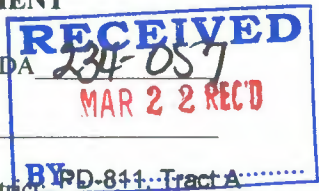




City of Dallas

APPLICATION/APEAL TO THE BOARD OF ADJUSTMENT



Case No.: BDA 234-057

Date: \_\_\_\_\_

Data Relative to Subject Property:

Location address: 1433 North Westmoreland Road Zoning District: PD-841: Tract A

Lot No.: Tract 1 Block No.: 6160 Acreage: 1.2526 acres Census Tract: 48113010701

Street Frontage (in Feet): 1) 422' 2) 302' 3) 400' 4) \_\_\_\_\_ 5) \_\_\_\_\_

To the Honorable Board of Adjustment: Dallas County Mental Health and Mental Retardation Center  
Owner of Property (per Warranty Deed): dba Dallas Metrocare Services

Applicant: Rob Baldwin, Baldwin Associates Telephone: 214-824-7949

Mailing Address: 3904 Elm Street Suite B Dallas TX Zip Code: 75226

E-mail Address: rob@baldwinplanning.com

Represented by: Rob Baldwin, Baldwin Associates Telephone: 214-824-7949

Mailing Address: 3904 Elm Street Suite B Dallas TX Zip Code: 75226

E-mail Address: rob@baldwinplanning.com

Affirm that an appeal has been made for a Variance \_\_, or Special Exception X, of  
A Special Exception to allow for an alternate landscape plan for the Property.

Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to grant the described appeal for the following reason:

There are overhead power lines along North Westmoreland Road that prohibit the compliance with Article X Street Tree requirements.

Note to Applicant: If the appeal requested in this application is granted by the Board of Adjustment, a permit must be applied for within 180 days of the date of the final action of the Board, unless the Board specifically grants a longer period.

Affidavit

Before me the undersigned on this day personally appeared Robert Baldwin

(Affiant/Applicant's name printed)

who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner/or principal/or authorized representative of the subject property.

Respectfully submitted: [Signature]  
(Affiant/Applicant's signature)

Subscribed and sworn to before me this 4 day of March, 2024



[Signature]  
Notary Public in and for Dallas County, Texas



## Posting of Notification Sign

Address: 1433 N. Westmoreland

Appeal Number: BDA 234 057

All required notification signs must be posted on the property within fourteen (14) days after an application has been made, prior to the Board of Adjustment Hearing, and not be removed until the hearing ends.

The sign must be posted at a prominent location adjacent to the public street, evenly spaced along each frontage, and easily visible from the street. Failure to properly post the sign(s) may result in either a postponement or denial of the appeal.

All required notification signs have been received. One sign is required for each 500 feet or less of frontage, or every tract of five (5) acres or less, with a maximum of five (5) signs required. The cost of each sign is \$10.00.

Footage of each street frontage: 422' - 302' - 400'

Number of acres: 1.25

Number of signs received: 3

Meckelle Stong  
Signature of applicant or person receiving signs

2-1-24  
Date



CITY OF DALLAS

AFFIDAVIT

Appeal number: BDA 234-057

Dallas County Mental Health and Mental Retardation Center d/b/a Dallas Metrocare Services  
I, \_\_\_\_\_, Owner of the subject property  
(Owner or "Grantee" of property as it appears on the Warranty Deed)

at: 1433 North Westmoreland Road  
(Address of property as stated on application)

Authorize: \_\_\_\_\_ Rob Baldwin, Baldwin Associates  
(Applicant's name as stated on application)

To pursue an appeal to the City of Dallas Zoning Board of Adjustment for the following request(s)

- \_\_\_\_\_ Variance (specify below)
- X \_\_\_\_\_ Special Exception (specify below)
- \_\_\_\_\_ Other Appeal (specify below)

Specify: Alternate Landscaping Plan

John W. Burruss, MD  
Print name of property owner or registered agent

[Signature]  
Signature of property owner or registered agent

Date March 5, 2024

Before me, the undersigned, on this day personally appeared John W. Burruss

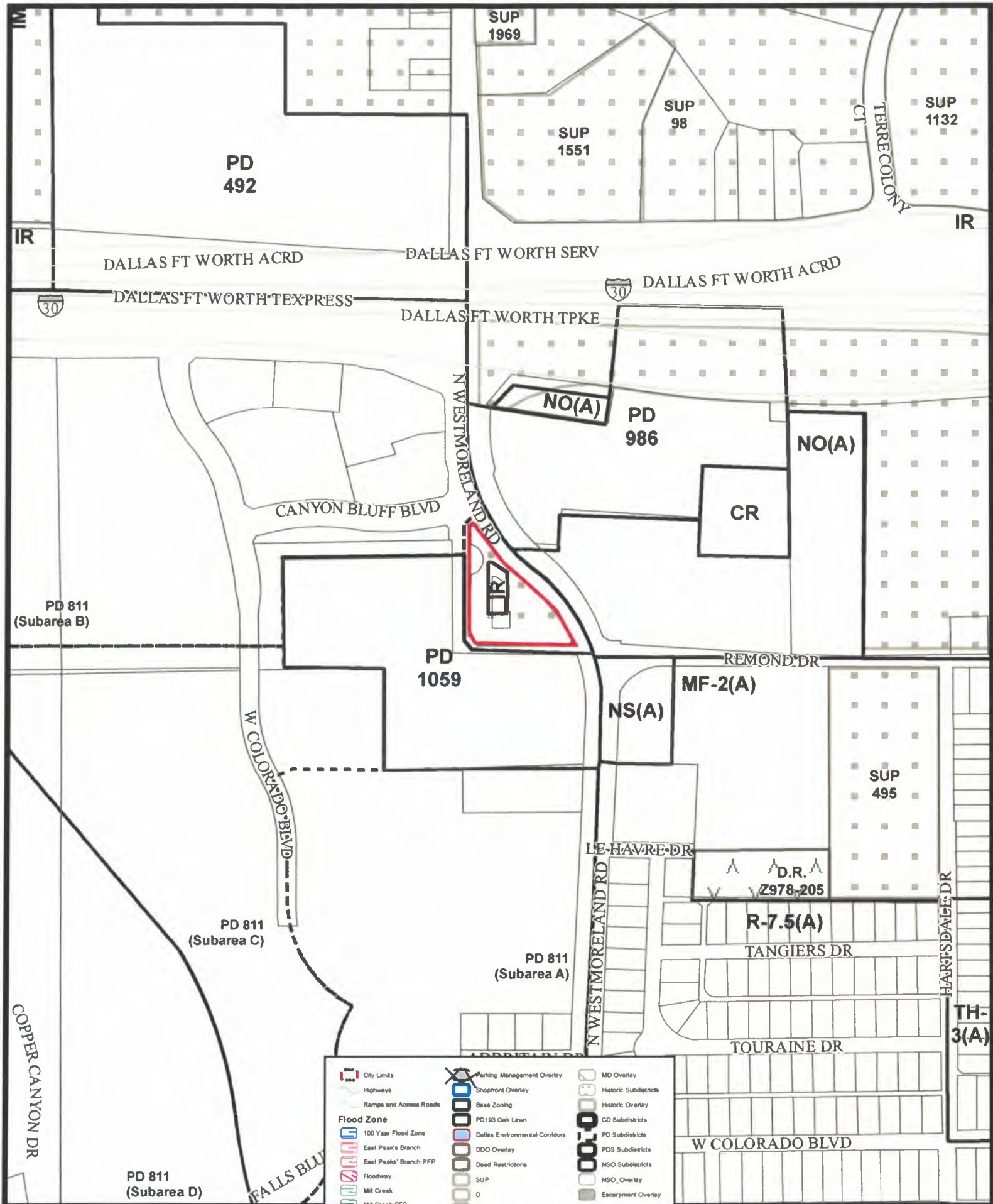
Who on his/her oath certifies that the above statements are true and correct to his/her best knowledge.

Subscribed and sworn to before me this 5 day of March, 2024



[Signature]  
Notary Public for Dallas County, Texas

Commission expires on June 18, 2024



|  |                        |  |                                |  |                       |
|--|------------------------|--|--------------------------------|--|-----------------------|
|  | City Limits            |  | Parking Management Overlay     |  | MO Overlay            |
|  | Highways               |  | Shopfront Overlay              |  | Historic Subdistricts |
|  | Ramps and Access Roads |  | Base Zoning                    |  | Historic Overlay      |
|  | Flood Zone             |  | PD 193 Oak Lawn                |  | CD Subdistricts       |
|  | 100 Year Flood Zone    |  | Dallas Environmental Corridors |  | PD Subdistricts       |
|  | East Peak's Branch     |  | DDO Overlay                    |  | PDS Subdistricts      |
|  | East Peak's Branch PFP |  | Deed Restrictions              |  | NSO Subdistricts      |
|  | Floodway               |  | SUP                            |  | NSO_Overlay           |
|  | Mill Creek             |  | D                              |  | Escarpment Overlay    |
|  | Mill Creek PFP         |  | D-1                            |  |                       |
|  | Peak's Branch          |  | CP                             |  |                       |
|  | Peak's Branch PFP      |  | SP                             |  |                       |
|  | X Protected by Levee   |  |                                |  |                       |
|  | Perils                 |  |                                |  |                       |
|  | Height Map Overlay     |  |                                |  |                       |



1:4,800

Case ID: **80A234-057**  
 Printed: 1/31/2024

# METROCARE HILLSIDE PARKING

DALLAS, TEXAS

| Drawings Issued                   |  |
|-----------------------------------|--|
| CITY LANDSCAPE PLANS - 10/05/2023 |  |
| CITY LANDSCAPE PLANS - 01/12/2024 |  |

### SHEET INDEX

|   |   |   |
|---|---|---|
| L000 - SHEET INDEX                          | ● | ● |
| L001 - TREE REMOVAL AND PROTECTION PLAN     | ● | ● |
| L100 - LANDSCAPE SCHEDULE, NOTES, AND CALCS | ● | ● |
| L101 - LANDSCAPE PLAN                       | ● | ● |



OWNER:  
METROCARE SERVICES  
1330 RIVERBEND DR., SUITE 820  
DALLAS, TX 75247  
KEVIN BOYO  
(214) 743-6179

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CASE NO. D223-009(TB)

**RLG CONSULTING ENGINEERS**  
12001 N. CENTRAL EXPRESSWAY #500 DALLAS, TX 75243  
5601 BRIDGE STREET #420 FORT WORTH, TX 76112  
WWW.RLGINC.COM TBP FIRM REG. F-493

#### BENCHMARKS

CITY OF DALLAS BENCHMARK A3-Y-25 (1372)  
FOUND ON TOP OF A CONCRETE CURB AT THE  
CENTER OF A 15' WIDE SIDEWALK AT THE  
NORTHWEST CORNER OF HARTSDALE DRIVE &  
COPPOCK BOULEVARD - NOT SHOWN  
ELEV. 385.710

BM #1 SQUARE CUI SET ON THE CONCRETE  
BASE OF A LIGHT POLE LOCATED IN THE  
NORTHWEST CORNER AT THE INTERSECTION OF N  
WESTMORELAND ROAD & RENOVO DRIVE - AS  
SHOWN  
ELEV. 377.78

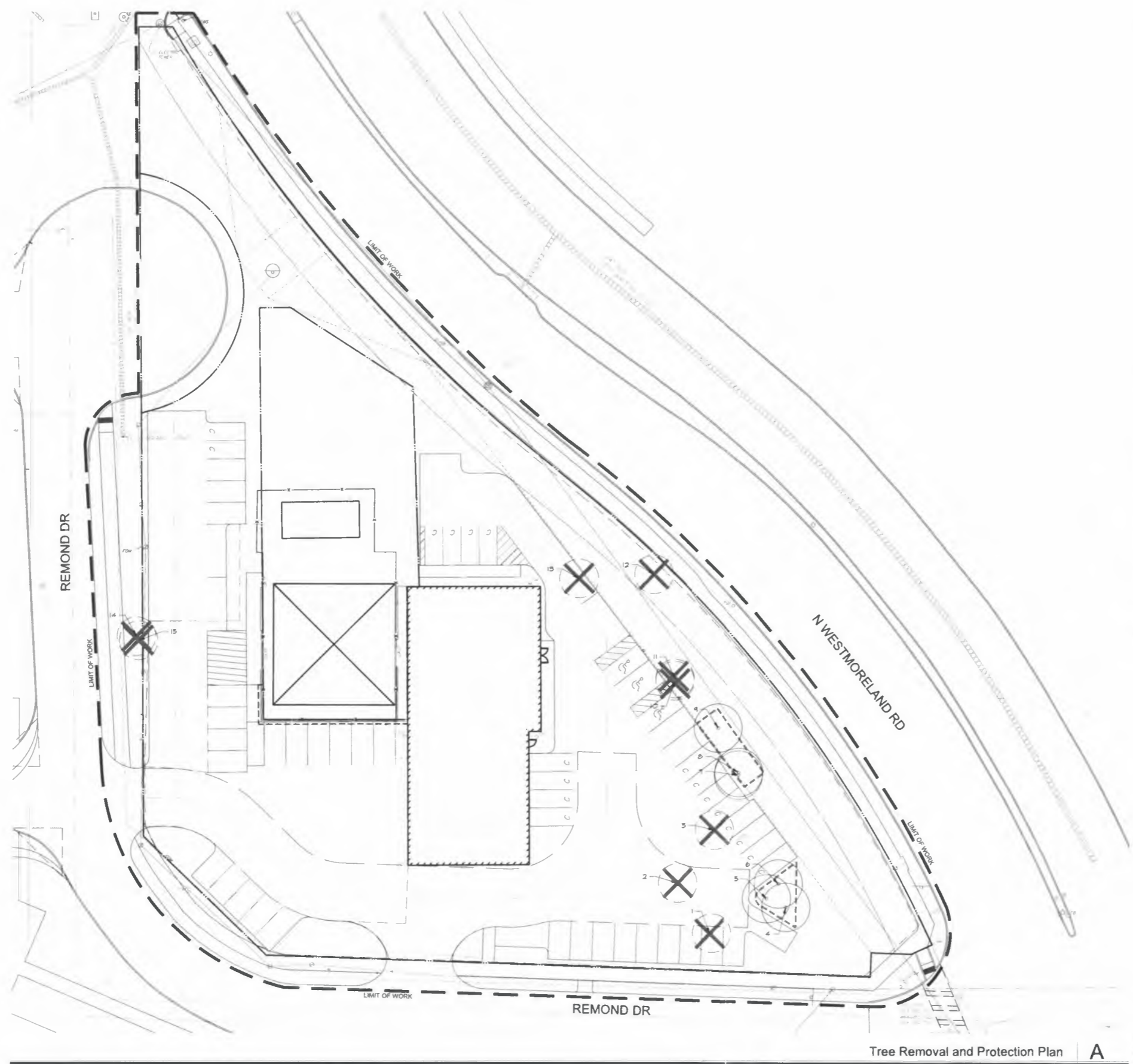
BM#2 SQUARE CUI FOUND ON TOP OF A  
CONCRETE CURB AT THE CENTER OF A 15' WIDE  
SIDEWALK ON THE WEST SIDE OF N  
WESTMORELAND ROAD APPROXIMATELY 31.5'  
SOUTH OF THE INTERSECTION OF N  
WESTMORELAND ROAD & RENOVO DRIVE - AS  
SHOWN  
ELEV. 370.23

#### SHEET INDEX

METROCARE HILLSIDE PARKING LOT  
1433 N. WESTMORELAND ROAD  
LOT 6, BLOCK A/6161  
CITY OF DALLAS, DALLAS COUNTY, TEXAS

| REVIEW | DRAWN | DATE       | CASE | NUMBER  | SHEET       |
|--------|-------|------------|------|---------|-------------|
| JE     | KG    | 01/12/2024 | D223 | 009(TB) | <b>L000</b> |

BDA23A-057

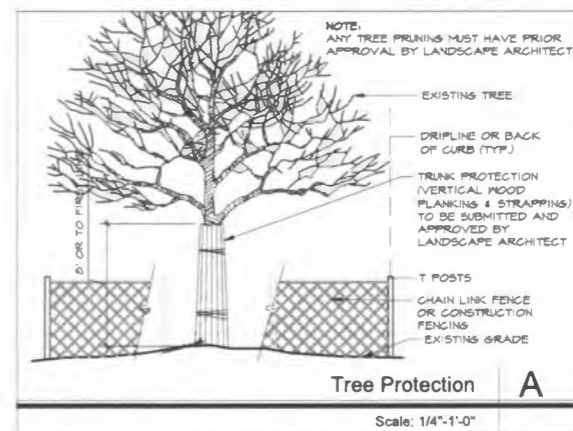


**TREE PROTECTION NOTES:**

- 1 All trees which are to remain on site shall be protected with a (4') tall brightly colored plastic fence or silt fence, placed at the drip line of trees
- 2 Prior to the obtaining a grading permit, all tree markings and protective fencing shall be installed by the owner and shall be inspected by the landscape architect
- 3 No equipment shall be cleaned, or harmful liquids deposited within the limits of the root zone of trees which remain on site
- 4 No signs, wires, or other attachments shall be attached to any tree to remain on site
- 5 Vehicular and construction equipment shall not park or drive within the limits of the drip line
- 6 Grading changes in excess of 3 inches (cut or fill) shall not be allowed within a root zone, unless adequate tree preservation methods are approved by the landscape architect
- 7 No trenching shall be allowed within the drip-line of a tree unless approved by the city
- 8 All removed trees shall be chipped and used for mulch on site or hauled off-site
- 9 All tree maintenance techniques shall be in conformance with American national standards for tree care operations, until a300 industry identified standards. Improper or malicious pruning techniques are strictly prohibited

**LEGEND**

- EXISTING TREE TO BE PRESERVED
- EXISTING TREE PREVIOUSLY REMOVED OR TO BE REMOVED
- TREE PROTECTION FENCING



1/23/2024 11:17 AM - Metrocare Hillside Parking Lot (18-0014-01) (Sheet) (L) (1) - Tree Removal and Protection Plan.dwg, 1/23/2024, 11:17 AM, 1/23/2024



OWNER  
 METROCARE SERVICES  
 1330 RIVERBEND DR., SUITE 820  
 DALLAS, TX 75247  
 KEVIN BOYD  
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 WWW.RLGINC.COM TBPE FIRM REG. F-493

|   |       |            |      |         |             |  |
|---|-------|------------|------|---------|-------------|--|
| <b>TREE REMOVAL AND PROTECTION PLAN</b> |       |            |      |         |             |  |
| <b>METROCARE HILLSIDE PARKING LOT</b>   |       |            |      |         |             |  |
| <b>1433 N. WESTMORELAND ROAD</b>        |       |            |      |         |             |  |
| LOT 6, BLOCK A/6161                     |       |            |      |         |             |  |
| CITY OF DALLAS, DALLAS COUNTY, TEXAS    |       |            |      |         |             |  |
| REVIEW                                  | DRAWN | DATE       | CASE | NUMBER  | SHEET       |  |
| JE                                      | KG    | 01/12/2024 | D223 | 009(TB) | <b>L001</b> |  |

**BENCHMARKS**  
 CITY OF DALLAS BENCHMARK #3 1-55 (1277)  
 FOUND ON TOP OF AN CONCRETE CURB AT THE CENTER OF N. STORM ST. CURB INSET AT THE INTERSECTION OF N. STORM ST. AND N. WESTMORELAND ROAD. APPROXIMATE ELEVATION 540.70.  
 ELEV. 540.70  
 BENCH # SQUARE CUV 571 ON THE CONCRETE BASE OF A LIGHT POLE LOCATED IN THE INTERSECTION OF N. STORM ST. AND N. WESTMORELAND ROAD. APPROXIMATE ELEVATION 537.38.  
 BENCH # SQUARE CUV 571 FOUND ON TOP OF A CONCRETE CURB AT THE CENTER OF N. STORM ST. AND N. WESTMORELAND ROAD. APPROXIMATE ELEVATION 537.38.  
 BENCH # SQUARE CUV 571 FOUND ON TOP OF A CONCRETE CURB AT THE CENTER OF N. STORM ST. AND N. WESTMORELAND ROAD. APPROXIMATE ELEVATION 537.38.

Tree Removal and Protection Plan **A**

Scale: 1" = 20'

*Handwritten:* BDA23A-057

**GENERAL NOTES:**

- Warning!!!!!! Call before you dig!!!!!! Toll free 811
- Written dimensions prevail over scaled dimensions. Notify landscape architect of any discrepancies.
- The contractor bears all responsibility for verifying all underground utilities, pipes, structures, and line runs in the field prior to construction. Any damage to utilities that are to remain shall be repaired immediately at no expense to the owner. Landscape architect assumes no responsibility for any not shown on plans.
- The locations of existing utilities as shown on these plans are approximate. There may be other underground utilities within the project area that are not shown.
- All proposed and finished grades are based on information provided by the owner's survey and/or civil engineer. Any discrepancies in actual field measurements are to be reported to the landscape architect immediately.
- Contractor is responsible for all quantities per drawings and specifications. Any quantities provided by landscape architect are provided for convenience only. Contractors are to bid their own verified quantities. Notify landscape architect of any discrepancies.
- Essentials setbacks, building, curb and gutter, underground utilities have been supplied to landscape architect by the project civil engineer. Refer to civil engineer's drawings for additional information.
- Studio Outside assumes no responsibility for damages, liabilities, or cost resulting from changes or alterations made to the plan without the express written consent of Studio Outside.
- Prior to commencement of hardscape construction, all piers, footings, and walls are to be surveyed, laid out, and staked in field for review by landscape architect. Contractor shall assume responsibility for any demolition, adjustments, or reconstruction resulting from unauthorized construction activities.
- Design-build fountain contractor to provide all design & engineering for pool and fountain to include all MEP and structural design.

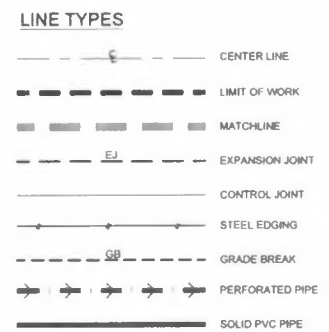
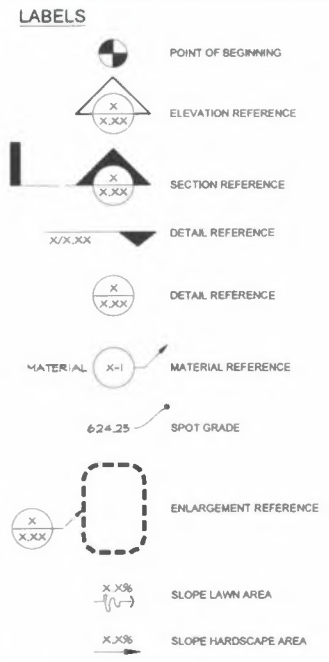
**IRRIGATION NOTES:**

- An automatic irrigation system shall be provided for all planting areas.
- Irrigation systems shall be maintained and replaced as necessary.
- All planting areas to be fully irrigated, over spray on streets and walks is prohibited.
- Irrigation system to have a fully automated control system.
- Any existing planting damaged during construction due to irrigation system "down time" is to be replaced at no cost to the owner.
- If the existing irrigation system is damaged or turned off during construction activities, it will be the responsibility of the contractor to hand water all plant material as needed.

**PLANTING NOTES:**

- Landscape contractor shall be responsible for verifying the location of all underground utilities, pipes, structures, and line runs in the field prior to the installation of any plant material.
- It is the responsibility of the contractor to advise the landscape architect of any condition found on the site which prohibits installation as shown on these drawings.
- All plant material shall be maintained in a healthy and growing condition and must be replaced with plant material of same variety and size if damaged, destroyed, or removed.
- All plants shall be grown and harvested in accordance with The American Standard for Nursery Stock (ANSI Z60.1-2004).
- Tree planting shall comply with details herein and the International Society of Arboriculture (ISA) standards.
- Tree pits shall be tested for water percolation. If water does not drain out of tree pit within 24-hours, the tree shall be moved or drainage shall be provided.
- Tree staking materials, if used, shall be removed after (1) growing season and not more than (1) year after installation. Steel tree stakes, wires, and hoses are prohibited.
- Landscape contractor shall be responsible for fine grading and removal of debris prior to planting in all areas.
- Final finish grading shall be reviewed by the landscape architect. Landscape contractor shall be responsible for any additional topsoil required to create a smooth condition prior to planting.
- All plant quantities listed are for information only. It is the contractor's responsibility to provide full coverage in all planting areas as specified in the plant schedule and verify all quantities.
- Landscape contractor to provide steel edging between all planting beds and lawn areas.
- All plant material shall conform to the specifications and sizes given in the plant list and shall be nursery grown in accordance with the American standard for nursery stock. Latest edition American association of nurserymen standards. Any plant substitution shall be approved by landscape architect prior to purchase.
- Landscape contractor is responsible for any coordination with other contractors on site as required to accomplish all planting operations.
- All new planting areas to be amended per specifications.
- Any plant material that does not survive shall be replaced with an equivalent size and species within thirty (30) days.
- Plant material shall be pruned as necessary to control size but not to disrupt the natural growth pattern or characteristic form of the plant except as necessary to achieve height clearance for visibility and pedestrian passage or to achieve a continuous opaque hedge if required.
- Landscape areas shall be kept free of trash, weeds, debris, and dead plant material.
- Native site topsoil is to be protected from erosion or stockpiled.
- Native site topsoil shall be laboratory tested by accredited laboratory and amended per said laboratory's recommendations.
- All lime stabilized soil & inorganic fill for building should be removed from planting areas and replaced with organic imported topsoil fill at the following depths:
  - 12" @ turf grass areas
  - 24" @ shrub & groundcover areas
  - depth of rootball & 2x rootball width @ trees

**SYMBOLS LEGEND:**



- ABBREVIATIONS**
- AD = AREA DRAIN
  - BS = BOTTOM STEP
  - BR = BOTTOM OF RAMP
  - BW = BOTTOM OF WALL
  - CB = CATCH BASIN
  - CJ = CONTROL JOINT
  - CL = CENTER LINE
  - EJ = EXPANSION JOINT
  - GB = GRADE BREAK
  - HP = HIGH POINT
  - LP = LOW POINT
  - LOW = LIMIT OF WORK
  - PA = PLANTING AREA
  - PD = AREA DRAIN (PLANTING)
  - POB = POINT OF BEGINNING
  - TC = TOP OF CURB
  - TF = TOP OF FOOTING
  - TR = TOP OF RAMP
  - TS = TOP STEP
  - TW = TOP OF WALL
  - WS = WATER SURFACE ELEVATION

**PLANT SCHEDULE**

| TREES         | CODE | BOTANICAL / COMMON NAME                        | MIN SIZE | MIN HT | REMARKS                                   |
|---------------|------|--|----------|--------|---|
|               | EX   | EXISTING TREE                                  | N/A      | N/A    | TO REMAIN AND PROTECT IN PLACE            |
|               | UC   | JLMS CRASSIFOLIA CEDAR ELM                     | 4" CAL   | 15'    | STANDARD TRUNK MATCHED FULL WELL BRANCHED |
| SHRUBS        | CODE | BOTANICAL / COMMON NAME                        | MIN SIZE | MIN HT | REMARKS                                   |
|               | ID   | ILEX CORNUTA DWARF BURFORD DWARF BURFORD HOLLY | 5 GAL    | 36"    | NURSERY GROWN, MATCHED AND WELL ROOTED    |
|               | LC   | LEUCOPHYLLUM CANDIDUM TEXAS SAGE               | 5 GAL    | 36"    | NURSERY GROWN MATCHED AND WELL ROOTED     |
| GROUND COVERS | CODE | BOTANICAL / COMMON NAME                        | MIN SIZE | MIN HT | REMARKS                                   |
|               | GD   | CYNODON DACTYLON BERMUDAGRASS                  | SOD      | N/A    |   |

**Chart A**

| Tree Number   | Common Name | Caliper Inch | Status      | Action   | Caliper to Replace      | Retained Caliper Credit | Retained Site Tree Credit |
|---------------|-------------|--------------|-------------|----------|-------------------------|-------------------------|---------------------------|
| 1             | Winged Elm  | 15           | Protected   | Remove   | 15                      | N/A                     | N/A                       |
| 2             | Winged Elm  | 11           | Protected   | Removed  | 11                      | N/A                     | N/A                       |
| 3             | Hackberry   | 18           | Unprotected | Removed  | N/A                     | N/A                     | N/A                       |
| 4             | Winged Elm  | 12           | Protected   | Preserve | N/A                     | 6                       | 3                         |
| 5             | Winged Elm  | 14           | Protected   | Preserve | N/A                     | 7                       | 3                         |
| 6             | Winged Elm  | 12           | Protected   | Preserve | N/A                     | 6                       | 3                         |
| 7             | Winged Elm  | 10           | Protected   | Preserve | N/A                     | 5                       | 2                         |
| 8             | Winged Elm  | 10           | Protected   | Preserve | N/A                     | 5                       | 2                         |
| 9             | Winged Elm  | 12           | Protected   | Preserve | N/A                     | 6                       | 3                         |
| 10            | Winged Elm  | 6            | Unprotected | Removed  | N/A                     | N/A                     | N/A                       |
| 11            | Winged Elm  | 10           | Protected   | Removed  | 10                      | N/A                     | N/A                       |
| 12            | Winged Elm  | 14           | Protected   | Removed  | 14                      | N/A                     | N/A                       |
| 13            | Winged Elm  | 14           | Protected   | Remove   | 14                      | N/A                     | N/A                       |
| 14            | Winged Elm  | 12           | Protected   | Removed  | N/A (utility conflicts) | N/A                     | N/A                       |
| 15            | Winged Elm  | 10           | Protected   | Removed  | N/A (utility conflicts) | N/A                     | N/A                       |
| <b>Total:</b> |             |              |             |          | <b>64</b>               | <b>35</b>               | <b>16</b>                 |

**REPLACEMENT CALCULATIONS**

|  |           |
|--|-----------|
| Total Caliper to Replace (see chart A) | 64        |
| Retained Caliper Credit                | 35        |
| Proposed Caliper Addition              | *Variance |
| Total Retained & Proposed Caliper      | *Variance |
| Caliper Surplus                        |           |

**FRONT YARD CALCULATIONS**

|  |            |
|--|------------|
| Required Front Yard (min. 15' offset from Property Line)         | 3169 sq ft |
| 45% of Front Yard (for a max of 15 points)                       | 1426 sq ft |
| Required credit of adequate planting every 100 sq ft (per PD811) | 14         |

**TREE PLANTING ZONE CALCULATIONS**

|  |        |
|--|--------|
| Frontage:  | 492 ft |
| Trees Required per Tree Planting Zone (frontage divided by 30) | 16     |

**SITE TREE CREDIT USE CALCULATIONS**

|   |           |
|---|-----------|
| Total Retained Site Tree Credit (see Chart A) | 16        |
| Credits From Added Planting                   | *Variance |
| Total   | *Variance |

Open Space Required: (Refer to PD 811, exhibit 81G)

|  |      |
|--|------|
|  | NONE |
|--|------|

**Proposed Trees**

| Quantity      | Caliper Inches Added |
|---------------|----------------------|
| Cedar Elm 2   | 8                    |
| <b>Total:</b> | <b>8</b>             |

**LANDSCAPE POINT CALCULATIONS**

| Requirement   | Fulfillment  | Points Earned |
|---|--|---------------|
| Front Yard Landscape Areas: one point awarded for each three percent of the total front yard area provided as landscape (max 15 points) | *Variance  | *Variance     |
| Parking Concealment: surface parking screened from a street (3 points)  | Appropriate plant material located around perimeter of parking | 3             |
| Enhanced Pavement Material: at least 50% of outdoor pedestrian pavement area is enhanced pavement                                       | 100% of pedestrian pavement in lot is enhanced (per civil)     | 3             |
| <b>Total:</b>   |  | <b>6</b>      |

**\*Variance Request Statement:**

There is a variable width Dallas Power & Light Company easement (Vol. 70039, Pg. 1512) dedicated on site Lot 1, Block 6160 at 1433 N. Westmoreland, which runs along the frontage of N. Westmoreland. ONCOR transmission main poles and lines are located within this easement and along the frontage. Following conversations with John Bowers with ONCOR's Transmission group, no trees are allowed within this easement and a variance must be provided to the City of Dallas as landscaping requirements cannot be met. Only sidewalk and shrubs that don't exceed 6-feet in height are allowed. Crepe Myrtles and Red Tip Photinia are not allowed.



DOWNER  
METROCARE SERVICES  
1330 RIVERSIDE DR. SUITE B20  
DALLAS, TX 75247  
KEVIN BOYD  
(214) 743-5179

**RLG CONSULTING ENGINEERS**  
12001 N. CENTRAL EXPRESSWAY #300 DALLAS, TX 75243  
3601 BRIDOE STREET #420 FORT WORTH, TX 76112  
WWW.RLGC.COM TYPE FIRM REG. F-493

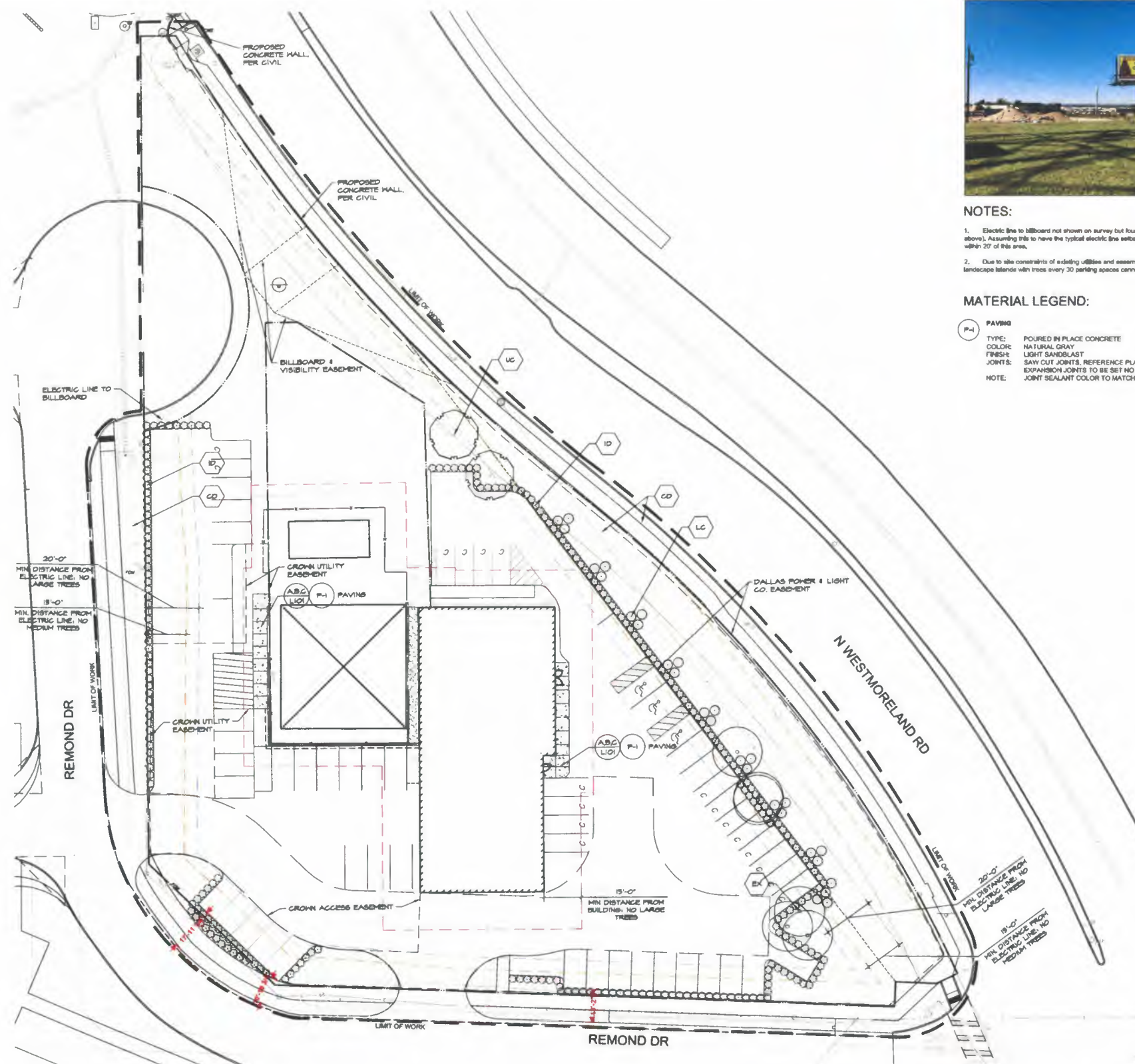
**LANDSCAPE SCHEDULE, NOTES, & CALCS**

**METROCARE HILLSIDE PARKING LOT**  
1433 N. WESTMORELAND ROAD  
LOT 6, BLOCK A/6161  
CITY OF DALLAS, DALLAS COUNTY, TEXAS

| REVIEW | DRAWN | DATE       | CASE | NUMBER  | SHEET       |
|--------|-------|------------|------|---------|-------------|
| JE     | KG    | 01/12/2024 | D223 | 009(TB) | <b>L100</b> |

**BENCHMARKS:**  
CITY OF DALLAS BENCHMARK 43-1-33 (1111)  
FOUNDED ON TOP OF A CONCRETE CURB AT THE CENTER OF A STORM SEWER DRAIN HOLE AT THE INTERSECTION OF WESTMORELAND DRIVE & COLLEGE BULEVARD. NOT SHOWN (ELEV. 515.712)  
BM #1 SQUARE CUT SET ON THE CONCRETE BASE OF A LOW PILE LOCATED IN THE NEQUENTIAL MEDIAN AT THE INTERSECTION OF WESTMORELAND ROAD & RIVINGTON DRIVE. NOT SHOWN (ELEV. 517.38)  
BM#2 SQUARE CUT SET ON TOP OF A CONCRETE CURB AT THE CENTER OF A STORM SEWER DRAIN HOLE ON THE WEST SIDE OF WESTMORELAND ROAD APPROXIMATELY 375' SOUTH OF THE INTERSECTION OF WESTMORELAND ROAD & RIVINGTON DRIVE. NOT SHOWN (ELEV. 510.43)

**BDA234-057**

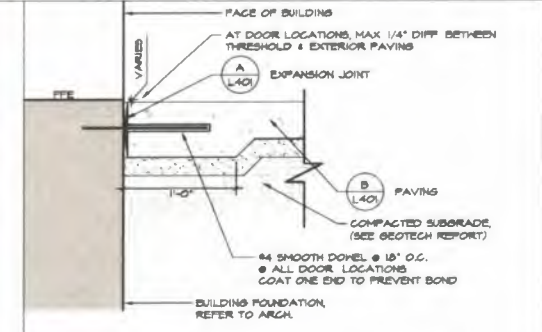


**NOTES:**

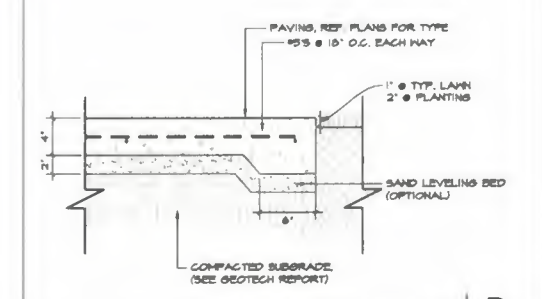
- Electric line to billboard not shown on survey but found during site visit (see photo above). Assuming this to have the typical electric line setbacks, no trees can be planted within 20' of this area.
- Due to site constraints of existing utilities and easements, the requirement for landscape islands with trees every 30 parking spaces cannot be fully met.

**MATERIAL LEGEND:**

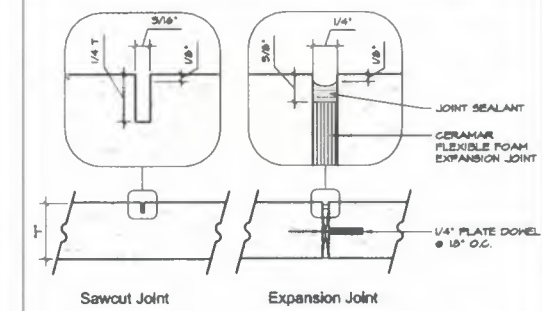
(P-1) PAVING  
 TYPE: POURED IN PLACE CONCRETE  
 COLOR: NATURAL GRAY  
 FINISH: LIGHT SANDBLAST  
 JOINTS: SAW CUT JOINTS, REFERENCE PLANS FOR PATTERN.  
 EXPANSION JOINTS TO BE SET NO MORE THAN 30' APART.  
 JOINT SEALANT COLOR TO MATCH CONCRETE



**Concrete Paving @ Building** C  
 Scale: 1-1/2" = 1'-0"



**Concrete Paving (Pedestrian)** B  
 Scale: 1 1/2" = 1'-0"



**Concrete Paving Joints (Typ.)** A  
 N.T.S.



OWNER:  
 METROCARE SERVICES  
 1330 REMOND DR., SUITE 620  
 DALLAS, TX 75247  
 KENN BOYD  
 (714) 743-6179

**RLG CONSULTING ENGINEERS**  
 12001 IL CENTRAL EXPRESSWAY #200 DALLAS, TX 75243  
 2601 BRIDGE STREET #430 FORT WORTH, TX 76112  
 WWW.RLGCC.COM TEL: 817-339-8888 FAX: 817-339-8883

**LANDSCAPE PLAN**  
**METROCARE HILLSIDE PARKING LOT**  
 1433 N. WESTMORELAND ROAD  
 LOT 6, BLOCK A/6161  
 CITY OF DALLAS, DALLAS COUNTY, TEXAS

| REVIEW | DRAWN | DATE       | CASE | NUMBER  | SHEET |
|--------|-------|------------|------|---------|-------|
| JE     | KG    | 02/02/2024 | D223 | 009(TB) | L101  |

**BENCHMARKS:**  
 CITY OF DALLAS BENCHMARK 44-1102 (1977)  
 CORNER OF TOP OF A CONCRETE CURB (1) THE  
 CORNER OF A STONE BRIDGE (1) AT THE  
 SOUTHWEST CORNER OF PARTIAL BUREAU &  
 COLLEGE BLDG. - 107.500  
 SLEV. 586.70  
 SEE #1 SQUARE CUT SET ON THE CONCRETE  
 BASE OF A LIGHT POLE LOCATED ON THE  
 SOUTHWEST CORNER OF THE INTERSECTION OF N.  
 WESTMORELAND ROAD & REMOND DRIVE - 107.500  
 SLEV. 577.20  
 SEE #2 SQUARE CUT FOUND ON TOP OF A  
 CONCRETE CURB AT THE CORNER OF A STONE  
 BRIDGE (1) ON THE WEST SIDE OF N.  
 WESTMORELAND ROAD APPROXIMATELY 107.500  
 SOUTH OF THE INTERSECTION OF N.  
 WESTMORELAND ROAD & REMOND DRIVE - 107.500  
 SLEV. 586.33

**Landscape Plan** A  
 Scale: 1" = 20'

BOA234-057