



Development Services

"TOGETHER WE ARE BUILDING A SAFE AND UNITED DALLAS"

APPLICATION/APEAL TO THE BOARD OF ADJUSTMENT

Case No.: BDA

234 RECEIVED

Data Relative to Subject Property: _____

Date: FOR OFFICIAL RECORD MAR 22 2024

Location address: 8206 Inwood Road

Zoning District: R-7.5(A)

BY: _____

Lot No.: 23

Block No.: 5674

Acreage: 0.751

Census Tract: 48113007301

Street Frontage (in Feet): 1) 139.14 2) _____ 3) _____ 4) _____ 5) _____

To the Honorable Board of Adjustment:

Owner of Property (per Warranty Deed): Dawn Renee Jones and Leigh Hollis Jones

Applicant: Rob Baldwin, Baldwin Associates

Telephone: 214-824-7949

Mailing Address: 3904 Elm Street, Suite B - Dallas

Zip Code: 75126

E-mail Address: rob@baldwinplanning.com

Represented by: Rob Baldwin, Baldwin Associates

Telephone: 214-824-7949

Mailing Address: 3904 Elm Street, Suite B - Dallas

Zip Code: 75126

E-mail Address: rob@baldwinplanning.com

Affirm that an appeal has been made for a Variance or Special Exception of Special Exception of 2'6" to the fence height regulations to allow 6'6" columns with a 5'9 1/4" gate in the front yard.

Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to Grant the described appeal for the following reason:

This request is consistent with other homes in the area and will not negatively impact surrounding properties.

Note to Applicant: If the appeal requested in this application is granted by the Board of Adjustment, a permit must be applied for within 180 days of the date of the final action of the Board, unless the Board specifically grants a longer period.

Affidavit

Rob Baldwin

Before me the undersigned on this day personally appeared _____

(Affiant/Applicant's name printed)

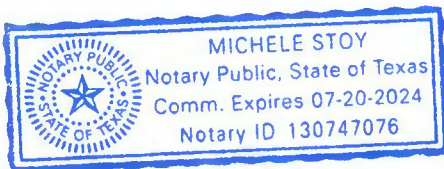
who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner/or principal/or authorized representative of the subject property

Respectfully submitted: _____

(Affiant/Applicant's signature)

Subscribed and sworn to before me this 13 day of March, 2024

Michele Stoy
Notary Public in and for Dallas County, Texas





Posting of Notification Sign

Address: 8206 Inwood Road

Appeal Number: BDA 234 056

All required notification signs must be posted on the property within fourteen (14) days after an application has been made, prior to the Board of Adjustment Hearing, and not be removed until the hearing ends.

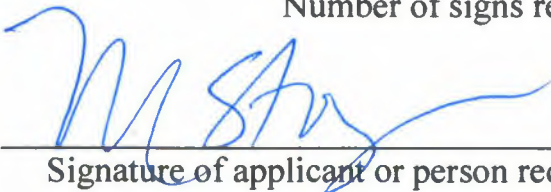
The sign must be posted at a prominent location adjacent to the public street, evenly spaced along each frontage, and easily visible from the street. Failure to properly post the sign(s) may result in either a postponement or denial of the appeal.

All required notification signs have been received. One sign is required for each 500 feet or less of frontage, or every tract of five (5) acres or less, with a maximum of five (5) signs required. The cost of each sign is \$10.00.

Footage of each street frontage: 139.14

Number of acres: 0.751

Number of signs received: 1



Signature of applicant or person receiving signs

3/14/2024

Date



Appeal number: BDA 234-056

I, Leigh Hollis Jones, Owner of the subject property
(Owner or "Grantee" of property as it appears on the Warranty Deed)

at: 8206 Inwood Road
(Address of property as stated on application)

Authorize: Rob Baldwin, Baldwin Associates
(Applicant's name as stated on application)

To pursue an appeal to the City of Dallas Zoning Board of Adjustment for the following request(s)

- Variance (specify below)
- Special Exception (specify below)
- Other Appeal (specify below)

Specify: Special excepton to the front yard fence regulations

Leigh Hollis Jones
Print name of property owner or registered agent

Leigh Hollis Jones
Signature of property owner or registered agent

Date 3.13.2024

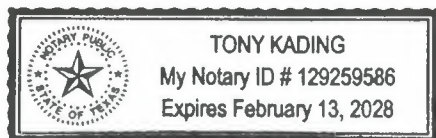
Before me, the undersigned, on this day personally appeared Leigh Jones

Who on his/her oath certifies that the above statements are true and correct to his/her best knowledge.

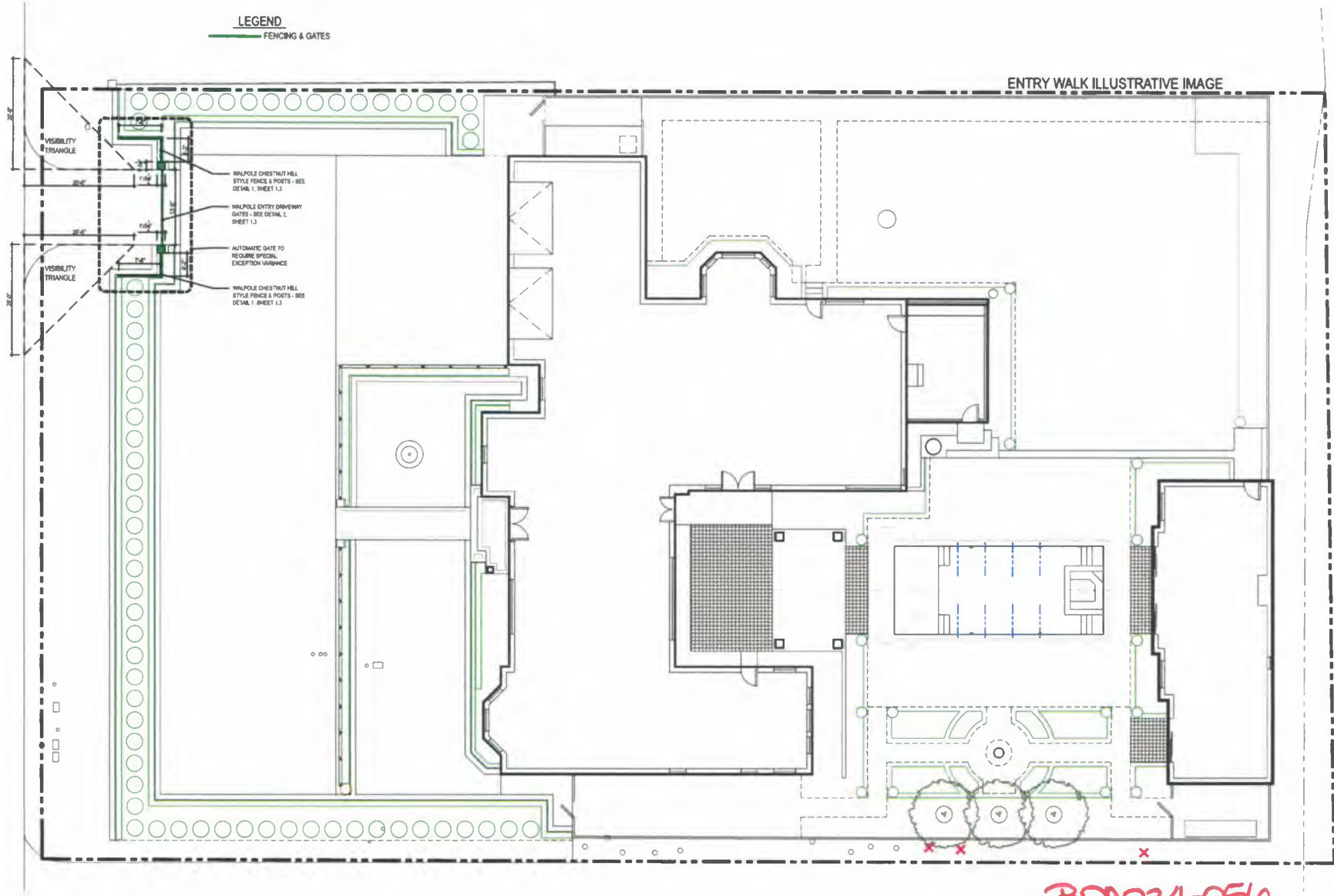
Subscribed and sworn to before me this 13th day of March, 2024

[Signature]
Notary Public for Dallas County, Texas

Commission expires on 2/13/28



INWOOD ROAD



HAROLD
LEINER

1801 Surveyor
Boulevard Carrollton,
Texas 75008
972.418.5244
harold@hlc.com

**NOT FOR
CONSTRUCTION**

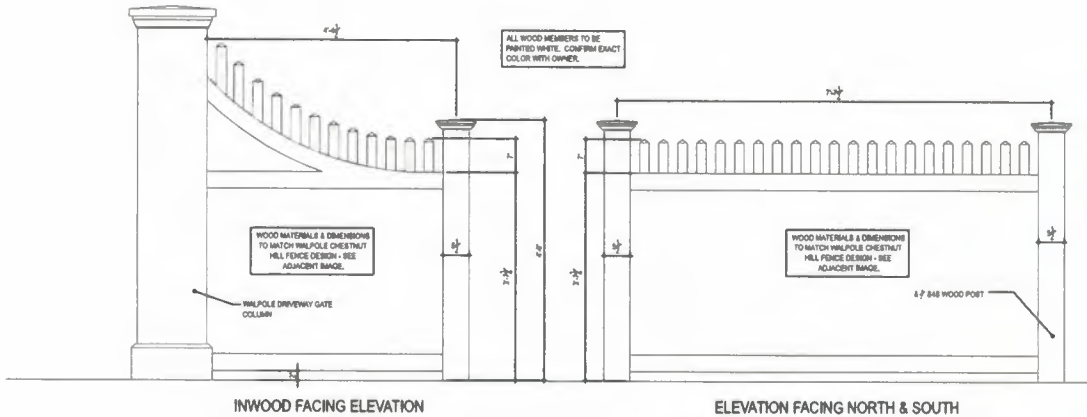
This is a preliminary drawing. It is not to be used for construction. It is subject to change without notice. It is not to be used for any other purpose. It is not to be used for any other purpose. It is not to be used for any other purpose.

HOLLIS & DAWN JONES RESIDENCE
8206 INWOOD ROAD
DALLAS, TX 75209



MARCH 11, 2024
SPECIAL
EXCEPTION
PLAN

L1.2



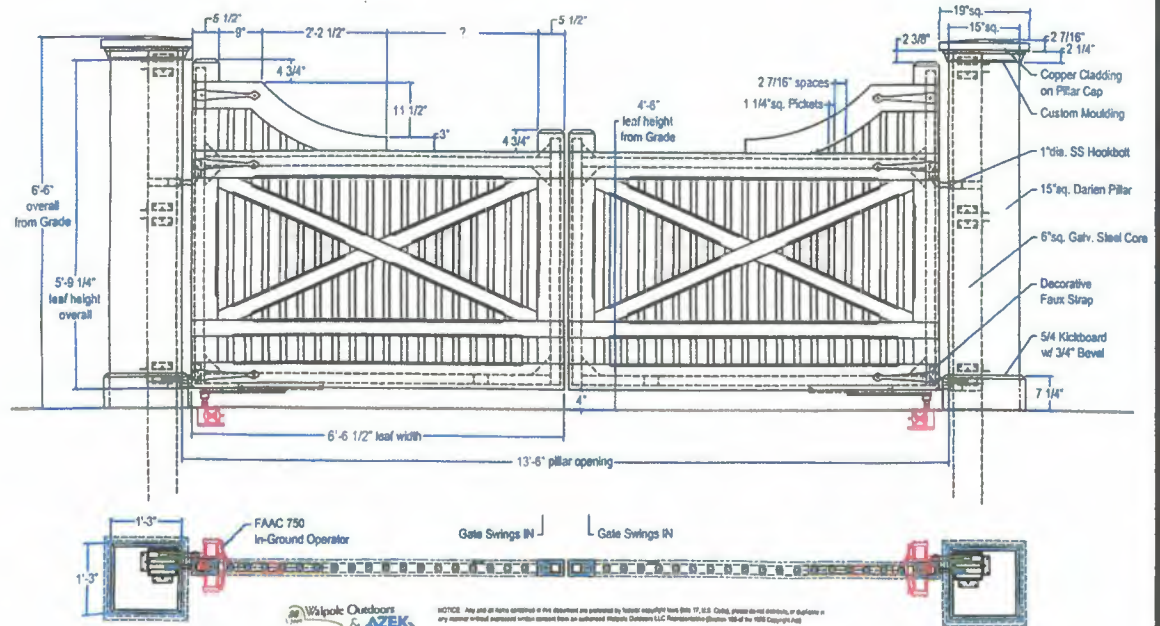
INWOOD FACING ELEVATION

ELEVATION FACING NORTH & SOUTH

1 WALPOLE CHESTNUT HILL STYLE FENCE
SCALE: 1"=1'-0"



IMAGE REPRESENTATIVE OF FINISH PRODUCT



2 WALPOLE DRIVEWAY ENTRY GATE
SCALE: 1"=1'-0"



1801 Surveyor
Boulevard Carrollton,
Texas 75006
972.418.5244
hcl@hclsurvey.com

**NOT FOR
CONSTRUCTION**

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HOLLIS & DAWN JONES RESIDENCE
8208 INWOOD ROAD
DALLAS, TX 75209

SCALE: VARIES

MARCH 11, 2024

**SPECIAL
EXCEPTION
DETAILS**

L1.3

BDA234-056