



Development Services

"TOGETHER WE ARE BUILDING A SAFE AND UNITED DALLAS"

APPLICATION/APEAL TO THE BOARD OF ADJUSTMENT

Case No.: BDA

234 RECEIVED

Data Relative to Subject Property: _____

Date:

FOR OFFICE MAR 25 2024 REC'D

Location address: 3601 W. Lawther Drive

Zoning District: R 7.5

BY: _____

Lot No.: 1 Block No.: B/4400 Acreage: 1.05

Census Tract: 4811300800

Street Frontage (in Feet): 1) 186.66 2) 115.29 3) _____ 4) _____ 5) _____

To the Honorable Board of Adjustment:

Owner of Property (per Warranty Deed): Justin Michael Schaffer and Elizabeth Joann Dodson

Applicant: Rob Baldwin, Baldwin Associates

Telephone: 214-824-7949

Mailing Address: 3904 Elm Street, Suite B - Dallas

Zip Code: 75226

E-mail Address: rob@baldwinplanning.com

Represented by: Rob Baldwin, Baldwin Associates

Telephone: 214-824-7949

Mailing Address: 3904 Elm Street, Suite B - Dallas

Zip Code: 75226

rob@baldwinplanning.com

E-mail Address: _____

Affirm that an appeal has been made for a Variance or Special Exception of _____
Special Exception to allow an accessory dwelling unit.

Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to Grant the described appeal for the following reason:

We feel the request to allow an accessory dwelling unit is reasonable and will not negatively impact the surrounding properties.

Note to Applicant: If the appeal requested in this application is granted by the Board of Adjustment, a permit must be applied for within 180 days of the date of the final action of the Board, unless the Board specifically grants a longer period.

Affidavit

Before me the undersigned on this day personally appeared _____

Rob Baldwin

(Affiant/Applicant's name printed)

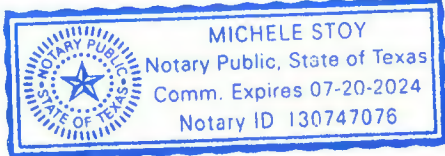
who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner/or principal/or authorized representative of the subject property

Respectfully submitted: _____

(Affiant/Applicant's signature)

Subscribed and sworn to before me this 1 day of March, 2024

Michele Stoy
Notary Public in and for Dallas County, Texas





Posting of Notification Sign

Address: 3601 W. Lawther

Appeal Number: BDA 234-055

All required notification signs must be posted on the property within fourteen (14) days after an application has been made, prior to the Board of Adjustment Hearing, and not be removed until the hearing ends.

The sign must be posted at a prominent location adjacent to the public street, evenly spaced along each frontage, and easily visible from the street. Failure to properly post the sign(s) may result in either a postponement or denial of the appeal.

All required notification signs have been received. One sign is required for each 500 feet or less of frontage, or every tract of five (5) acres or less, with a maximum of five (5) signs required. The cost of each sign is \$10.00.

Footage of each street frontage: 186.46 - 115.29

Number of acres: 1.05

Number of signs received: 2

Mickela Stang
Signature of applicant or person receiving signs

3-4-24
Date



Appeal number: BDA 234-055

I, Elizabeth Joann Dodson, Owner of the subject property
(Owner or "Grantee" of property as it appears on the Warranty Deed)

at: 3601 W. Lawther Drive
(Address of property as stated on application)

Authorize: Rob Baldwin, Baldwin Associates
(Applicant's name as stated on application)

To pursue an appeal to the City of Dallas Zoning Board of Adjustment for the following request(s)

 Variance (specify below)

 X Special Exception (specify below)

 Other Appeal (specify below)

Specify: Special Exception to allow an accessory dwelling unit.

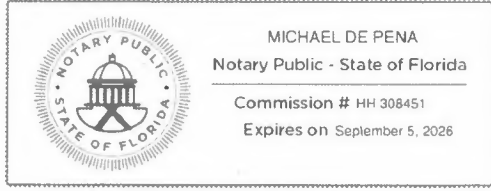
Elizabeth Joanne Dodson
Print name of property owner or registered agent
Date 02/28/2024

Elizabeth Joanne Dodson
Signature of property owner or registered agent

Before me, the undersigned, on this day personally appeared Elizabeth Joanne Dodson Justin M Schaffer

Who on his/her oath certifies that the above statements are true and correct to his/her best knowledge.

Subscribed and sworn to before me this 28 day of FEBRUARY, 2024



[Signature]
Notary Public for Dallas County, Texas Florida
Broward
Commission expires on 09/05/2026

Notarized remotely online using communication technology via Proof.

THIS SPACE IS RESERVED FOR CITY OF DALLAS USE

NIMMO
NIMMO, AIA | 972.360.3160

PROJECT
MEADOW HOUSE
2001 W LANTIER DRIVE
DALLAS, TX 75244



CONSULTANTS

FOOT STRUCTURES
FOOTING DESIGN
2120 LAKE FIRM ST, F300
DALLAS, TX 75207
817.211.0194

FOUNDATIONS
FOUNDATION DESIGN
1200 W DALLAS BLVD, 1000 ROOM
DALLAS, TX 75204
214.611.8230

MECA
MECHANICAL ARCHITECT
3000 WEST LAMAR STREET, SUITE 400
DALLAS, TX 75201
214.251.0300

MACATEE ENGINEERING
CIVIL ENGINEER
3010 WILEY ST
DALLAS, TX 75201
214.271.1900

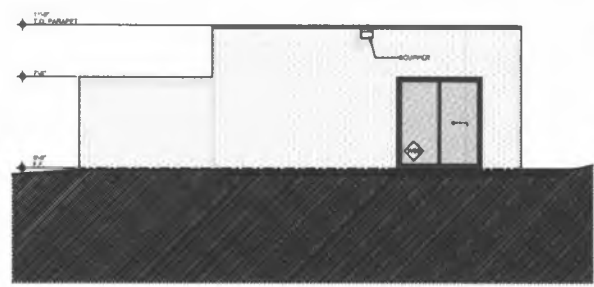
GENERAL CONTRACTOR

SMITH B-B CO
BARRETT GALTHER
214.201.1804
sm@smithbb.com

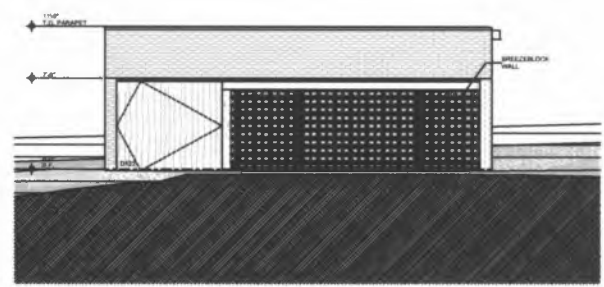
OWNER
ELIZABETH BOBSON
AUSTIN SCHAFFER

ISSUE
CD BRANT
1/15/2024

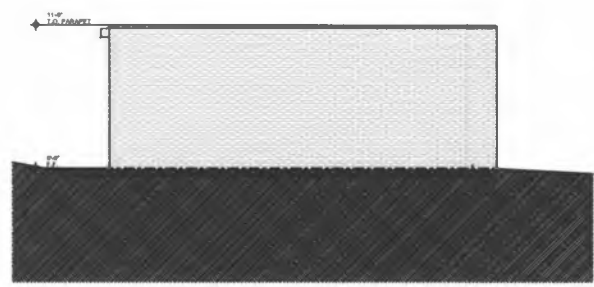
IMPORTANT NOTES



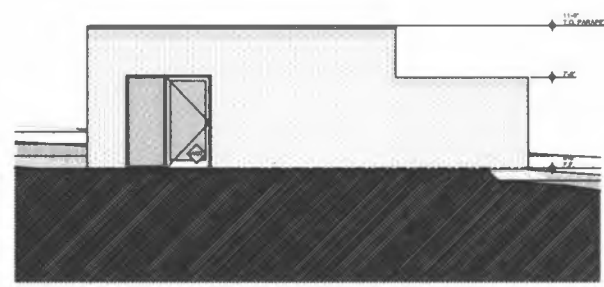
④ GH WEST ELEVATION
SCALE: 1/8" = 1'-0"



③ GH NORTH ELEVATION
SCALE: 1/8" = 1'-0"



② GH SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



① GH EAST ELEVATION
SCALE: 1/8" = 1'-0"

BDA234-055

A2.2
EXTERIOR ELEVATIONS

