicant must be sent to the address shown on the review form application.

(5) Appeals.

- (A) An applicant may appeal any decision made by the Director to the board of adjustment. See Section 51A-4.703, "Board of Adjustment Hearing Procedures," as amended.
- (B) In considering the appeal, the sole issue before the board of adjustment is whether the Director erred in the decision. The board of adjustment shall consider the same standards that were required to be considered by the Director.
- (C) Appeal to the board of adjustment is the final administrative remedy.

EXHIBIT B
CONSERVATION DISTRICT NO. 9



M-STREETS
(Greenland Hills)
CONSERVATION DISTRICT
CONCEPTUAL PLAN

October 10, 2002



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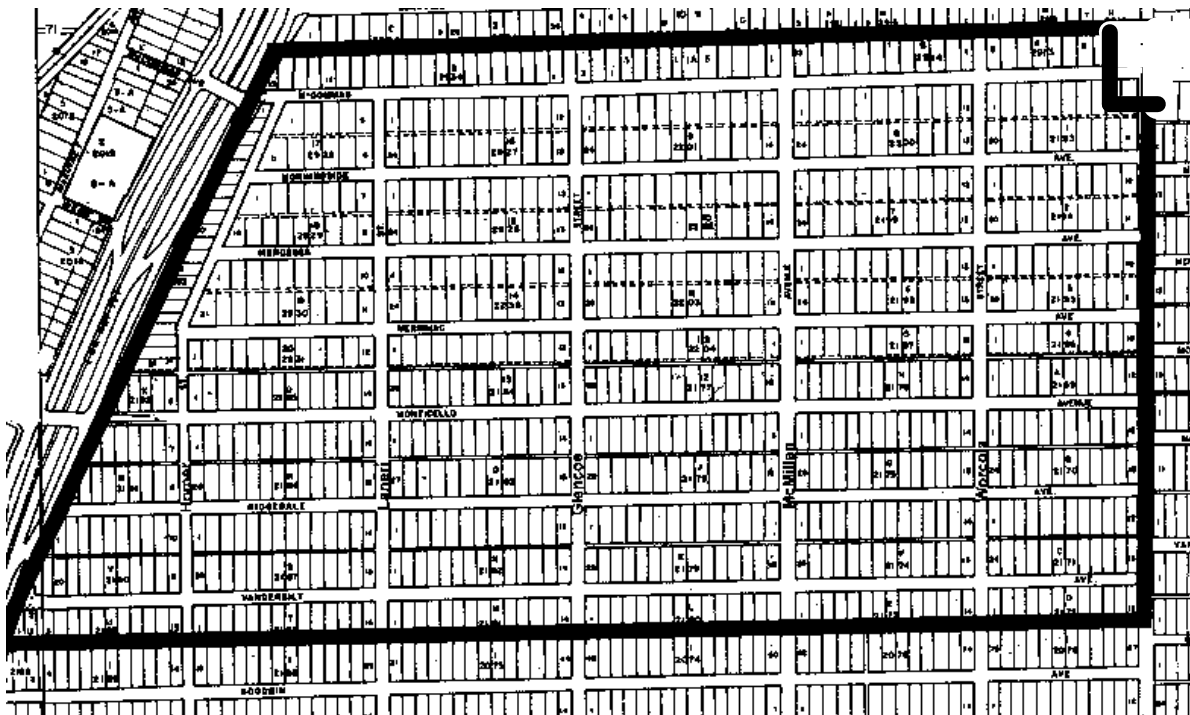
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1.0 INTRODUCTION

The M-Streets / Greenland Hills neighborhood is located to the east of U.S. 75 North approximately 2 miles north of downtown Dallas. Bounded by U.S. 75/Central Expressway on the west, McCommas Boulevard on the north (both sides of street), Greenville Avenue on the east and Vanderbilt on the south (both sides of street) , this neighborhood has over 900 homes.



Popularly known as the M Streets, Greenland Hills was platted and developed as a cohesive neighborhood, designed in the 1920's to appeal to middle-class professionals who wanted to live in the expanding city limits made possible due to the advent of the automobile. The most popular architectural style in this area was the Tudor style. As the demand grew over the next few decades, the area became more populous. This resulted in establishing one of the largest collections of Tudor Revival neighborhoods in Texas with 65% of all structures in the Tudor style. Today, the neighborhood wishes to conserve the look and feel of the neighborhood.

2.0 ZONING AND LAND USE

The area is zoned R-7.5 (A) and R-7.5-MD-1 and is developed with single family residential uses. One lot on Greenville Avenue is a small office within a converted single family structure.

3.0 NEIGHBORHOOD APPLICATION

Members of the neighborhood have realized the value of having such a large concentration of Tudor styled homes and wanted to protect the look and feel of the neighborhood. Demolitions, over sized new construction, remodeling projects and excessive large rear additions were adversely changing the overall look of the neighborhood.

Since the basic zoning of R-7.5(A) does not include architectural standards, it was necessary for the neighborhood to seek a zoning classification that would allow them to address and protect site and architectural characteristics of the neighborhood.

Therefore, the neighborhood submitted an application for a conservation district in the Fall of 2001. The purpose of the proposed conservation district is to ensure compatibility of new construction and work to existing houses, especially along the block face.

Over 75% of the property owners in the neighborhood signed a petition in support of exploring the feasibility of creating a conservation district. The application was submitted in Fall 2001. The City Plan Commission authorized a public hearing, and directed staff to begin the planning process, in December 2001.

4.0 Planning Process Background

The city staff facilitated five community meetings. Property owners were notified each meeting including those 200 feet outside the study area.

The neighborhood had previously conducted an opinion survey that addressed 21 items that were of concern and most important to the majority of the neighborhood. The neighborhood asked to discuss and elaborate on each of these items with guidance from the city staff. After thorough discussion, a draft of the recommended standards was outlined and presented to the neighborhood. Residents were informed that they could find the draft ordinance on the city website at www.dallascityhall.org and that the ordinance would be presented to the City Plan Commission on October 10, 2002.

During the community meetings everyone was given the opportunity to make comments either verbally or written. A vote was taken as each standard was discussed before moving to another standard. Citizens were able to provide written comments on Comment Sheets that were distributed during each meeting. Comment Sheets were either received after the meeting or mailed or faxed to the Department of Development Services. The email addresses and phone numbers of city staff members conducting the study were given out to allow residents to voice their opinions.

The community meetings for the M-Streets / Greenland Hills neighborhood took place on the following dates:

Date	Meeting Objective	Attendance
January 30, 2002	Review survey / identify likely standards	110
March 18, 2002	Site standards	125
April 24, 2002	Site / architectural standards / demolitions	86
June 12, 2002	Architectural standards new/remodeling	56
August 21, 2002	Review of all standards/final endorsement	88

At the end of each meeting, the question was asked “are you still interested in pursuing a conservation district?” The answer was consistently “Yes.”

5.0 STAFF RECOMMENDATION

Based on the Department of Planning and Development's analysis of the built environment and five community meetings, staff recommends that the neighborhood should become a conservation district based on the following criteria specified in the enabling ordinance:

- The proposed neighborhood contains numerous blockfaces with contributing and significant structures of architectural value. The neighborhood contains one of the strongest collections of mid-sized Tudor Revival houses in the State of Texas.
- The neighborhood is stable. The zoning and land use patterns are consistent, as 98 percent of the area is single family.
- The neighborhood has a distinctive atmosphere and character which can be conserved by protecting its 'High Tudor' architectural and cultural attributes.
- There has been strong property owner support. At the end of every meeting approximately 95 percent of the group expressed support in becoming a conservation district and to continue with the planning process.

6.0 CONCEPT PLAN – PROPOSED SITE DEVELOPMENT STANDARDS

Based on the Department of Planning and Development’s analysis of the built environment and citizen input during the five community meetings, staff recommends the following site development standards to serve as a basis for the conservation district ordinance.

ALL HOMES: SITE DEVELOPMENT/ARCHITECTURAL STANDARDS (NOTE: STANDARDS APPLY ONLY AT TIME OF RENOVATIONS, REMODELING OR NEW CONSTRUCTION)	
Lot size	Minimum 7,500 square feet.
Lot width	Minimum 50 feet, maximum 60 feet.
Lot coverage	Maximum 45%
Height	30 feet maximum but cannot exceed the line-of-sight established from middle of street to the top of the ridge of the roof. See Appendix C.
Front yard setback	Minimum: average of two adjacent houses. Maximum: greater setback of two adjacent houses
Side yard setbacks for house	5 feet on west side and 10 feet on east side.
Rear yard setback for main structure / house	20 feet
Stories	Appearance of 1 ½ stories (front 25 ft. of house)
Garages / Carports	Located in rear 30% of the lot. Color/style/design materials must be compatible with house. Side yard setback is 0. Rear yard setback is 5 feet for garages taller than 15 feet Rear yard setback is 3 feet for garages 15 feet or shorter, or 0 feet if constructed in original location. Rear yard setback for rear entry garages is 20 feet. Access at street frontage or side street for corner lots.
Roofing materials	No (standing seam) metal, corrugated plastic, tar and gravel, or rolled roofing. Copper roofing is allowed on dormers and eyebrows
Fences and walls	If visible from street, must be made of wood, wrought iron, or stone or brick that matches house. Side yard fences must return to house 5 feet or more behind the front corner of the house. Corner lot fences to be located behind the mid-point of the main structure. No front yard fences.
Driveways and curbing	Straight, concrete driveway, 8 – 10 ft. wide (24 feet for corner lots on side streets). Must be constructed of brush concrete. Circular drives are

	prohibited.
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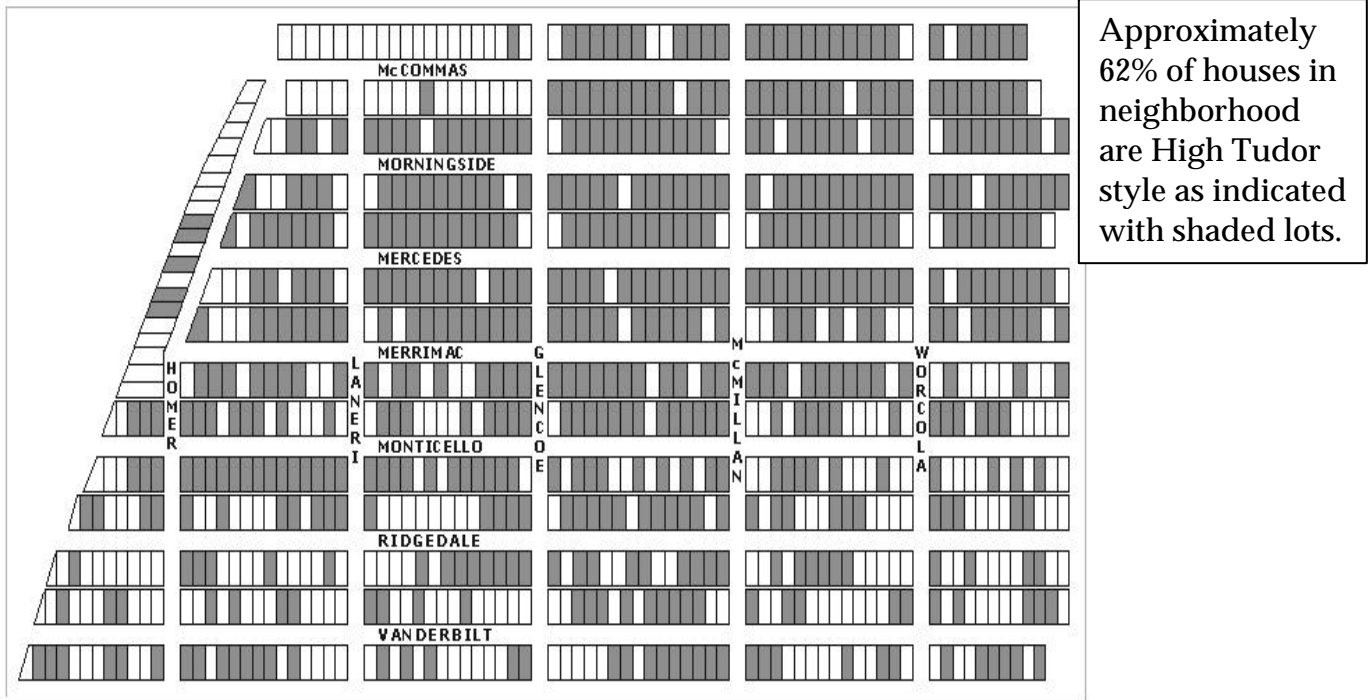
6.0 CONCEPT PLAN – PROPOSED SITE DEVELOPMENT STANDARDS

ALL HOMES: SITE DEVELOPMENT/ARCHITECTURAL STANDARDS (Continued)

Front yards and parkways	No more than 30% of the front yard may be paved or hardscaped. The parkway may not be hardscaped except for curb cuts and sidewalk extensions. Mail boxes, (monuments), pylons, satellite dishes & accessory structures are not allowed in parkway and front yard.
Retaining walls	Maximum 30 inches in height from the sidewalk or 4 inches above yard, whichever is less; and match the materials and color of house
Parkway trees	New construction or additions over 100 sq. ft. must have two or more large canopy trees in or near parkway. Exceptions allowed for existing shade trees.
Windows/Glass	At front façade and wrap-around area: Use transparent, stained, or leaded glass for window and doors. Window wall openings may only be filled with permitted glass. Each window height must exceed its width. Window must express a profile depth a minimum of 3 inches in depth that include jamb, frame, and sills. Sash, mullion and mutin bars must be expressed by a minimum of ¼ inch unless a leaded stained window. Window air conditioner units are prohibited on front façade and wrap-around area.
Demolition	High Tudor houses may be demolished only when the cost of restoration-repair is greater than 80% of the structure’s value according to the Dallas Central Appraisal District. See next page for more details and Appendix A for list of High Tudors.

Demolitions

High Tudor houses may be demolished only when the cost of restoration-repair is greater than 80% of the structure's value according to the Dallas Central Appraisal District. All other architectural styles may be demolished including Tudor Cottages. See Appendix A, Architectural Style Property Index



Example of High Tudor style.



Example of Tudor Cottage style.

7.0 CONCEPT PLAN – PROPOSED ARCHITECTURAL STANDARDS – NEW CONSTRUCTION

Prototype ‘High Tudor’ building form

Side gable Tudor with a massive-chimney, multiple-projecting overlapping front gable, porch and raised foundation. The following are the preliminary minimum standards for new construction in the district:

Gables

Roof form: Steeply pitched at least 45 to 70 degrees and with all eaves (bottom of line) to have same elevation (height) no more than 9-to-11 feet from first floor elevation with maximum overhang of 18 inches.

Projecting front overlapping gables: One dominant gable with one-to-two subordinate gables.

- Dominant gable height to be 20 to 24 feet
- Subordinate gables to be 70 percent to 80 percent the height of dominant gable

Foundation

Construct a raised foundation a minimum of 12 inches (exterior concrete) and provide any front concrete steps leading to building entrances.

Chimney

Massive brick chimney, on side of house or width of chimney facing front elevation (block face).

Porch

Provide porch with multiple arched openings that comprises a minimum of 25% of the front elevation ground floor and that is at least 6 feet deep. Opening(s) may be open-air or enclosed with single-light glass pane(s).

Windows

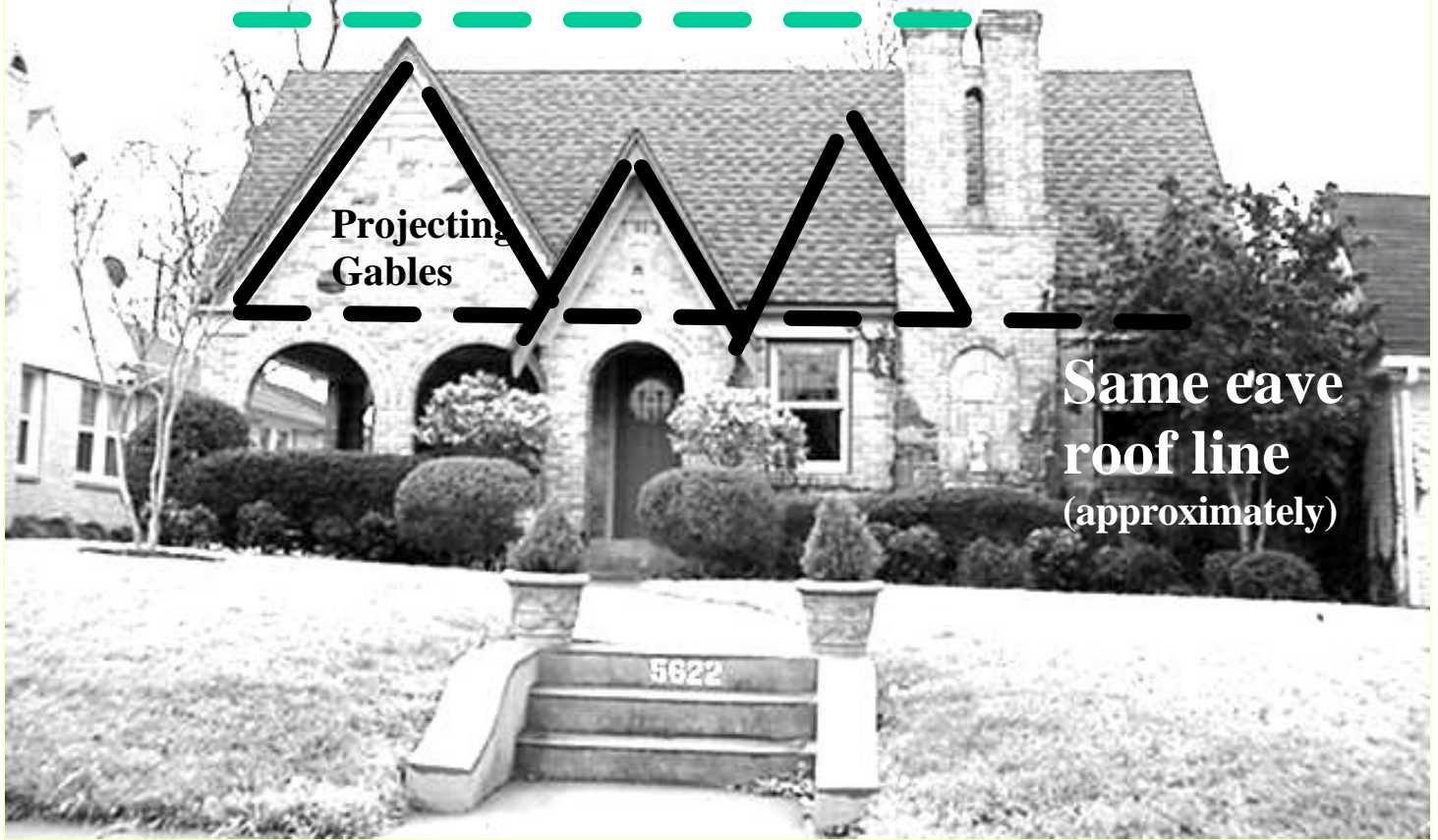
Must provide one pair of narrow casement stained or leaded glass windows
Other windows may be 6-over-6 or 1-over-1

Optional Architectural Design Features

New construction must have at least three of the following elements:

- Turned cast-stone porch columns
- Half timbers and stucco gables
- Corbel chimney statue ledge–Roof verge board
- Stained or leaded glass casement windows
- Rolled concrete steps at sidewalk approach

Predominant Roof Form: side gabled



**Projecting
Gables**

**Same eave
roof line
(approximately)**

Architectural Design Features



Archways/turned columns



Stained glass / corbelled chimney with niche



Stucco gables / half timbers



Stone/brick work/archways/stained glass

8.0 CONCEPT PLAN – PROPOSED ARCHITECTURAL STANDARDS – REMODELING

Work that applies to front façades and (wrap around) back 25 feet from front corner of house ...otherwise build a zen box

Standards apply to remodeling based on the existing style of the house. Owners also have the option to remodel – redesign into High Tudor style if they desire. Standards are for existing houses and the type of architectural style as listed in appendix.

Arts and Crafts

- Craftsman Bungalow

Revival Styles

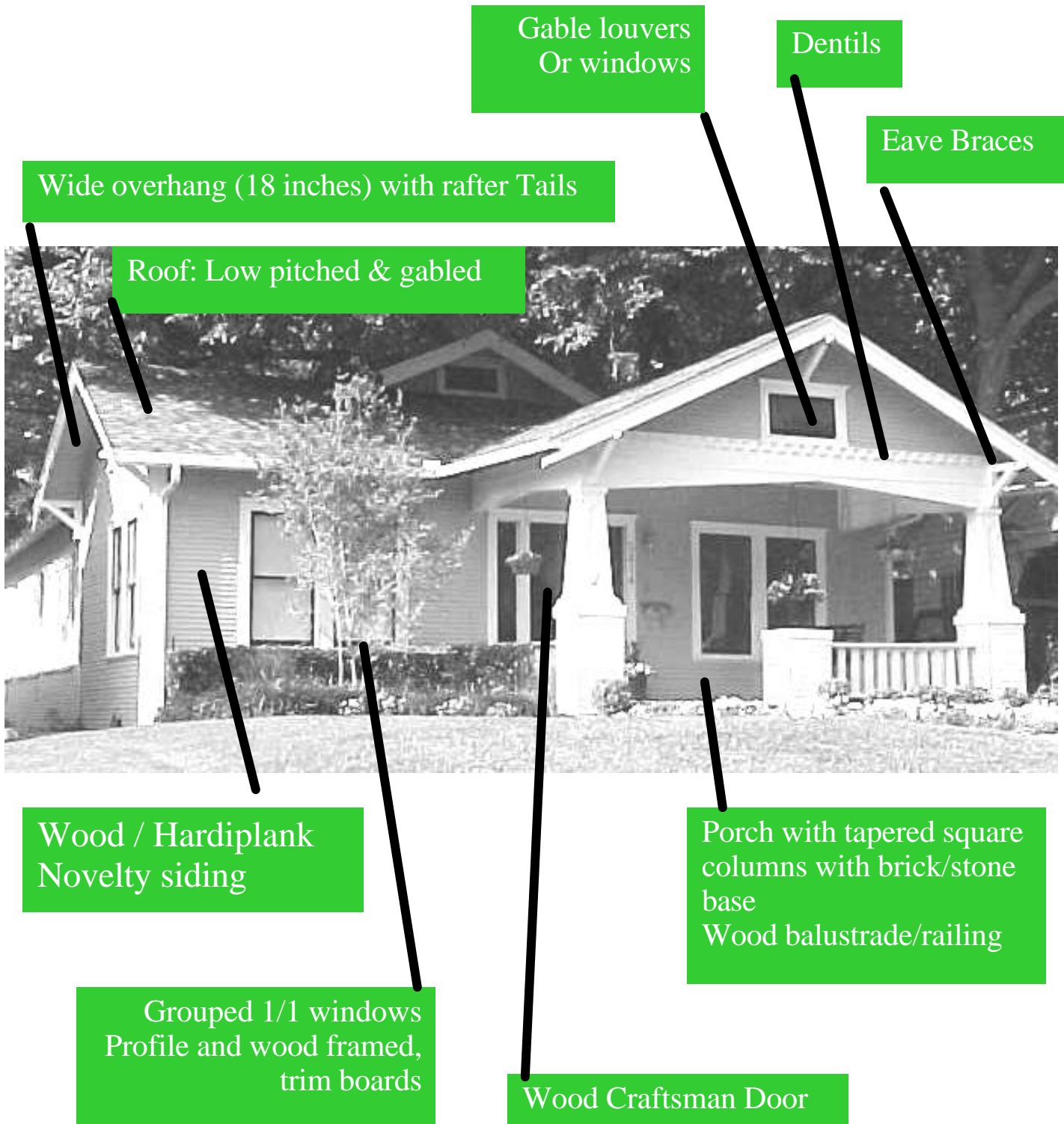
- ‘High’ Tudor (see new construction standards) and Tudor Cottage
- Spanish Revival
- Neo Colonial

Post War

- Minimal Traditional
- Ranch
- Contemporary (hybrid)

**8.0 CONCEPT PLAN –
PROPOSED ARCHITECTURAL STANDARDS**

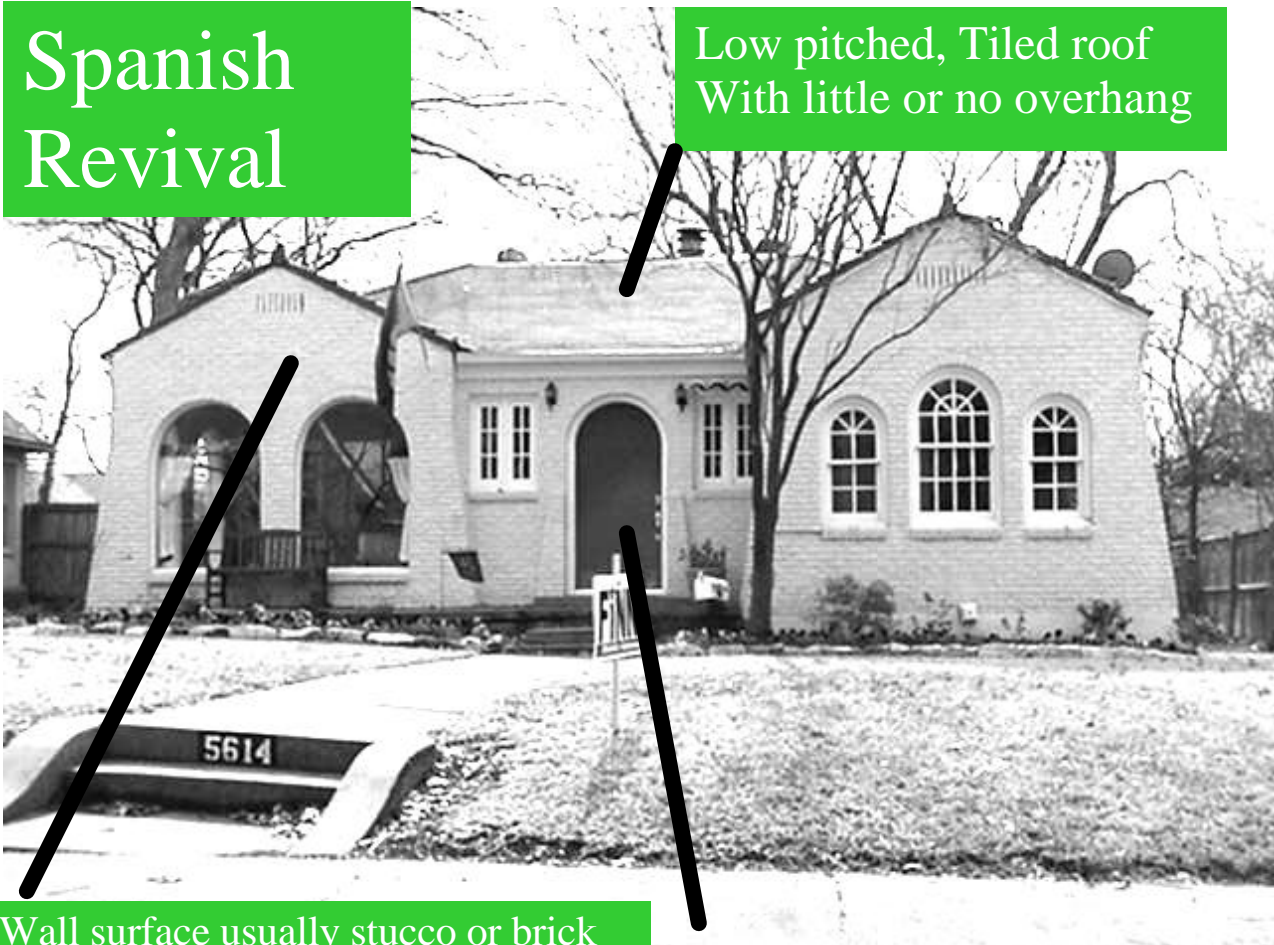
Arts and Crafts -- Craftsman (Bungalow)



**8.0 CONCEPT PLAN –
PROPOSED ARCHITECTURAL STANDARDS – REMODELING**

**Spanish
Revival**

Low pitched, Tiled roof
With little or no overhang



Wall surface usually stucco or brick

Arches above doors and windows

Side gabled roof
With minimal overhang

**Neo
Colonial**



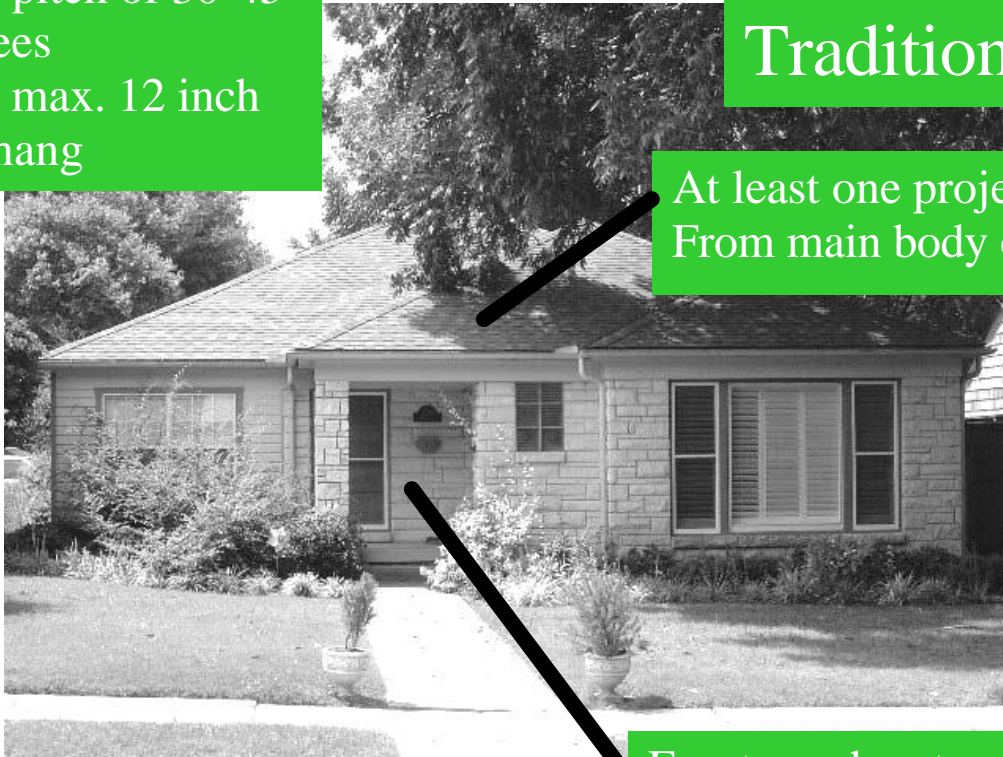
Accentuated / pediment
Front entrance with
Slender columns, Doric.

PROPOSED ARCHITECTURAL A

Roof pitch of 30-45 degrees
With max. 12 inch overhang

Minimal Traditional

At least one projection
From main body of house



Front porch entry
feature



RANCH

- Ribbon windows
- Picture windows
- Brick and wood facades
- Low pitch roof with moderate eave overhang
- Use matching materials of house

**8.0 CONCEPT PLAN –
PROPOSED ARCHITECTURAL STANDARDS – REMODELING**



**Contemporary
Builder Style
(hybrid)**

**Any addition and remodeling to match the style,
materials, roof slope of the main structure**

9.0 ANALYSIS OF THE BUILT ENVIRONMENT

Front Yard Set Back:



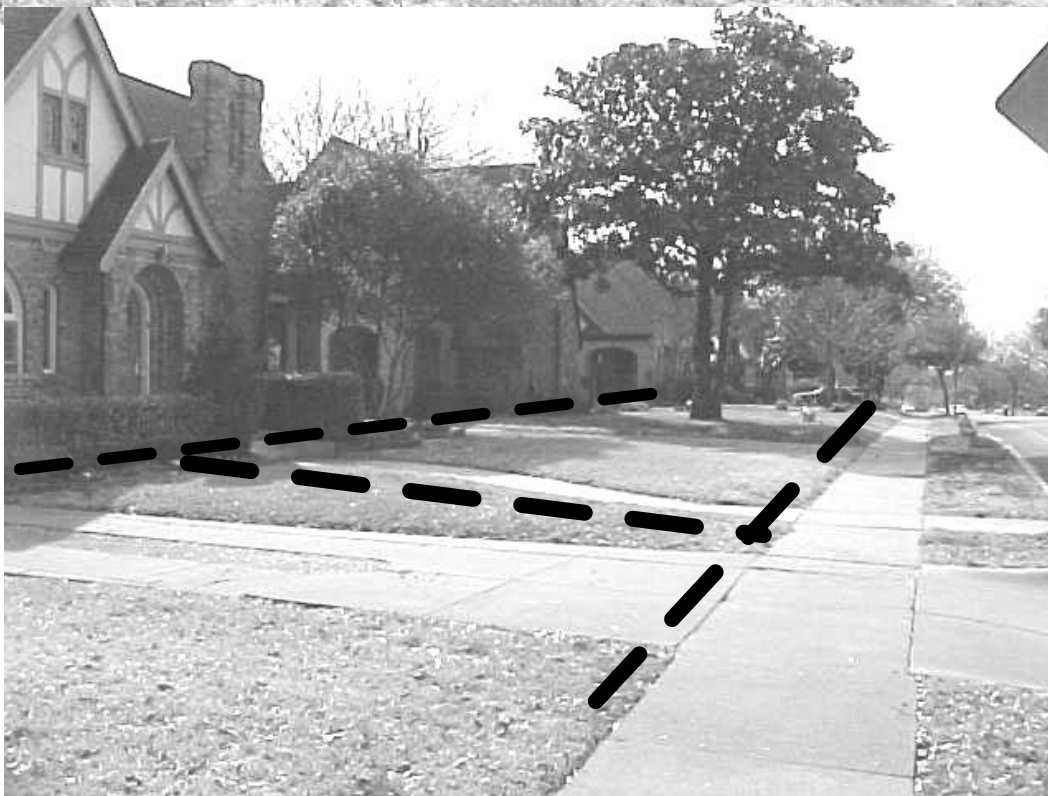
Existing is 25 foot under R-7.5(A).

Required front yard setback will be the average of the two immediate adjacent structures

–New construction structures to be located on front setback line

–Average calculation is to be submitted by registered engineer / architect.

Most of the houses in the area align with each other.

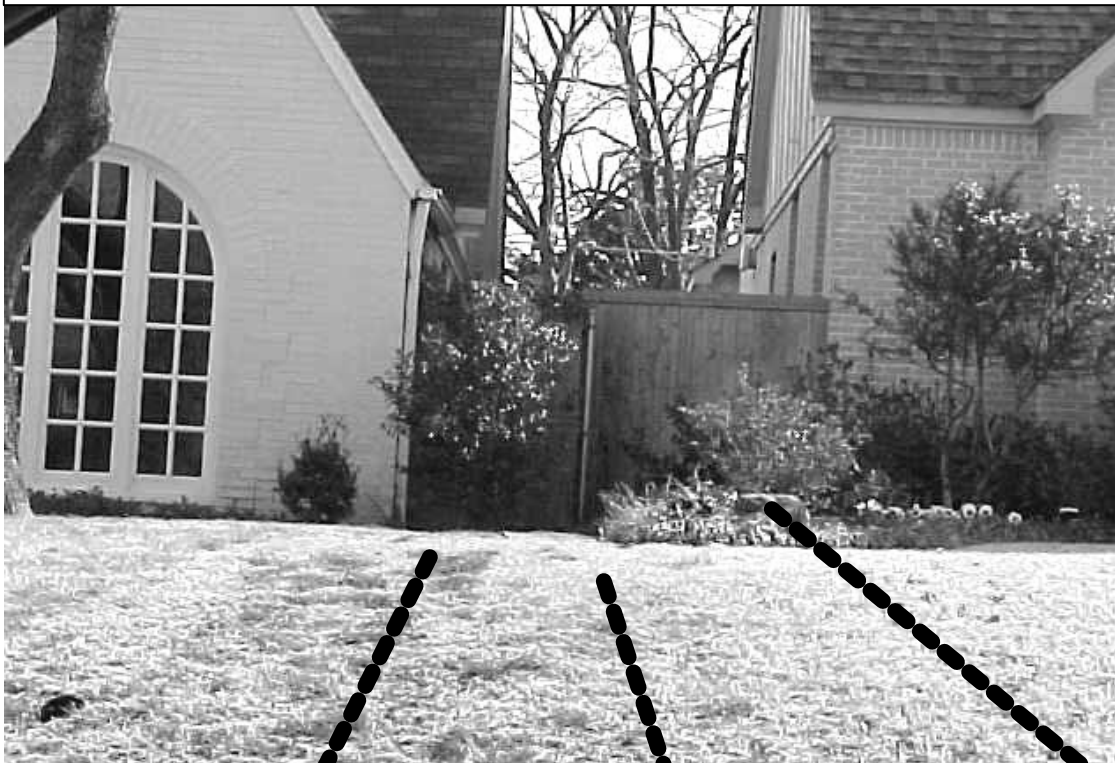


9.0 ANALYSIS OF THE BUILT ENVIRONMENT

Side Yard Set Back:



Typically in the neighborhood, the driveways are 10 feet wide next to a 5 foot side yard set back, allowing for light and air between houses.



There were some infrequent cases of 5 foot set backs next to each other.

9.0 ANALYSIS OF THE BUILT ENVIRONMENT



Corner side yard fences May be erected up to 9' feet in height can go up to the mid point of the house in order to show the architectural features of the house.



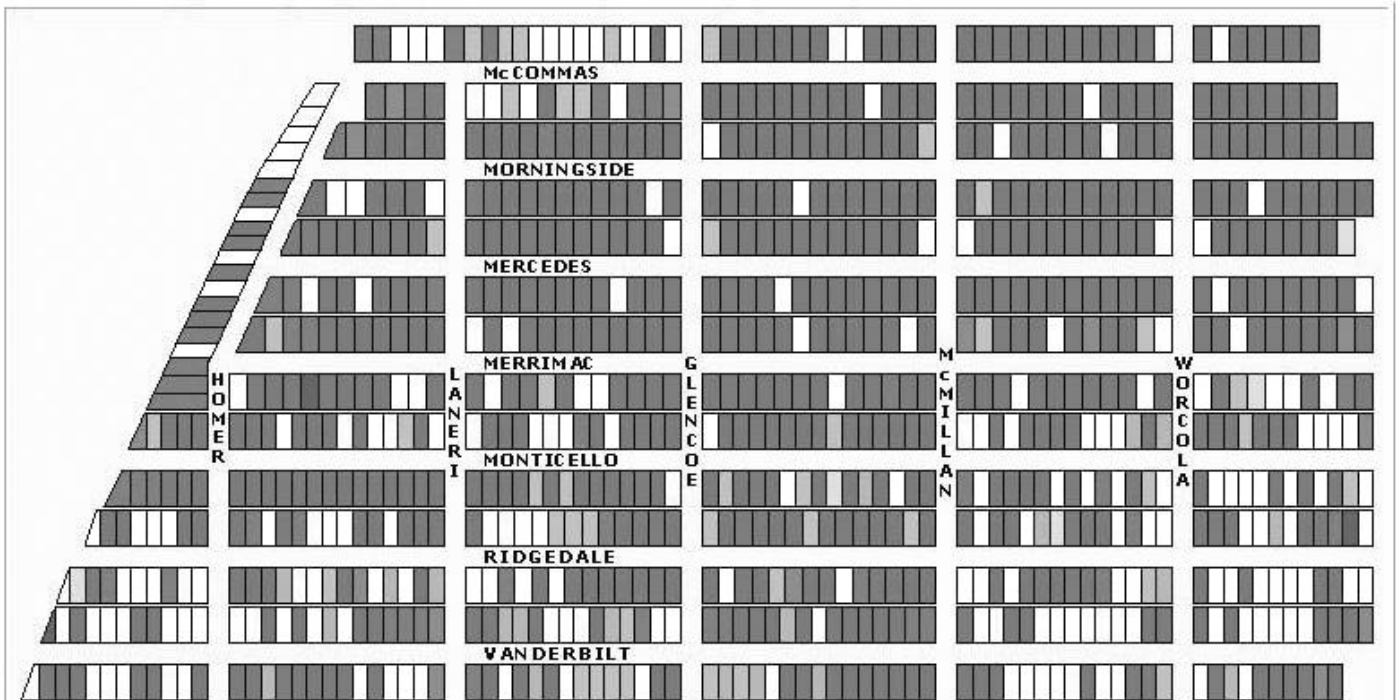
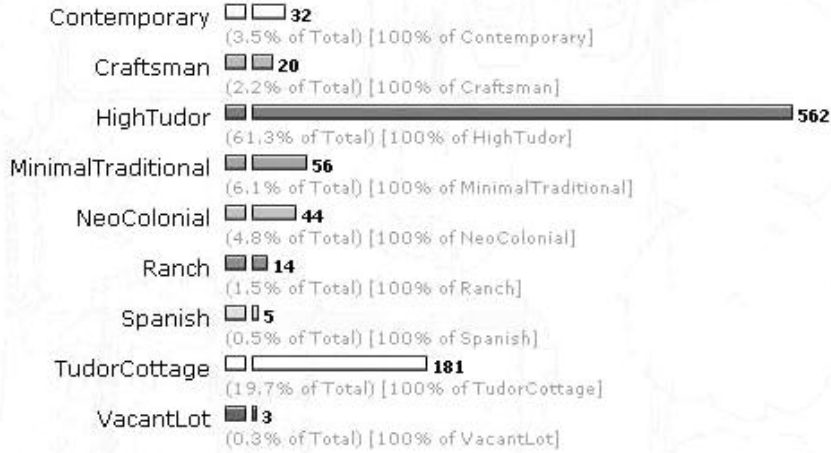
Interior side yard fences may be erected up to 9' feet in height and can go up to five feet from the front corner of the front façade.

APPENDIX

- Appendix A: Architectural Style Property Index**
- Appendix B: History of Greenland Hills**
- Appendix C: Height Measurement Illustration**
- Appendix D: Appearance of 1-1/2 Stories**

Appendix A: Architectural Style Property Index

Map of Architectural Styles



Appendix A: Architectural Style Property Index

5203	McCommas	MinimalTraditional	1946	5401	McCommas	Neo Colonial	1945
5206	McCommas	MinimalTraditional	1948	5402	McCommas	High Tudor	1927
5207	McCommas	MinimalTraditional	1946	5405	McCommas	High Tudor	1934
5210	McCommas	Ranch	1950	5408	McCommas	High Tudor	1927
5211	McCommas	TudorCottage	1948	5410	McCommas	High Tudor	1927
5214	McCommas	MinimalTraditional	1950	5411	McCommas	High Tudor	1934
5215	McCommas	TudorCottage	1948	5414	McCommas	High Tudor	1932
5218	McCommas	MinimalTraditional	1950	5415	McCommas	High Tudor	1928
5219	McCommas	TudorCottage	1940	5418	McCommas	High Tudor	1930
5223	McCommas	NeoColonial	1940	5419	McCommas	High Tudor	1925
				5422	McCommas	High Tudor	1930
5302	McCommas	Contemporary	1940	5423	McCommas	High Tudor	1928
5303	McCommas	NeoColonial	1939	5426	McCommas	High Tudor	1927
5306	McCommas	MinimalTraditional	1939	5430	McCommas	High Tudor	1927
5307	McCommas	MinimalTraditional	1938	5431	McCommas	High Tudor	1929
5310	McCommas	NeoColonial	1939	5433	McCommas	Contemporary	1994
5311	McCommas	NeoColonial	1939	5434	McCommas	High Tudor	1930
5314	McCommas	TudorCottage	1938	5435	McCommas	Tudor Cottage	1937
5315	McCommas	NeoColonial	1938	5438	McCommas	Tudor Cottage	1941
5317	McCommas	TudorCottage	1935	5439	McCommas	High Tudor	1928
5318	McCommas	HighTudor	1926	5440	McCommas	High Tudor	1929
5321	McCommas	TudorCottage	1935	5443	McCommas	High Tudor	1928
5322	McCommas	NeoColonial	1935	5446	McCommas	High Tudor	1929
5326	McCommas	NeoColonial	1936	5447	McCommas	High Tudor	1928
5327	McCommas	TudorCottage	1935	5450	McCommas	High Tudor	1928
5330	McCommas	MinimalTraditional	1936	5451	McCommas	High Tudor	1928
5331	McCommas	TudorCottage	1935				
5334	McCommas	TudorCottage	1935	5502	McCommas	High Tudor	1931
5335	McCommas	TudorCottage	1935	5503	McCommas	High Tudor	1928
5338	McCommas	MinimalTraditional	1950	5506	McCommas	High Tudor	1925
5339	McCommas	NeoColonial	1935	5507	McCommas	Tudor Cottage	1928
5342	McCommas	MinimalTraditional	1937	5510	McCommas	High Tudor	1928
5343	McCommas	TudorCottage	1935	5511	McCommas	High Tudor	1928
5346	McCommas	Ranch	1949	5514	McCommas	High Tudor	1925
5347	McCommas	TudorCottage	1935	5515	McCommas	High Tudor	1928
5351	McCommas	HighTudor	1935	5518	McCommas	High Tudor	1928
5355	McCommas	TudorCottage	1946	5519	McCommas	High Tudor	1928
				5522	McCommas	High Tudor	1926
				5523	McCommas	High Tudor	1928
				5526	McCommas	High Tudor	1932
				5527	McCommas	TudorCottage	1928
				5530	McCommas	TudorCottage	1937
				5531	McCommas	HighTudor	1928
				5534	McCommas	HighTudor	1930
				5535	McCommas	HighTudor	1928
				5538	McCommas	HighTudor	1930
				5539	McCommas	HighTudor	1935
				5542	McCommas	HighTudor	1932
5546	McCommas	HighTudor	1932	5543	McCommas	HighTudor	1936

5549	McCommas	Contemporary	1975			
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5602	McCommas	HighTudor	1929	5202	Morningside	HighTudor	1933
5603	McCommas	HighTudor	1928	5203	Morningside	MinimalTraditional	1936
5605	McCommas	TudorCottage	1928	5206	Morningside	TudorCottage	1940
5606	McCommas	HighTudor	1930	5210	Morningside	NeoColonial	1937
5610	McCommas	HighTudor	1930	5211	Morningside	MinimalTraditional	1987
5614	McCommas	HighTudor	1930	5214	Morningside	TudorCottage	1936
5618	McCommas	HighTudor	1929	5215	Morningside	HighTudor	1927
5619	McCommas	HighTudor	1928	5218	Morningside	HighTudor	1938
5621	McCommas	HighTudor	1928	5219	Morningside	HighTudor	1927
5622	McCommas	HighTudor	1930	5222	Morningside	HighTudor	1938
5623	McCommas	TudorCottage	1949	5223	Morningside	MinimalTraditional	1948
5625	McCommas	HighTudor	1928	5226	Morningside	TudorCottage	1938
5626	McCommas	HighTudor	1926	5227	Morningside	HighTudor	1929
5629	McCommas	HighTudor	1928				
5630	McCommas	NeoColonial	1926	5302	Morningside	MinimalTraditional	1940
5634	McCommas	Contemporary	1930	5303	Morningside	HighTudor	1926
				5306	Morningside	HighTudor	1927
				5307	Morningside	HighTudor	1926
				5310	Morningside	HighTudor	1927
				5311	Morningside	HighTudor	1926
				5314	Morningside	HighTudor	1927
				5315	Morningside	HighTudor	1927
				5318	Morningside	HighTudor	1927
				5319	Morningside	MinimalTraditional	1947
				5322	Morningside	HighTudor	1925
				5323	Morningside	TudorCottage	1926
				5326	Morningside	HighTudor	1925
				5327	Morningside	HighTudor	1926
				5330	Morningside	HighTudor	1925
				5331	Morningside	HighTudor	1926
				5334	Morningside	HighTudor	1929
				5335	Morningside	HighTudor	1926
				5338	Morningside	HighTudor	1926
				5339	Morningside	HighTudor	1925
				5342	Morningside	Contemporary	1977
				5343	Morningside	HighTudor	1926
				5346	Morningside	HighTudor	1926
				5347	Morningside	HighTudor	1926

5402	Morningside	HighTudor	1929	5500	Morningside	TudorCottage	1927
5403	Morningside	TudorCottage	1928	5503	Morningside	HighTudor	1929

5403Morningside	TudorCottage	1928	5503Morningside	HighTudor	1929
5406Morningside	HighTudor	1929	5506Morningside	NeoColonial	1939
5407Morningside	HighTudor	1929	5507Morningside	HighTudor	1930
5411Morningside	HighTudor	1929	5510Morningside	HighTudor	1928
5412Morningside	HighTudor	1928	5511Morningside	Contemporary	1987
5415Morningside	HighTudor	1929	5514Morningside	HighTudor	1928
5416Morningside	HighTudor	1929	5515Morningside	HighTudor	1928
5418Morningside	HighTudor	1946	5518Morningside	HighTudor	1929
5419Morningside	HighTudor	1928	5519Morningside	HighTudor	1928
5422Morningside	TudorCottage	1938	5522Morningside	HighTudor	1929
5423Morningside	HighTudor	1929	5523Morningside	HighTudor	1927
5426Morningside	HighTudor	1927	5526Morningside	HighTudor	1929
5427Morningside	HighTudor	1928	5527Morningside	HighTudor	1928
5430Morningside	HighTudor	1934	5530Morningside	HighTudor	1927
5431Morningside	HighTudor	1927	5531Morningside	HighTudor	1928
5434Morningside	HighTudor	1927	5534Morningside	HighTudor	1927
5435Morningside	HighTudor	1930	5535Morningside	Contemporary	1927
5438Morningside	HighTudor	1927	5538Morningside	HighTudor	1927
5439Morningside	HighTudor	1927	5539Morningside	HighTudor	1927
5442Morningside	HighTudor	1927	5542Morningside	HighTudor	1927
5443Morningside	HighTudor	1927	5543Morningside	HighTudor	1928
5446Morningside	HighTudor	1928	5546Morningside	HighTudor	1927
5447Morningside	HighTudor	1927	5547Morningside	HighTudor	1932
5450Morningside	HighTudor	1929			
5451Morningside	NeoColonial	1928	5601 Morningside	TudorCottage	1930
			5602 Morningside	HighTudor	1931
			5606 Morningside	HighTudor	1927
			5607 Morningside	HighTudor	1927
			5609 Morningside	HighTudor	1927
			5610 Morningside	HighTudor	1926
			5614 Morningside	TudorCottage	1926
			5615 Morningside	HighTudor	1930
			5617 Morningside	HighTudor	1927
			5618 Morningside	HighTudor	1926
			5622 Morningside	HighTudor	1926
			5623 Morningside	HighTudor	1927
			5626 Morningside	HighTudor	1926
			5627 Morningside	HighTudor	1926
			5630 Morningside	HighTudor	1925
			5631 Morningside	HighTudor	1927
			5634 Morningside	HighTudor	1925
			5635 Morningside	MinimalTraditional	1945
			5638 Morningside	HighTudor	1929
			5639 Morningside	HighTudor	1927
5202 Mercedes	MinimalTraditional	1937	5402 Mercedes	High Tudor	1929
5203 Mercedes	HighTudor	1938	5403 Mercedes	NeoColonial	1941
5206 Mercedes	MinimalTraditional	1930	5406 Mercedes	High Tudor	1929
5207 Mercedes	MinimalTraditional	1938	5407 Mercedes	High Tudor	1928
5210 Mercedes	NeoColonial	1930	5410 Mercedes	High Tudor	1928
5211 Mercedes	HighTudor	1929			

5211	Mercedes	HighTudor	1929	5410	Mercedes	High Tudor	1928
5215	Mercedes	HighTudor	1929	5411	Mercedes	High Tudor	1928
5216	Mercedes	HighTudor	1929	5414	Mercedes	High Tudor	1927
5219	Mercedes	HighTudor	1929	5415	Mercedes	High Tudor	1928
5220	Mercedes	HighTudor	1930	5418	Mercedes	High Tudor	1927
5223	Mercedes	HighTudor	1929	5419	Mercedes	High Tudor	1930
5224	Mercedes	TudorCottage	1930	5422	Mercedes	High Tudor	1927
5227	Mercedes	HighTudor	1929	5423	Mercedes	High Tudor	1930
5228	Mercedes	HighTudor	1928	5426	Mercedes	High Tudor	1918
5231	Mercedes	HighTudor	1929	5427	Mercedes	High Tudor	1930
5232	Mercedes	HighTudor	1925	5430	Mercedes	High Tudor	1923
5235	Mercedes	NeoColonial	1939	5431	Mercedes	High Tudor	1929
5236	Mercedes	HighTudor	1930	5434	Mercedes	High Tudor	1928
5240	Mercedes	MinimalTraditional	1929	5435	Mercedes	High Tudor	1928
5300	Mercedes	High Tudor	1926	5437	Mercedes	High Tudor	1928
5303	Mercedes	High Tudor	1929	5438	Mercedes	High Tudor	1929
5306	Mercedes	High Tudor	1926	5442	Mercedes	High Tudor	1928
5307	Mercedes	High Tudor	1927	5443	Mercedes	High Tudor	1928
5310	Mercedes	High Tudor	1925	5446	Mercedes	High Tudor	1929
5311	Mercedes	High Tudor	1927	5447	Mercedes	High Tudor	1928
5314	Mercedes	High Tudor	1927	5450	Mercedes	High Tudor	1929
5315	Mercedes	High Tudor	1926	5451	Mercedes	Tudor Cottage	1929
5317	Mercedes	High Tudor	1926	5502	Mercedes	HighTudor	1926
5318	Mercedes	High Tudor	1925	5503	Mercedes	TudorCottage	1926
5322	Mercedes	High Tudor	1926	5506	Mercedes	HighTudor	1927
5323	Mercedes	High Tudor	1925	5507	Mercedes	HighTudor	1927
5326	Mercedes	High Tudor	1925	5510	Mercedes	HighTudor	1927
5327	Mercedes	High Tudor	1925	5511	Mercedes	HighTudor	1927
5330	Mercedes	High Tudor	1926	5514	Mercedes	HighTudor	1927
5331	Mercedes	High Tudor	1925	5515	Mercedes	HighTudor	1920
5334	Mercedes	Contemporary	1987	5518	Mercedes	HighTudor	1926
5335	Mercedes	High Tudor	1933	5519	Mercedes	HighTudor	1927
5337	Mercedes	High Tudor	1927	5522	Mercedes	HighTudor	1926
5338	Mercedes	High Tudor	1925	5523	Mercedes	HighTudor	1926
5341	Mercedes	High Tudor	1927	5526	Mercedes	HighTudor	1930
5342	Mercedes	High Tudor	1925	5527	Mercedes	HighTudor	1930
5345	Mercedes	Tudor Cottage	1926	5530	Mercedes	HighTudor	1926
5346	Mercedes	High Tudor	1925	5531	Mercedes	HighTudor	1927
				5534	Mercedes	HighTudor	1926
				5535	Mercedes	HighTudor	1926
				5538	Mercedes	HighTudor	1926
				5539	Mercedes	HighTudor	1926
5547	Mercedes	TudorCottage	1927	5540	Mercedes	HighTudor	1927
				5543	Mercedes	HighTudor	1926
				5546	Mercedes	HighTudor	1930

5602	Mercedes	HighTudor	1925	5200	Merrimac	Tudor Cottage	1930
5603	Mercedes	TudorCottage	1940	5203	Merrimac	High Tudor	1930

5603	Mercedes	TudorCottage	1940	5203	Merrimac	High Tudor	1930
5606	Mercedes	TudorCottage	1926	5206	Merrimac	High Tudor	1930
5607	Mercedes	HighTudor	1929	5210	Merrimac	High Tudor	1930
5610	Mercedes	HighTudor	1926	5211	Merrimac	NeoColonial	1938
5611	Mercedes	HighTudor	1929	5214	Merrimac	High Tudor	1930
5614	Mercedes	HighTudor	1926	5215	Merrimac	Minimal Traditional	1938
5615	Mercedes	HighTudor	1929	5218	Merrimac	Vacant Lot	2002
5618	Mercedes	HighTudor	1925	5219	Merrimac	Minimal Traditional	1938
5619	Mercedes	HighTudor	1925	5222	Merrimac	High Tudor	1930
5622	Mercedes	HighTudor	1926	5223	Merrimac	High Tudor	1928
5623	Mercedes	HighTudor	1929	5226	Merrimac	High Tudor	1935
5626	Mercedes	HighTudor	1926	5227	Merrimac	High Tudor	1927
5627	Mercedes	HighTudor	1930	5230	Merrimac	High Tudor	1992
5630	Mercedes	HighTudor	1926	5231	Merrimac	High Tudor	1953
5631	Mercedes	HighTudor	1926	5235	Merrimac	High Tudor	1927
5634	Mercedes	TudorCottage	1929	5238	Merrimac	High Tudor	1930
5635	Mercedes	Spanish	1926	5241	Merrimac	High Tudor	1927
5638	Mercedes	Contemporary	1978	5242	Merrimac	Tudor Cottage	1930
				5245	Merrimac	High Tudor	1927
				5246	Merrimac	Tudor Cottage	1930
				5247	Merrimac	High Tudor	1927
				5248	Merrimac	Tudor Cottage	1926
				5301	Merrimac	Contemporary	1999
				5302	Merrimac	High Tudor	1929
				5306	Merrimac	Tudor Cottage	1930
				5307	Merrimac	High Tudor	1926
				5310	Merrimac	High Tudor	1930
				5311	Merrimac	Tudor Cottage	1930
				5314	Merrimac	High Tudor	1930
				5315	Merrimac	High Tudor	1926
				5318	Merrimac	NeoColonial	1932
				5319	Merrimac	High Tudor	1926
				5322	Merrimac	High Tudor	1928
				5323	Merrimac	High Tudor	1926
				5326	Merrimac	Tudor Cottage	1927
				5327	Merrimac	High Tudor	1926
				5330	Merrimac	Tudor Cottage	1927
				5331	Merrimac	High Tudor	1926
				5334	Merrimac	High Tudor	1926
				5335	Merrimac	High Tudor	1926
				5337	Merrimac	High Tudor	1926
				5338	Merrimac	High Tudor	1930
				5342	Merrimac	High Tudor	1929
				5343	Merrimac	High Tudor	1926
				5346	Merrimac	High Tudor	1934
				5347	Merrimac	High Tudor	1926
5402	Merrimac	HighTudor	1932	5546	Merrimac	HighTudor	1926
5403	Merrimac	HighTudor	1928	5547	Merrimac	TudorCottage	1927
5404	Merrimac	HighTudor	1927				

5407Merrimac	HighTudor	1928			
5410Merrimac	HighTudor	1927		5601Merrimac	HighTudor 1926
5411Merrimac	HighTudor	1929		5602Merrimac	TudorCottage 1926
5414Merrimac	HighTudor	1928		5606Merrimac	HighTudor 1926
5415Merrimac	HighTudor	1929		5607Merrimac	HighTudor 1928
5418Merrimac	HighTudor	1927		5610Merrimac	NeoColonial 1926
5419Merrimac	HighTudor	1927		5611Merrimac	TudorCottage 1926
5422Merrimac	HighTudor	1927		5614Merrimac	Spanish 1925
5423Merrimac	HighTudor	1927		5615Merrimac	HighTudor 1928
5426Merrimac	HighTudor	1928		5618Merrimac	TudorCottage 1927
5427Merrimac	HighTudor	1929		5619Merrimac	HighTudor 1926
5430Merrimac	HighTudor	1927		5622Merrimac	TudorCottage 1926
5431Merrimac	HighTudor	1927		5623Merrimac	HighTudor 1926
5434Merrimac	HighTudor	1999		5626Merrimac	HighTudor 1926
5435Merrimac	HighTudor	1928		5627Merrimac	HighTudor 1926
5438Merrimac	HighTudor	1965		5630Merrimac	TudorCottage 1925
5439Merrimac	HighTudor	1927		5631Merrimac	HighTudor 1928
5442Merrimac	MinimalTraditional	1927		5634Merrimac	MinimalTraditional 1948
5443Merrimac	HighTudor	1929		5635Merrimac	Ranch 1949
5446Merrimac	HighTudor	1927		5638Merrimac	HighTudor 1929
5447Merrimac	TudorCottage	1927		5639Merrimac	HighTudor 1929
5450Merrimac	HighTudor	1927			
5451Merrimac	HighTudor	1927			
5501Merrimac	Ranch	1956			
5502Merrimac	HighTudor	1939		5130Monticello	MinimalTraditional 1936
5505Merrimac	NeoColonial	1925		5134Monticello	MinimalTraditional 1935
5506Merrimac	HighTudor	1929		5135Monticello	Ranch 1954
5510Merrimac	HighTudor	1926		5138Monticello	MinimalTraditional 1936
5511Merrimac	HighTudor	1929		5139Monticello	NeoColonial 1935
5514Merrimac	TudorCottage	1926		5142Monticello	HighTudor 1928
5515Merrimac	HighTudor	1926		5143Monticello	HighTudor 1934
5517Merrimac	HighTudor	1929		5146Monticello	HighTudor 1926
5518Merrimac	HighTudor	1925		5147Monticello	HighTudor 1933
5522Merrimac	HighTudor	1926		5150Monticello	HighTudor 1926
5523Merrimac	TudorCottage	1925		5151Monticello	HighTudor 1930
5526Merrimac	HighTudor	1926			
5527Merrimac	HighTudor	1925			
5530Merrimac	HighTudor	1926			
5531Merrimac	Ranch	1941			
5534Merrimac	HighTudor	1926			
5535Merrimac	HighTudor	1927			
5538Merrimac	HighTudor	1925			
5539Merrimac	HighTudor	1925			
5542Merrimac	Contemporary	1998			
5543Merrimac	NeoColonial	1979			

5200Monticello	TudorCottage	1930		5330Monticello	HighTudor 1930
5203Monticello	HighTudor	1930		5331Monticello	MinimalTraditional 1938

5203Monticello	HighTudor	1930	5331Monticello	MinimalTraditional	1938
5206Monticello	HighTudor	1930	5334Monticello	HighTudor	1925
5207Monticello	HighTudor	1933	5335Monticello	HighTudor	1926
5210Monticello	HighTudor	1930	5338Monticello	HighTudor	1928
5211Monticello	HighTudor	1934	5339Monticello	TudorCottage	1927
5214Monticello	HighTudor	1930	5342Monticello	HighTudor	1929
5215Monticello	TudorCottage	1930	5343Monticello	HighTudor	1933
5218Monticello	HighTudor	1930	5346Monticello	HighTudor	1928
5219Monticello	HighTudor	1933	5347Monticello	HighTudor	1928
5222Monticello	HighTudor	1930	5350Monticello	HighTudor	1928
5223Monticello	HighTudor	1930	5351Monticello	HighTudor	1930
5226Monticello	HighTudor	1930	5354Monticello	Contemporary	1997
5227Monticello	HighTudor	1930	5355Monticello	HighTudor	1930
5230Monticello	HighTudor	1930			
5231Monticello	Contemporary	1997	5402Monticello	HighTudor	1926
5234Monticello	HighTudor	1930	5403Monticello	TudorCottage	1926
5235Monticello	HighTudor	1930	5406Monticello	NeoColonial	1923
5238Monticello	HighTudor	1930	5407Monticello	HighTudor	1922
5239Monticello	TudorCottage	1930	5410Monticello	HighTudor	1930
5242Monticello	TudorCottage	1930	5411Monticello	HighTudor	1928
5243Monticello	Contemporary	2000	5414Monticello	HighTudor	1926
5246Monticello	HighTudor	1928	5415Monticello	HighTudor	1926
5247Monticello	NeoColonial	1930	5418Monticello	HighTudor	1946
5250Monticello	HighTudor	1930	5419Monticello	HighTudor	1928
5251Monticello	HighTudor	1951	5422Monticello	TudorCottage	1946
5252Monticello	HighTudor	1930	5423Monticello	HighTudor	1926
5253Monticello	TudorCottage	1930	5426Monticello	NeoColonial	1926
			5427Monticello	TudorCottage	1920
			5430Monticello	HighTudor	1928
5301Monticello	Ranch	1979	5431Monticello	TudorCottage	1926
5302Monticello	HighTudor	1930	5435Monticello	NeoColonial	1926
5306Monticello	HighTudor	1925	5436Monticello	Spanish	1926
5307Monticello	HighTudor	1930	5439Monticello	TudorCottage	1926
5310Monticello	HighTudor	1930	5440Monticello	HighTudor	1925
5311Monticello	HighTudor	1930			
5314Monticello	HighTudor	1930			
5315Monticello	HighTudor	1927			
5318Monticello	NeoColonial	1930			
5319Monticello	TudorCottage	1927			
5322Monticello	HighTudor	1930			
5323Monticello	Contemporary	1996			
5326Monticello	NeoColonial	1935			
5327Monticello	TudorCottage	1925			

5442Monticello	Craftsman	1926	5602Monticello	HighTudor	1926
5443Monticello	HighTudor	1925	5603Monticello	HighTudor	1926
5446Monticello	HighTudor	1928	5606Monticello	TudorCottage	1926
5447Monticello	HighTudor	1925	5607Monticello	HighTudor	1926
5450Monticello	TudorCottage	1926	5610Monticello	TudorCottage	1926
5451Monticello	HighTudor	1930	5611Monticello	HighTudor	1926
5454Monticello	HighTudor	1926	5614Monticello	HighTudor	1926
5455Monticello	HighTudor	1931	5615Monticello	NeoColonial	1926
5458Monticello	HighTudor	1926	5618Monticello	TudorCottage	1924
5459Monticello	HighTudor	1929	5619Monticello	HighTudor	1926
			5622Monticello	HighTudor	1926
5502Monticello	MinimalTraditional	1939	5623Monticello	HighTudor	1926
5503Monticello	Contemporary	2000	5626Monticello	TudorCottage	1925
5506Monticello	TudorCottage	1926	5627Monticello	TudorCottage	1926
5507Monticello	TudorCottage	1926	5630Monticello	HighTudor	1926
5510Monticello	HighTudor	1926	5631Monticello	TudorCottage	1926
5511Monticello	HighTudor	1935	5634Monticello	TudorCottage	1931
5514Monticello	HighTudor	1926	5635Monticello	TudorCottage	1926
5515Monticello	MinimalTraditional	1926	5638Monticello	HighTudor	1926
5518Monticello	HighTudor	1926	5641Monticello	TudorCottage	1926
5519Monticello	HighTudor	1926	5642Monticello	NeoColonial	1926
5522Monticello	HighTudor	1929	5643Monticello	TudorCottage	1926
5523Monticello	HighTudor	1996	5646Monticello	TudorCottage	1926
5526Monticello	TudorCottage	1924	5647Monticello	Ranch	1926
5527Monticello	HighTudor	1926			
5530Monticello	HighTudor	1926	5102Ridgedale	Contemporary	2002
5531Monticello	HighTudor	1926	5106Ridgedale	Spanish	2001
5534Monticello	TudorCottage	1926	5122Ridgedale	HighTudor	1924
5535Monticello	TudorCottage	1926	5123Ridgedale	TudorCottage	1926
5538Monticello	MinimalTraditional	1926	5125Ridgedale	HighTudor	1926
5539Monticello	TudorCottage	1926	5126Ridgedale	MinimalTraditional	1924
5542Monticello	TudorCottage	1926	5130Ridgedale	TudorCottage	1926
5543Monticello	TudorCottage	1926	5131Ridgedale	HighTudor	1924
5546Monticello	HighTudor	1926	5134Ridgedale	TudorCottage	1924
5549Monticello	Craftsman	1935	5135Ridgedale	TudorCottage	1926
5550Monticello	NeoColonial	1926	5138Ridgedale	TudorCottage	1926
5551Monticello	HighTudor	1988	5139Ridgedale	TudorCottage	1924
5554Monticello	TudorCottage	1926	5142Ridgedale	MinimalTraditional	1926
5555Monticello	Craftsman	1926	5143Ridgedale	TudorCottage	1926
			5146Ridgedale	Contemporary	1999
			5147Ridgedale	HighTudor	1926
			5150Ridgedale	TudorCottage	1920
			5151Ridgedale	HighTudor	1924

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5202Ridgedale	TudorCottage	1926	5331Ridgedale	NeoColonial	1938
5203Ridgedale	HighTudor	1930	5334Ridgedale	HighTudor	1924
5206Ridgedale	HighTudor	1926	5335Ridgedale	MinimalTraditional	1940
5207Ridgedale	MinimalTraditional	1930	5338Ridgedale	HighTudor	1929
5210Ridgedale	HighTudor	1926	5339Ridgedale	HighTudor	1928
5211Ridgedale	TudorCottage	1930	5342Ridgedale	HighTudor	1926
5214Ridgedale	Craftsman	1926	5343Ridgedale	HighTudor	1929
5215Ridgedale	HighTudor	1930	5346Ridgedale	HighTudor	1924
5218Ridgedale	Contemporary	1998	5347Ridgedale	HighTudor	1929
5219Ridgedale	MinimalTraditional	1930	5350Ridgedale	HighTudor	1924
5222Ridgedale	TudorCottage	1926	5351Ridgedale	HighTudor	1930
5223Ridgedale	Contemporary	1998			
5226Ridgedale	NeoColonial	1926	5402Ridgedale	HighTudor	1926
5227Ridgedale	TudorCottage	1930	5403Ridgedale	NeoColonial	1926
5230Ridgedale	HighTudor	1926	5406Ridgedale	TudorCottage	1926
5231Ridgedale	TudorCottage	1930	5407Ridgedale	HighTudor	1926
5234Ridgedale	NeoColonial	2002	5410Ridgedale	HighTudor	1930
5235Ridgedale	HighTudor	1928	5411Ridgedale	HighTudor	1926
5238Ridgedale	TudorCottage	1926	5414Ridgedale	HighTudor	1926
5239Ridgedale	HighTudor	1928	5415Ridgedale	HighTudor	1926
5242Ridgedale	Craftsman	1926	5418Ridgedale	NeoColonial	1930
5243Ridgedale	TudorCottage	1925	5419Ridgedale	HighTudor	1926
5246Ridgedale	TudorCottage	1926	5422Ridgedale	Ranch	1930
5247Ridgedale	HighTudor	1924	5423Ridgedale	HighTudor	1940
5250Ridgedale	HighTudor	1928	5426Ridgedale	HighTudor	1926
5251Ridgedale	HighTudor	1931	5427Ridgedale	NeoColonial	1930
5254Ridgedale	Craftsman	1930	5430Ridgedale	HighTudor	1926
5255Ridgedale	HighTudor	1939	5431Ridgedale	HighTudor	1926
			5434Ridgedale	TudorCottage	1926
5302Ridgedale	TudorCottage	1923	5435Ridgedale	HighTudor	1924
5303Ridgedale	HighTudor	1931	5438Ridgedale	MinimalTraditional	1926
5306Ridgedale	TudorCottage	1923	5439Ridgedale	TudorCottage	1926
5307Ridgedale	TudorCottage	1923	5442Ridgedale	HighTudor	1926
5310Ridgedale	MinimalTraditional	1923	5443Ridgedale	HighTudor	1926
5311Ridgedale	Contemporary	2000	5446Ridgedale	HighTudor	1926
5313Ridgedale	TudorCottage	1930	5447Ridgedale	HighTudor	1926
5314Ridgedale	TudorCottage	1923	5451Ridgedale	NeoColonial	1926
5318Ridgedale	HighTudor	1925	5454Ridgedale	HighTudor	1926
5319Ridgedale	TudorCottage	1925	5455Ridgedale	HighTudor	1926
5322Ridgedale	TudorCottage	1924	5458Ridgedale	HighTudor	1926
5323Ridgedale	NeoColonial	1925			
5326Ridgedale	TudorCottage	1924			
5327Ridgedale	NeoColonial	1938			
5330Ridgedale	HighTudor	1924			

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5501Ridgedale	HighTudor	1926	5631Ridgedale	TudorCottage	1926
5502Ridgedale	TudorCottage	1926	5634Ridgedale	HighTudor	1926
5506Ridgedale	TudorCottage	1926	5635Ridgedale	HighTudor	1926
5507Ridgedale	TudorCottage	1926	5639Ridgedale	MinimalTraditional	1941
5510Ridgedale	HighTudor	1930	5640Ridgedale	HighTudor	1926
5511Ridgedale	HighTudor	1926	5642Ridgedale	TudorCottage	1926
5514Ridgedale	TudorCottage	1924	5643Ridgedale	Contemporary	2002
5515Ridgedale	HighTudor	1926	5644Ridgedale	TudorCottage	1926
5518Ridgedale	HighTudor	1926	5647Ridgedale	TudorCottage	1928
5519Ridgedale	TudorCottage	1926			
5523Ridgedale	Craftsman	1926	5106Vanderbilt	Contemporary	2001
5524Ridgedale	HighTudor	1926	5110Vanderbilt	HighTudor	1926
5525Ridgedale	Spanish	1926	5111Vanderbilt	VacantLot	2002
5526Ridgedale	HighTudor	1930	5114Vanderbilt	HighTudor	1926
5530Ridgedale	HighTudor	1926	5115Vanderbilt	TudorCottage	1930
5531Ridgedale	HighTudor	1926	5118Vanderbilt	HighTudor	1926
5534Ridgedale	HighTudor	1935	5119Vanderbilt	HighTudor	1934
5535Ridgedale	HighTudor	1926	5122Vanderbilt	TudorCottage	1926
5538Ridgedale	Ranch	1926	5123Vanderbilt	TudorCottage	1928
5539Ridgedale	HighTudor	1926	5126Vanderbilt	TudorCottage	1926
5542Ridgedale	TudorCottage	1924	5127Vanderbilt	TudorCottage	1924
5543Ridgedale	TudorCottage	1926	5130Vanderbilt	TudorCottage	1924
5546Ridgedale	TudorCottage	1926	5131Vanderbilt	TudorCottage	1928
5547Ridgedale	MinimalTraditional	1926	5134Vanderbilt	TudorCottage	1926
5550Ridgedale	NeoColonial	1924	5135Vanderbilt	HighTudor	1924
5551Ridgedale	TudorCottage	1925	5138Vanderbilt	HighTudor	1926
5554Ridgedale	Craftsman	1926	5139Vanderbilt	HighTudor	1926
5555Ridgedale	TudorCottage	1926	5141Vanderbilt	TudorCottage	1924
			5142Vanderbilt	Contemporary	2000
5602Ridgedale	HighTudor	1926	5145Vanderbilt	TudorCottage	1925
5603Ridgedale	HighTudor	1926	5146Vanderbilt	TudorCottage	1926
5604Ridgedale	TudorCottage	1926	5150Vanderbilt	HighTudor	1928
5605Ridgedale	HighTudor	1926	5151Vanderbilt	TudorCottage	1927
5609Ridgedale	HighTudor	1926			
5610Ridgedale	HighTudor	1926			
5614Ridgedale	HighTudor	1923			
5615Ridgedale	HighTudor	1926			
5618Ridgedale	HighTudor	1926			
5619Ridgedale	HighTudor	1926			
5622Ridgedale	TudorCottage	1926			
5623Ridgedale	MinimalTraditional	1926			
5625Ridgedale	TudorCottage	1927			
5626Ridgedale	TudorCottage	1926			
5630Ridgedale	TudorCottage	1926			

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5202Vanderbilt	HighTudor	1926	5338Vanderbilt	NeoColonial	1924
5203Vanderbilt	TudorCottage	1926	5339Vanderbilt	Craftsman	1924
5206Vanderbilt	HighTudor	1924	5342Vanderbilt	NeoColonial	1924
5207Vanderbilt	Contemporary	1999	5343Vanderbilt	NeoColonial	1925
5210Vanderbilt	Craftsman	1926	5346Vanderbilt	TudorCottage	1924
5211Vanderbilt	HighTudor	1926	5347Vanderbilt	MinimalTraditional	1925
5214Vanderbilt	HighTudor	1926	5350Vanderbilt	HighTudor	1936
5215Vanderbilt	TudorCottage	1926	5351Vanderbilt	MinimalTraditional	1938
5218Vanderbilt	HighTudor	1924	5354Vanderbilt	HighTudor	1929
5219Vanderbilt	HighTudor	1928	5355Vanderbilt	TudorCottage	1950
5222Vanderbilt	HighTudor	1924			
5223Vanderbilt	TudorCottage	1928	5402 Vanderbilt	NeoColonial	1948
5226Vanderbilt	HighTudor	1926	5403 Vanderbilt	MinimalTraditional	1938
5227Vanderbilt	Craftsman	1924	5406 Vanderbilt	Craftsman	1922
5230Vanderbilt	HighTudor	1924	5407 Vanderbilt	MinimalTraditional	1937
5231Vanderbilt	TudorCottage	1924	5410 Vanderbilt	NeoColonial	1925
5233Vanderbilt	HighTudor	1926	5411 Vanderbilt	HighTudor	1935
5234Vanderbilt	TudorCottage	1936	5414 Vanderbilt	Craftsman	1923
5239Vanderbilt	TudorCottage	1926	5415 Vanderbilt	HighTudor	1933
5240Vanderbilt	TudorCottage	1924	5418 Vanderbilt	TudorCottage	1926
5242Vanderbilt	TudorCottage	1928	5419 Vanderbilt	TudorCottage	1930
5243Vanderbilt	Ranch	1926	5422 Vanderbilt	HighTudor	1926
5247Vanderbilt	Ranch	1930	5423 Vanderbilt	Craftsman	1930
5248Vanderbilt	TudorCottage	1924	5426 Vanderbilt	HighTudor	1925
5251Vanderbilt	MinimalTraditional	1942	5427 Vanderbilt	HighTudor	1926
5252Vanderbilt	TudorCottage	1926	5430 Vanderbilt	Craftsman	1926
5254Vanderbilt	Ranch	1946	5431 Vanderbilt	TudorCottage	1930
5255Vanderbilt	Ranch	1954	5434 Vanderbilt	HighTudor	1925
			5435 Vanderbilt	HighTudor	1924
			5438 Vanderbilt	HighTudor	1926
			5439 Vanderbilt	HighTudor	1926
			5440 Vanderbilt	HighTudor	1926
			5443 Vanderbilt	HighTudor	1933
			5446 Vanderbilt	HighTudor	1931
			5447 Vanderbilt	HighTudor	1933
			5450 Vanderbilt	HighTudor	1930
			5451 Vanderbilt	HighTudor	1930
			5454 Vanderbilt	HighTudor	1924
			5455 Vanderbilt	MinimalTraditional	1950
			5458 Vanderbilt	HighTudor	1926
			5459 Vanderbilt	MinimalTraditional	1950

5331	Vanderbilt	Contemporary	2000		
5334	Vanderbilt	NeoColonial	1924		
5335	Vanderbilt	TudorCottage	1924		

5502	Vanderbilt	Tudor Cottage	1938		
5503	Vanderbilt	High Tudor	1926	5639	Vanderbilt High Tudor 1928
5506	Vanderbilt	High Tudor	1933	5640	Vanderbilt High Tudor 1926
5507	Vanderbilt	Tudor Cottage	1926	5643	Vanderbilt High Tudor 1925
5510	Vanderbilt	High Tudor	1928	5647	Vanderbilt Ranch 1926
5511	Vanderbilt	Contemporary	2000		
5514	Vanderbilt	Tudor Cottage	1926	3215	Homer Minimal Traditional 1942
5515	Vanderbilt	High Tudor	1926	3219	Homer Minimal Traditional 1942
5518	Vanderbilt	Tudor Cottage	1926	3223	Homer Minimal Traditional 1939
5519	Vanderbilt	High Tudor	1911	3227	Homer Tudor Cottage 1925
5522	Vanderbilt	Tudor Cottage	1928	3231	Homer Minimal Traditional 1937
5523	Vanderbilt	Tudor Cottage	1926	3235	Homer Tudor Cottage 1935
5526	Vanderbilt	Tudor Cottage	1924	3239	Homer High Tudor 1925
5527	Vanderbilt	Tudor Cottage	1926	3243	Homer Tudor Cottage 1925
5530	Vanderbilt	Contemporary	2001	3247	Homer High Tudor 1925
5531	Vanderbilt	Tudor Cottage	1926	3251	Homer Tudor Cottage 1927
5534	Vanderbilt	Tudor Cottage	1928		
5535	Vanderbilt	Contemporary	2001	3303	Homer High Tudor 1929
5538	Vanderbilt	Tudor Cottage	1924	3307	Homer High Tudor 1926
5539	Vanderbilt	Contemporary	2002	3311	Homer Tudor Cottage 1936
5542	Vanderbilt	Tudor Cottage	1926	3315	Homer Neo Colonial 1936
5543	Vanderbilt	Minimal Traditional	1926	3319	Homer Minimal Traditional 1936
5546	Vanderbilt	High Tudor	1928	3323	Homer Tudor Cottage 2000
5547	Vanderbilt	Tudor Cottage	1926		
5550	Vanderbilt	High Tudor	1928	3403	Homer Tudor Cottage 1936
5551	Vanderbilt	High Tudor	1926	3407	Homer Minimal Traditional 1936
5554	Vanderbilt	Neo Colonial	1939	3411	Homer Contemporary 1998
5555	Vanderbilt	High Tudor	1926	3415	Homer Contemporary 1996
				3301	Greenville TudorCottage 1940

5627	Vanderbilt	Neo Colonial	1928	
5630	Vanderbilt	Tudor Cottage	1930	
5631	Vanderbilt	Tudor Cottage	1924	
5634	Vanderbilt	Ranch	1985	
5635	Vanderbilt	High Tudor	1928	

Appendix B

History of Greenland Hills

By Neighborhood Historian Suzanne Cabral

Riding on the wave of suburban development, brothers Frank and Fletcher McNeny subdivided and platted 98 acres of the Bennett farm on the eastern fringes of the city in 1923, creating the Greenland Hills development. Located between the Houston & Texas Central railroad tracks (later the route of Central Expressway) and the Interurban rail line on nearby Matilda Street, Greenland Hills was well served with transportation options to carry residents downtown to work.

Though public transportation was plentiful, more than any other single factor, the automobile dictated the layout and appearance of Greenland Hills. In 1925, the opportunity to build homes on bigger lots (yes, 60' lots were large for the time!) was made possible by the automobile. Homes could be built farther away from the city center, as no longer were neighborhoods dependent on being walking distance from public transportation. Garages also became part of the landscape, first detached and at the rear of the lot as early cars were considered a fire hazard.

A local builder, C.L. Sowell, had developed and sold houses all over Dallas since 1921. Sowell purchased lots in various emerging neighborhoods on the eastern and northern edges of the booming city in the late 1920s, and Greenland Hills was obviously a particularly fertile area in which to build speculative houses, for at one point he bought and sold more than 20 lots in the area in the span of a year. Interestingly, Greenland Hills was the farthest north development in Dallas at the time. Despite the Great Depression, the area became a highly successful, fast-selling subdivision. The architectural style of the neighborhood was influenced by the development of brick veneering -- a layer of brick used as the outside skin of a frame house as opposed to using a load-bearing brick wall -- which was developed after World War I. This went hand-in-hand with the demand for new styles reflecting the diversity of European and English styles seen by servicemen during the WWI. French Eclectic, Mediterranean and especially Tudor styles became extremely popular.

In like fashion, Calvin Sowell, the Messerole Brothers and other Greenland Hills builders were most often choosing historical revival styles for their brick, stone and stucco veneer houses, reinforcing the romantic imaginations of homebuyers who were being exposed to exotic locales and interesting architecture in the movies and other forms of popular entertainment.

In fact, Dallas has some of the most distinctive concentrations of Tudor homes in the nation, scattered throughout Oak Cliff, Greenland Hills, the Park Cities and Old East Dallas. Some of these neighborhoods, including Greenland Hills, show the results of strict

architectural guidelines and a strong landscaping plan, with block after block of rhythmic variations upon an architectural theme.

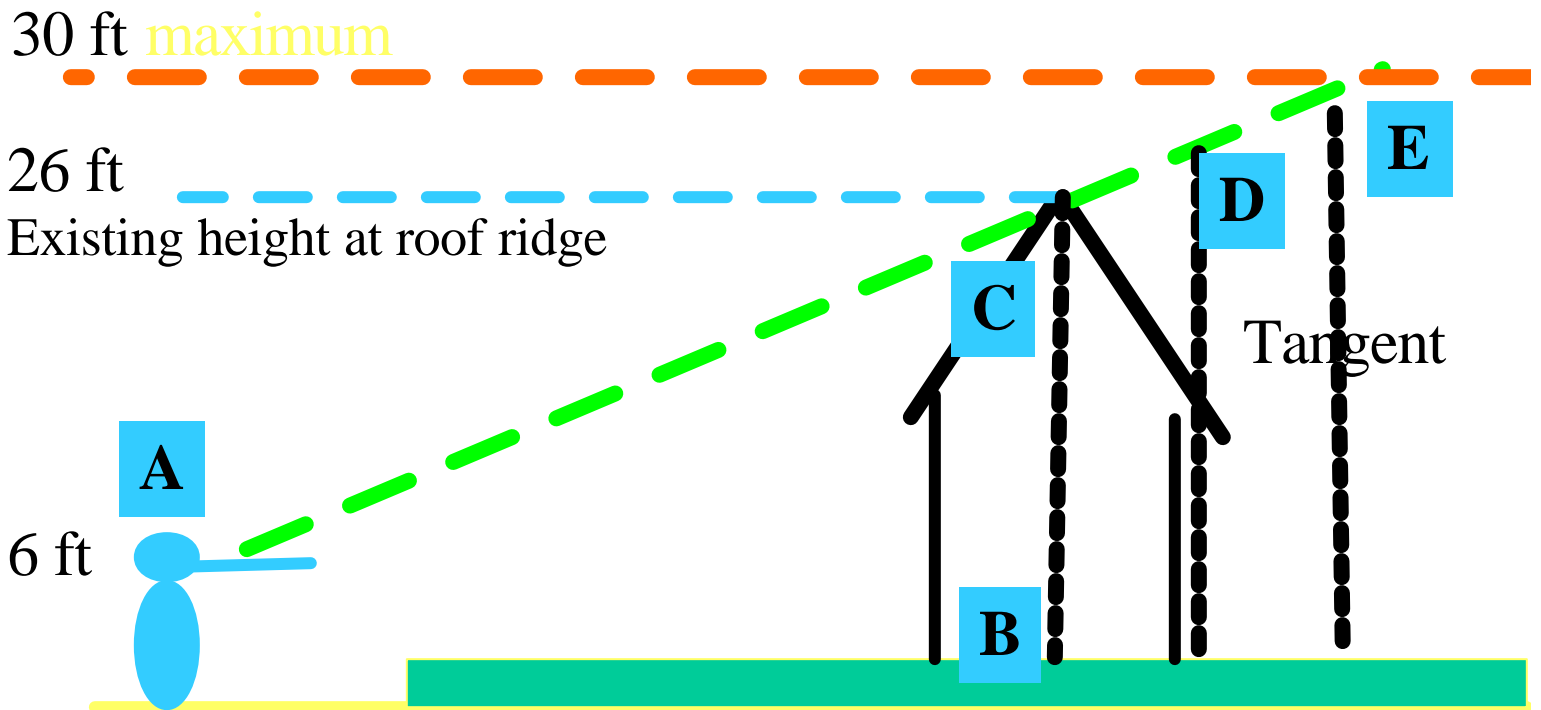
Appendix C

Height Measurement Illustration

EXAMPLE

The maximum height of new construction / additions is calculated based on this standard:

- 30 foot height limit (absolute)
- Line of Site

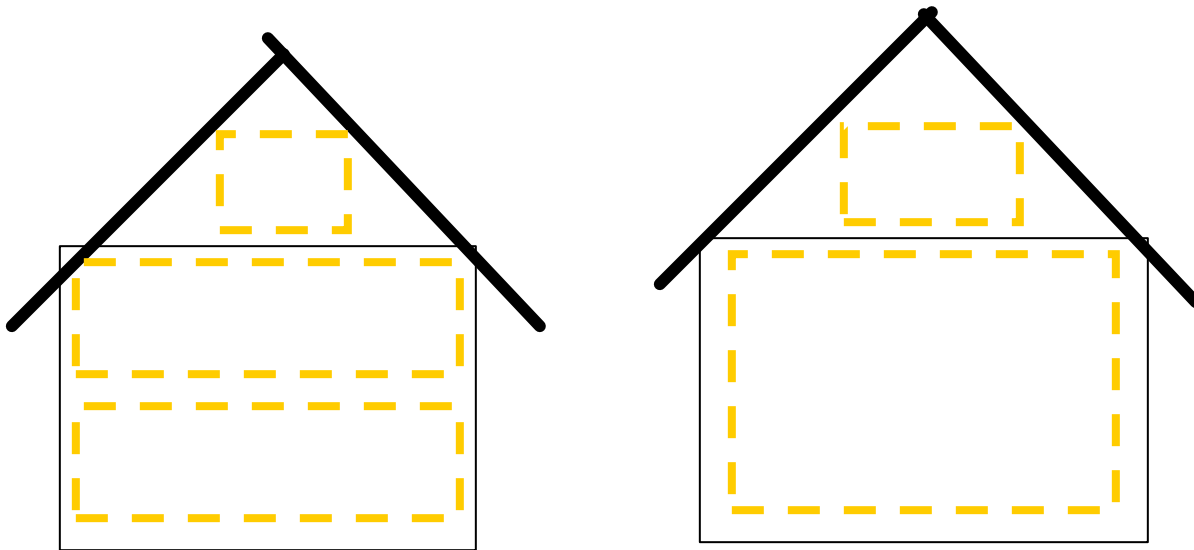


Line of site

1. established at midpoint of street at 6 foot 'eye' height
2. calculate tangent slope of line to establish height of point "D" using known elevation values of A (6ft), B (grade elevation), C (26ft) and E (30 ft).

Appendix D

Appearance of 1-1/2 Stories



Intent of 1-1/2 story standard is to have the front of the house to ‘appear’ to have only 1-1/2 stories such as shown in the photo above.

It is possible to construct and design a house that has two- stories-and-a-half in the front façade as long as the window fenestration pattern depicts a 1-1/2 story structure. It is also possible to have a double-height one story house.