



Development Services

"TOGETHER WE ARE BUILDING A SAFE AND UNITED DALLAS"

APPLICATION/APEAL TO THE BOARD OF ADJUSTMENT

Case No.: BDA 234-078 **RECEIVED**
Date: 4/26/24 **APR 26 2024**
BY: [Signature]

Data Relative to Subject Property: Previous BDA 223-075
Location address: 8334 Plainview Dr. Zoning District: A(1)
Lot No.: 3 Block No.: _____ Acreage: .235 Census Tract: 0116.02
Street Frontage (in Feet): 1) 105 2) _____ 3) _____ 4) _____ 5) _____

To the Honorable Board of Adjustment:

Owner of Property (per Warranty Deed): Bulfrano Macedo
Applicant: Bulfrano Macedo Telephone: 214-533-5563
Mailing Address: 766 Pemberton Hill Rd Zip Code: 75217
E-mail Address: bulfranom@gmail.com
Represented by: _____ Telephone: _____
Mailing Address: _____ Zip Code: _____
E-mail Address: _____

Affirm that an appeal has been made for a Variance or Special Exception of the maximum allowable lot usage. Current max allowable usage is set at 10%. request to allow 23% lot usage as noted on the site plan.

Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to Grant the described appeal for the following reason:
Previously approved site plan and rear/side yard setbacks show a 23% lot usage (BDA223-075 KMH)

Note to Applicant: If the appeal requested in this application is granted by the Board of Adjustment, a permit must be applied for within 180 days of the date of the final action of the Board, unless the Board specifically grants a longer period.

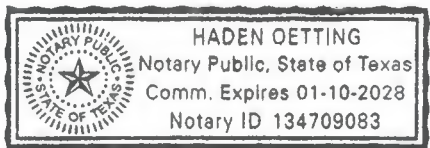
Affidavit

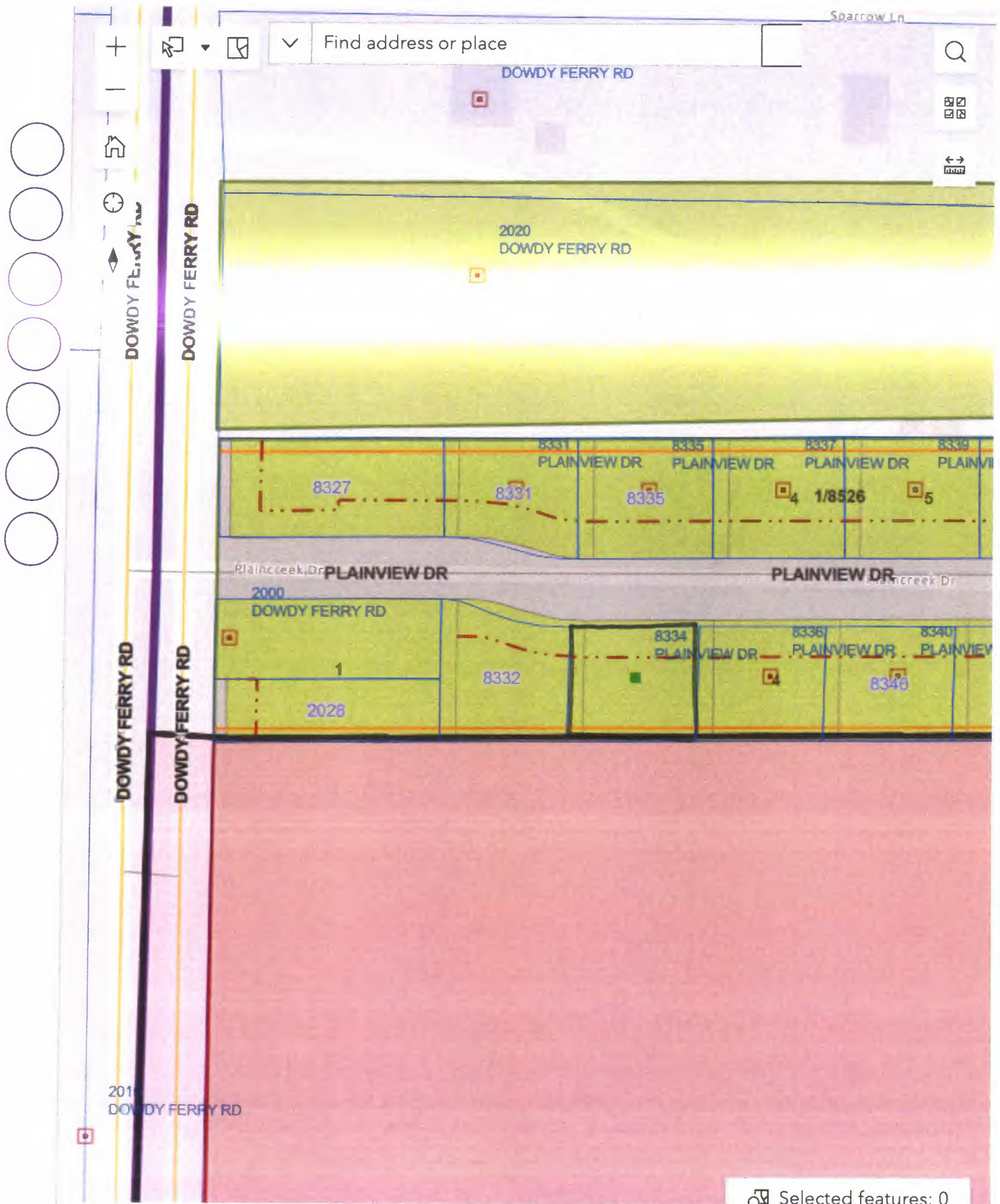
Before me the undersigned on this day personally appeared Bulfrano Macedo
(Affiant/Applicant's name printed)
who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner/or principal/or authorized representative of the subject property

Respectfully submitted: [Signature]
(Affiant/Applicant's signature)

Subscribed and sworn to before me this 25 day of April, 2024

[Signature]
Notary Public in and for Dallas County, Texas





50 m
100 ft

BDA234-078

SHIPPED DATE: _____ RECEIVED DATE: _____

CITY OF DALLAS PLAT BOOKS

ANNEXED MAY 14, 1962 ORD. NO. 9240
SURVEY JOHN R. FONDRON ABST. 476

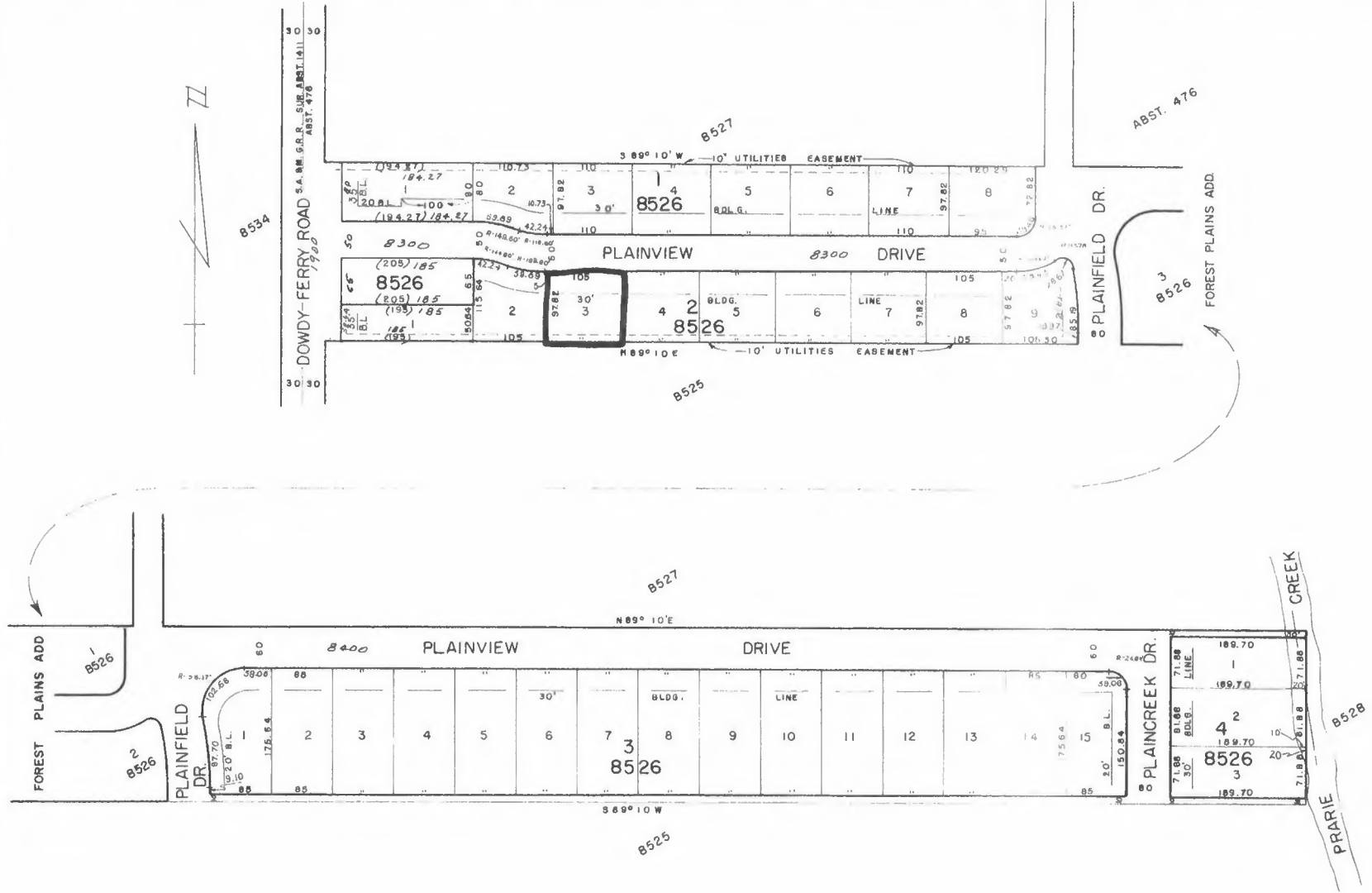
ADDITION FOREST PLAINS

BLOCKS 1 THRU 4
8526 & 8526

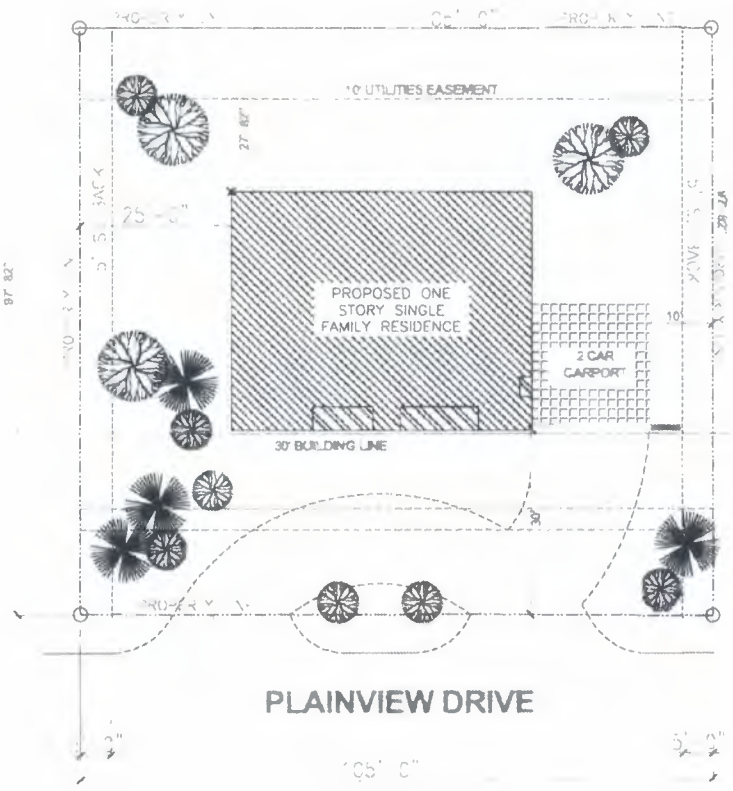
SCALE 100 FT. EQUALS 1 INCH

SCHOOL DISTRICT DALLAS

FILED 8-24-58



BDA234-07B



1 SITE PLAN
C2.00



BDA
PLANS APPROVED
 SUBJECT TO
 BOARD ACTION
 8/15/23
 DATE
 Administrator
 ADMINISTRATOR

PROJECT AREA CALCULATIONS

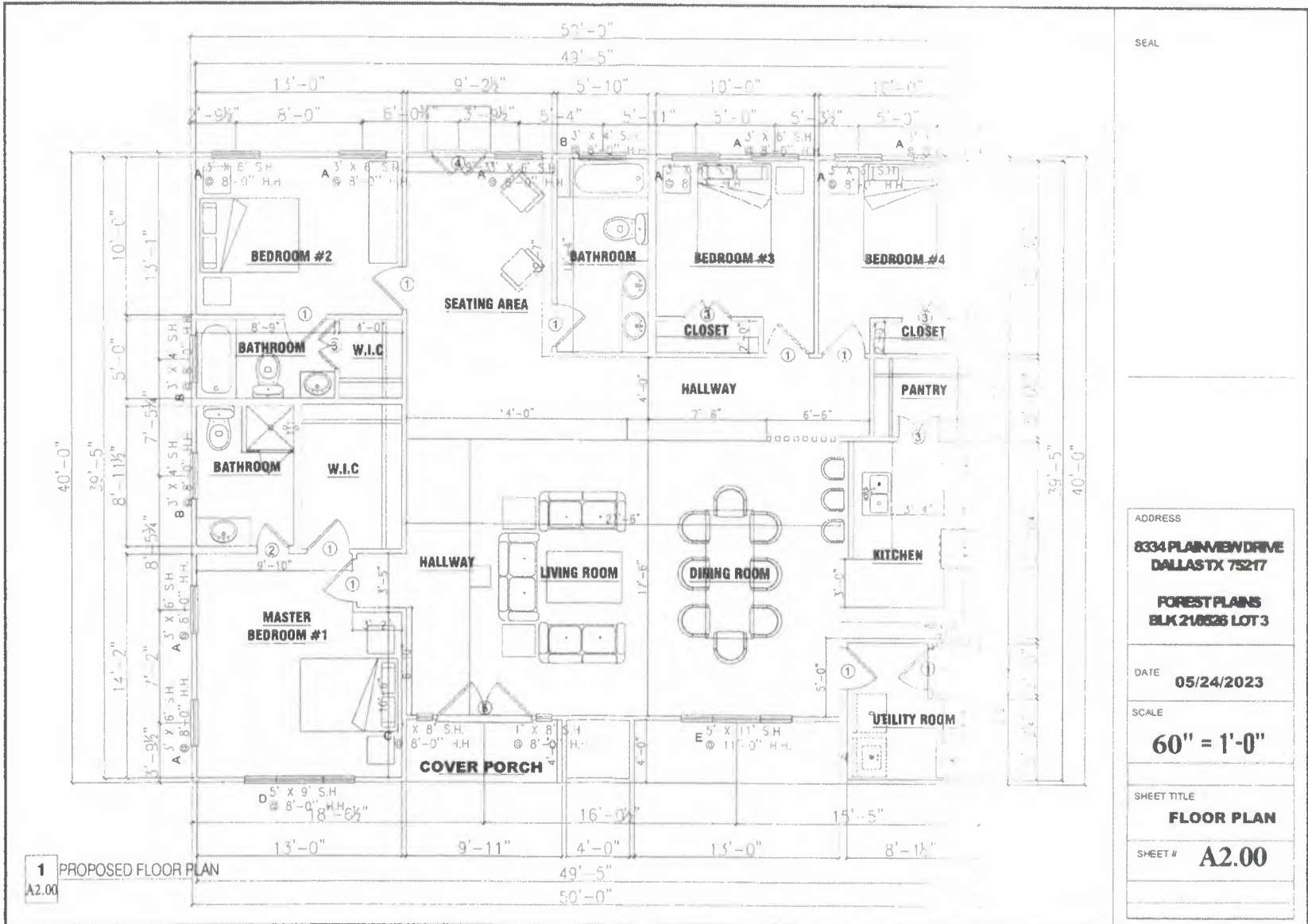
PROPOSED LIVING AREA (AC)	TOTAL FINISHED AC
FIRST FLOOR 1,902 S.F.	1,902 S.F.
	TOTAL UNDER ROOF 2,413 S.F.
	FOOTPRINT 2,413 S.F.

UNCONDITION AREA	LOT USAGE
COV. PORCH 92 S.F.	FOOTPRINT 2,413 S.F.
COV. PATIO 12 S.F.	LOT SIZE 10,270 S.F.
COV. PORCH 07 S.F.	NON ROOF AREA 7,857 S.F.
COV. CARPORT 400 S.F.	% OF LOT 23 %

1 VICINITY MAP
A1.00 FOR REFERENCE ONLY

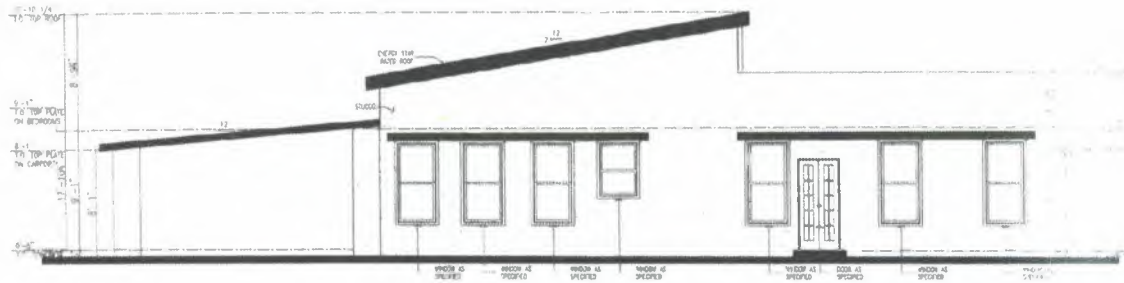
ADDRESS
8334 PLAINVIEW DRIVE
DALLAS TX 75217
FOREST PLAINS
BLK 218226 LOT 3
 DATE
05/24/2023
 SCALE
25" = 1'-0"
SITE PLAN
 A1.00
 BDA 2023 075

BDA 234-078

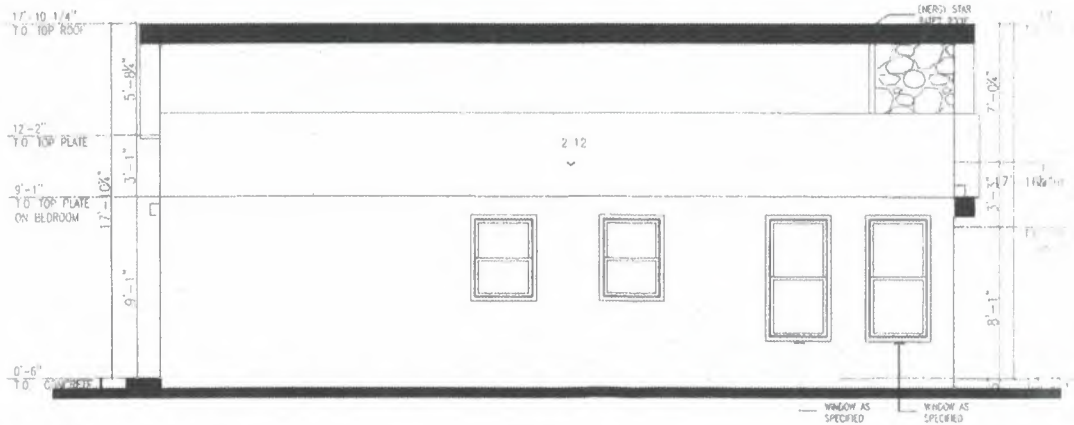


BDA 233-075

BDA 234-078



3 BACK ELEVATION
A2.02



4 LEFT ELEVATION
A2.02 60°

SEAL

ADDRESS

8334 PLAINVIEW DRIVE
DALLAS TX 75217

FOREST PLAINS
BLK 218526 LOT 3

DATE

05/24/2023

SCALE

AS SPECIFIED

ELEVATIONS

A2.02

~~BDA223-078~~

BDA234-078