



Development Services

"TOGETHER WE ARE BUILDING A SAFE AND UNITED DALLAS"

APPLICATION/APEAL TO THE BOARD OF ADJUSTMENT

Case No.: BDA

234 RECEIVED
FOR OFFICE APR 19 REC'D
R-10 BY:

Data Relative to Subject Property: _____ Date: _____

Location address: 4337 Park Lane _____ Zoning District: R-10 BY: _____

Lot No.: 1 _____ Block No.: D/5547 _____ Acreage: 0.68 _____ Census Tract: 48113020600 _____

Street Frontage (in Feet): 1) 132.50 2) 221.50 3) _____ 4) _____ 5) _____

To the Honorable Board of Adjustment:

Owner of Property (per Warranty Deed): Michael Thomas Scimo & Marsha Dittman Scimo, Trustees of the Scimo Living Trust

Applicant: Rob Baldwin, Baldwin Associates _____ Telephone: 214-824-7949 _____

Mailing Address: 3904 Elm Street, Suite B - Dallas, Texas _____ Zip Code: 75226 _____

E-mail Address: rob@baldwinplanning.com _____

Represented by: Rob Baldwin, Baldwin Associates _____ Telephone: 214-824-7949 _____

Mailing Address: 3904 Elm Street, Suite B - Dallas, Texas _____ Zip Code: 75226 _____

E-mail Address: rob@baldwinplanning.com _____

Affirm that an appeal has been made for a Variance _____, or Special Exception X, of Special exception of 3' to the fence regulations to allow a 7' fence and gate to be in the required front yard setback on Park Lane and Crestline. Special exception to allow encroachment into the 15' visibility triangle. less than 50% open MS

Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to Grant the described appeal for the following reason:
The proposed fence and gate are in keeping with the neighborhood and will not negatively impact surrounding properties.

Note to Applicant: If the appeal requested in this application is granted by the Board of Adjustment, a permit must be applied for within 180 days of the date of the final action of the Board, unless the Board specifically grants a longer period.

Affidavit

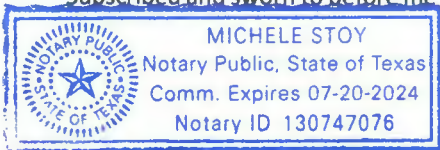
Before me the undersigned on this day personally appeared Rob Baldwin _____

(Affiant/Applicant's name printed)

who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner/or principal/or authorized representative of the subject property

Respectfully submitted: _____
(Affiant/Applicant's signature)

Subscribed and sworn to before me this 27 day of March, 2024



Michele Stoy
Notary Public in and for Dallas County, Texas

BDA234-072

Board of Adjustment Prescreen Checklist

Take

Reviewer: *Vom C.* Date: *4/3/24*

Referred By: _____

Applicant: *Michele Stoy* Ph #: _____ email: _____

Property Address: *4337 Park Ln.*

Zoning: *R-10* Lot: *1* Block: *D/554* Acres: *.68*

Conservation/Historic District: _____

Land Use: _____ Is use allowed? Yes No

County Plat? Yes No Legal Build Site: _____

Street frontage: 1.) *135'* 2.) *225'* 3.) _____ 4.) _____

Corner lot: *@ Crestline* Double frontage: _____

Utilities/Easements/Dedications/Thoroughfare: _____

Permit: *NSFD # 2207121074*

	<u>Required</u>	<u>Proposed</u>		<u>Required</u>	<u>Proposed</u>
Front yard setback:	<u><i>30'</i></u> MIN.	_____	Lot coverage:	_____ MIN.	_____
Side yard setback:	<u><i>6'</i></u> MIN.	_____	Height:	_____ MIN.	_____
Rear yard setback:	<u><i>6'</i></u> MIN.	_____	Lot size:	_____ MIN.	_____
Parking:	_____ MIN.	_____			

Accessory/Additional dwelling

	<u>Required</u>	<u>Proposed</u>		<u>Required</u>	<u>Proposed</u>
Side yard setback:	_____ MIN.	_____	Sq ft.:	_____ MIN.	_____
Rear yard setback:	_____ MIN.	_____	Height:	_____ MIN.	_____

Notes:

(2) SE of 3' to fence height + ~~visibility~~ ^{opacity} Δ-45° - Fence @ 7' high



Posting of Notification Sign

Address: 4337 Park Lane

Appeal Number: BDA 234-072

All required notification signs must be posted on the property within fourteen (14) days after an application has been made, prior to the Board of Adjustment Hearing, and not be removed until the hearing ends.

The sign must be posted at a prominent location adjacent to the public street, evenly spaced along each frontage, and easily visible from the street. Failure to properly post the sign(s) may result in either a postponement or denial of the appeal.

All required notification signs have been received. One sign is required for each 500 feet or less of frontage, or every tract of five (5) acres or less, with a maximum of five (5) signs required. The cost of each sign is \$10.00.

Footage of each street frontage: 132.50 - 221.50

Number of acres: 0.7

Number of signs received: 2

Michelle Storz
Signature of applicant or person receiving signs

March 11, 2024
Date



Appeal number: BDA 234-072

I, Michael Thomas Scimo, Trustee, Owner of the subject property
(Owner or "Grantee" of property as it appears on the Warranty Deed)

at: 4337 Park Lane
(Address of property as stated on application)

Authorize: Rob Baldwin, Baldwin Associates
(Applicant's name as stated on application)

To pursue an appeal to the City of Dallas Zoning Board of Adjustment for the following request(s)

- Variance (specify below)
- Special Exception (specify below)
- Other Appeal (specify below)

Specify: Variance to the fence height regulations and allow less than 50% open

MICHAEL T. SCIMO
Print name of property owner or registered agent

[Signature] Trustee
Signature of property owner or registered agent

Date March 26, 2024

Before me, the undersigned, on this day personally appeared MICHAEL T. SCIMO

Who on his/her oath certifies that the above statements are true and correct to his/her best knowledge.

Subscribed and sworn to before me this 26 day of March, 2024

[Signature]
Notary Public for Dallas County, Texas



Commission expires on Dec 22, 2025



Appeal number: BDA 234-072

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(Owner or "Grantee" of property as it appears on the Warranty Deed)

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Authorize: Rob Baldwin, Baldwin Associates
(Applicant's name as stated on application)

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Print name of property owner or registered agent

[Signature]
Signature of property owner or registered agent

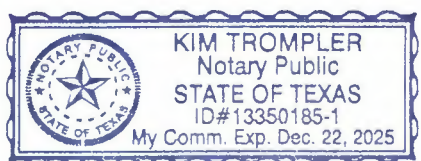
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Subscribed and sworn to before me this 26 day of March, 2024

[Signature]
Notary Public for Dallas County, Texas



Commission expires on Dec 22, 2025



Appeal number: BDA 234-072

I, Marsha Dittman Scimo, Trustee, Owner of the subject property
(Owner or "Grantee" of property as it appears on the Warranty Deed)

at: 4337 Park Lane
(Address of property as stated on application)

Authorize: Rob Baldwin, Baldwin Associates
(Applicant's name as stated on application)

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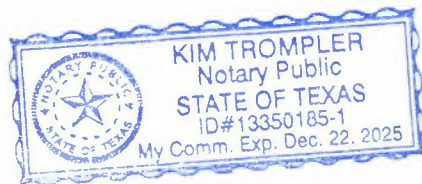
Marsha Dittman Scimo
Print name of property owner or registered agent
Date March 26, 2024

Marsha Dittman Scimo Trustee
Signature of property owner or registered agent

Before me, the undersigned, on this day personally appeared Marsha Dittman Scimo

Who on his/her oath certifies that the above statements are true and correct to his/her best knowledge.

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Kim Trompler
Notary Public for Dallas County, Texas

Commission expires on Dec. 22, 2025



Appeal number: BDA 234-072

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Marsha Dittman Scimo
Print name of property owner or registered agent

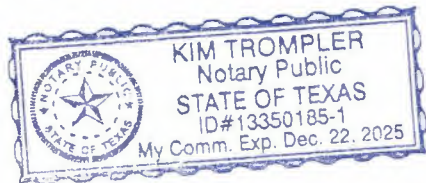
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Signature of property owner or registered agent

Date March 26, 2024

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90087 3290 90087 3291 90087 3292 90087 3293

STATE OF TEXAS
COUNTY OF DALLAS
I, Paul A. Hittage, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon are property placed under my personal supervision and that the following dimensions and bearings are true and correct as shown on the plat hereon attached to be recorded in the public records of the County of Dallas, Texas, to wit: Each yellow plastic strip stamped A.P.S. 2197.

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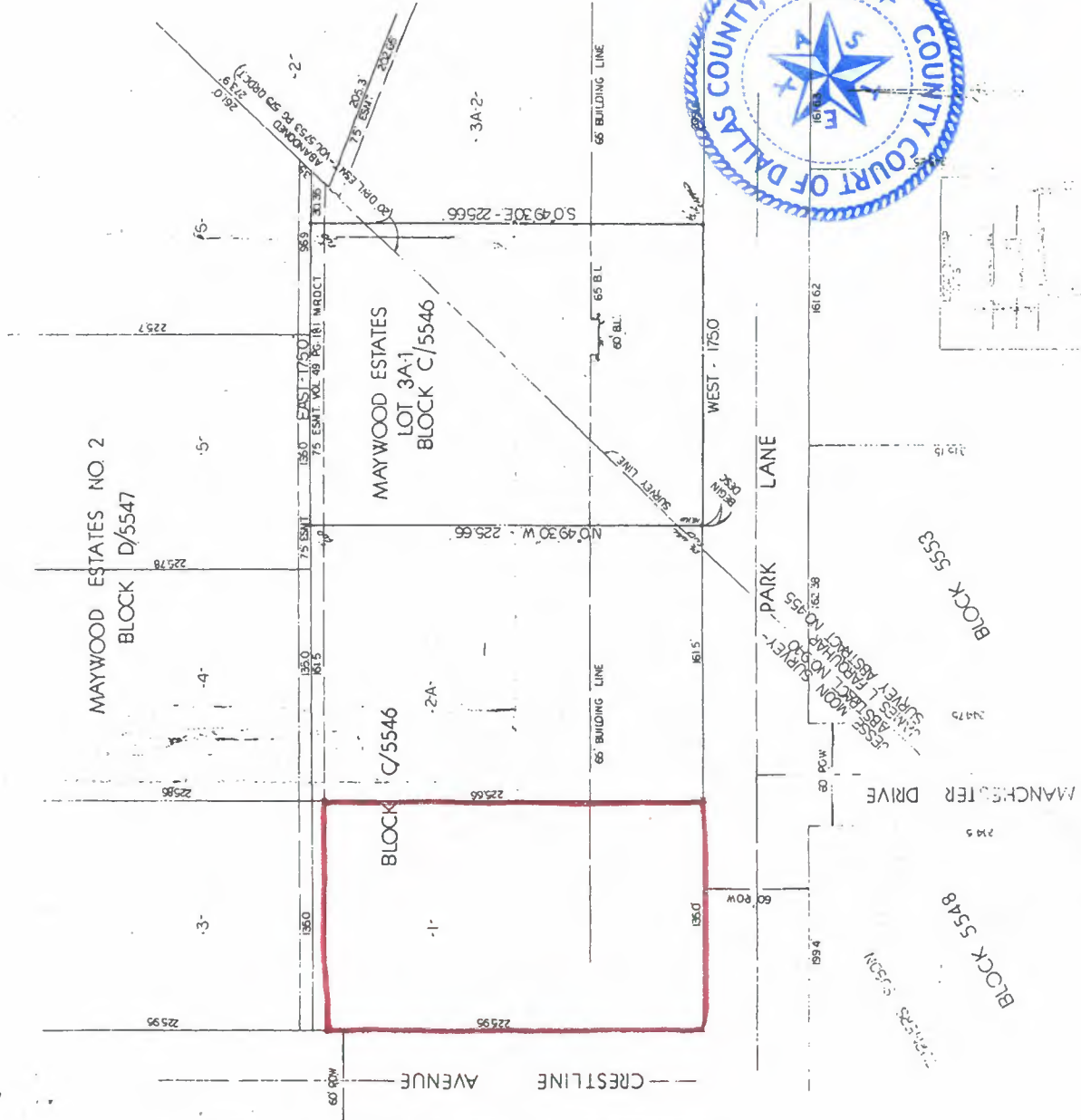
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REPLAT OF LOT 3A.1 BLOCK C/5546
OF A SUBDIVISION OF LOT 3A
BLOCK C/5546 OF
MAYWOOD ESTATES
OUT OF THE
JAMES L. FARRAR SURVEY-ABSTRACT NO. 455 &
JESSE MOON SURVEY-ABSTRACT NO. 300
TO THE CITY OF DALLAS, DALLAS COUNTY, TEXAS

PAUL A. HITTAGE
SURVEYOR
11000 W. L. HAYES RD.
DALLAS, TEXAS 75244
(214) 350-3543

EDA234-0F2

SUP
1154

WILLIAMSBURG RD

WILLOW GROVE RD

VALLEY RIDGE RD

BEECHWOOD LN

PARK LN

R-10(A)

LIVELY LN

DUNHAVEN RD

WOODFIN DR

CLOVER LN

LOMITA LN

EDITH LN

CRESTLINE AVE

MIDWAY RD

MANCHESTER DR

R-1ac(A)

ROCKBROOK DR

MEADOWOOD RD

ROCKBROOK DR

MIRON DR

	City Limits		Parking Management Overlay		MO Overlay
	Highways		Shopfront Overlay		Historic Subdistricts
	Ramps and Access Roads		Base Zoning		Historic Overlay
Flood Zone					CD Subdistricts
	100 Year Flood Zone		Dallas Environmental Corridors		PD Subdistricts
	East Peak's Branch		DDO Overlay		PDS Subdistricts
	East Peak's Branch PFP		Dead Restrictions		NSO Subdistricts
	Floodway		SUP		NSO_Overlay
	Mill Creek		D		Escarpment Overlay
	Mill Creek PFP		D-1		
	Peak's Branch		CP		
	Peak's Branch PFP		SP		
	X Protected by Levee				
	Parks				
	Height Map Overlay				

↑ 1:4,800

Case ID: BOA 23A-072
Printed: 2/27/2024

ANNEXED MAY 23, 1945 ORD. NO. 3629
SURVEY JESSE MOON ABST. 940

CITY OF DALLAS PLAT BOOKS
ADDITION MAYWOOD ESTATES NO. 2
SCALE 100 FT. EQUALS 1 INCH

D-E 5547
BLOCKS
SCHOOL DISTRICT DALLAS

BRS 3-11-98

RECORDED 12-5-45
FILED 4-12-98 BLK. E/5547 LOTS 1A,2A GOLDMAN-DO

F. A. WINN SURVEY

GLENRIDGE
ESTATES NO.2

B
6147

MIDWAY
ROAD

PARK

BEECHWOOD

5542

MEADOWWOOD ESTATES NO.3

0.7489 AC.

15' EASEMENT FOR UTILITIES

5547

CRESTLINE (HUNTINGTON RD.) AVE.
LANE

MEADOWWOOD ESTATES NO 1&2

LANE

5546

LANE

5547

2-A REVISION

15' EASEMENT FOR UTILITIES

5546

MAYWOOD

JESSE MOON SURVEY
JAMES L. FAROUHAR SURVEY

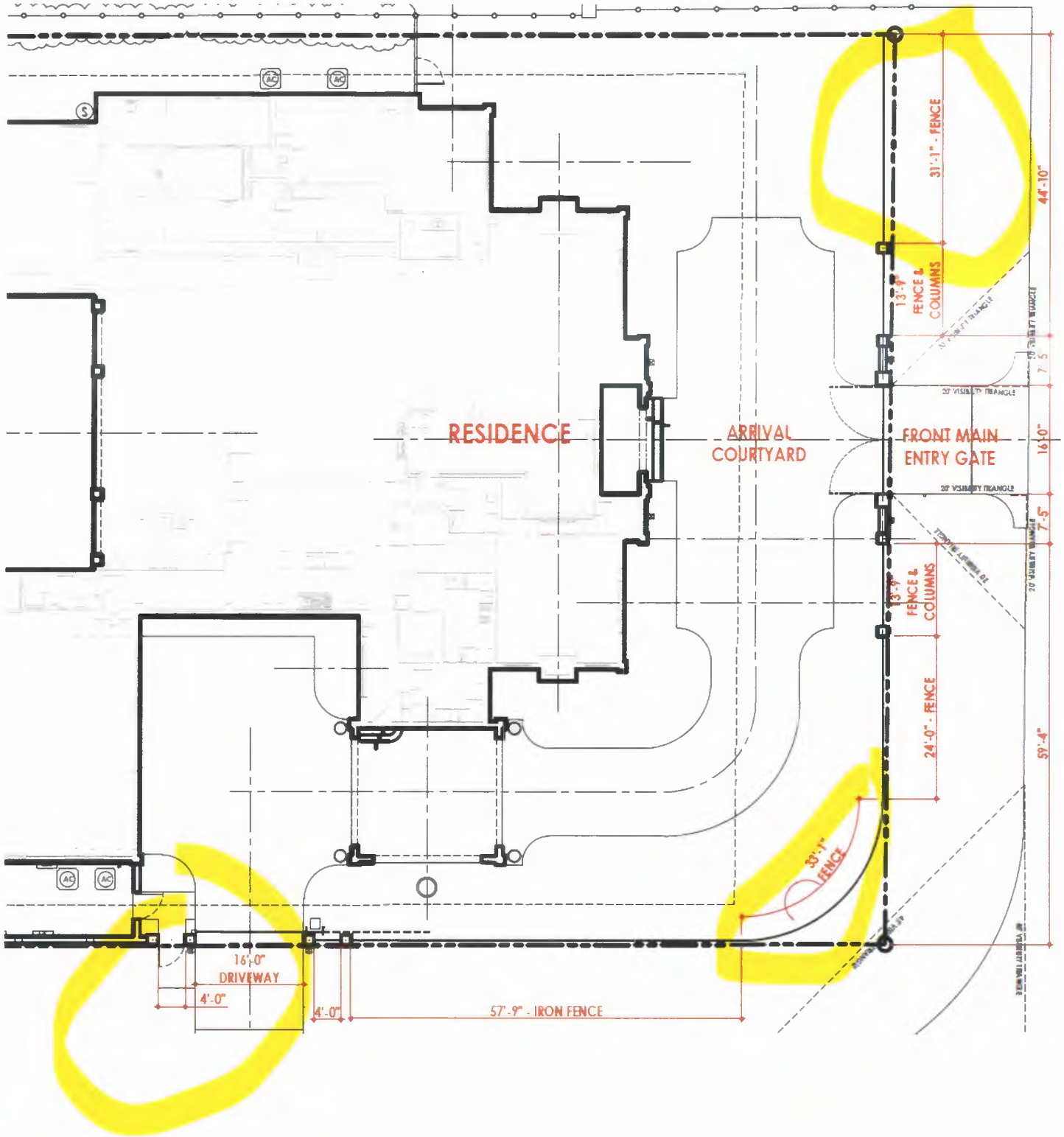
5553

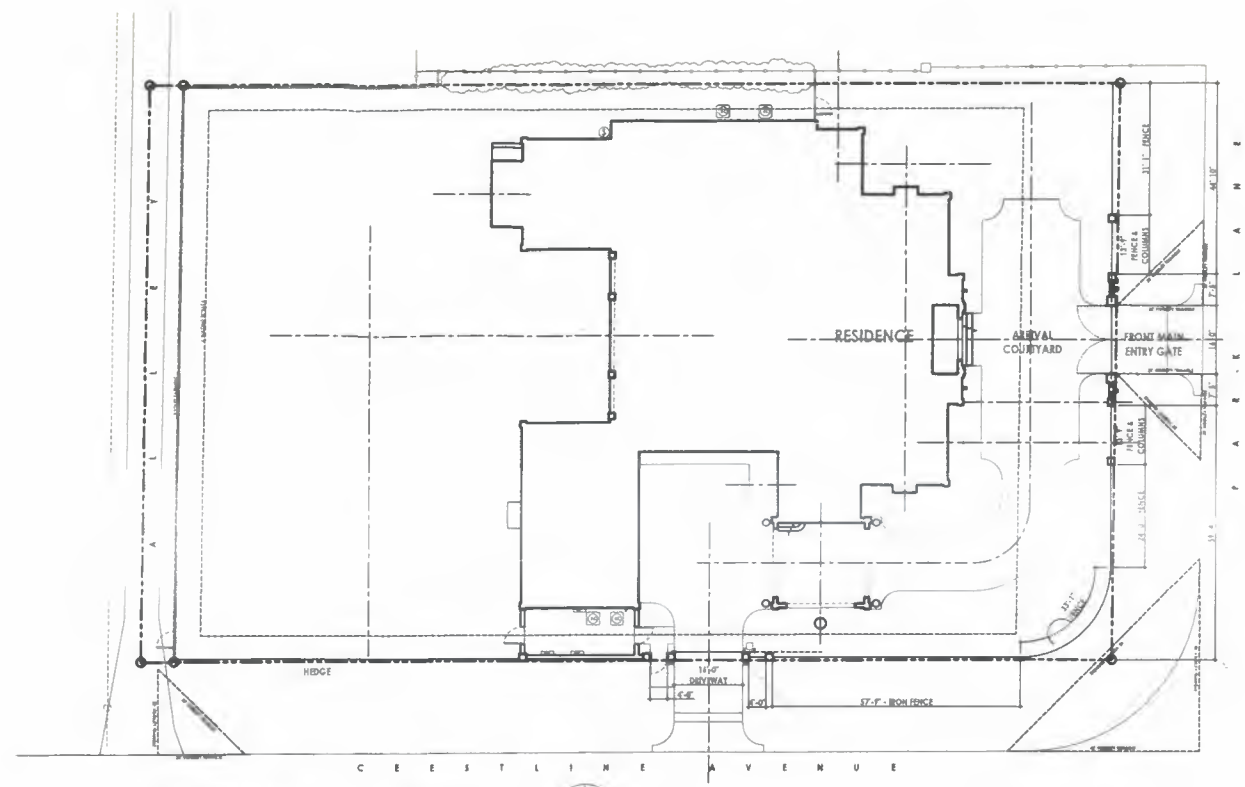
ROCKBROOK
DRIVE

B
5546

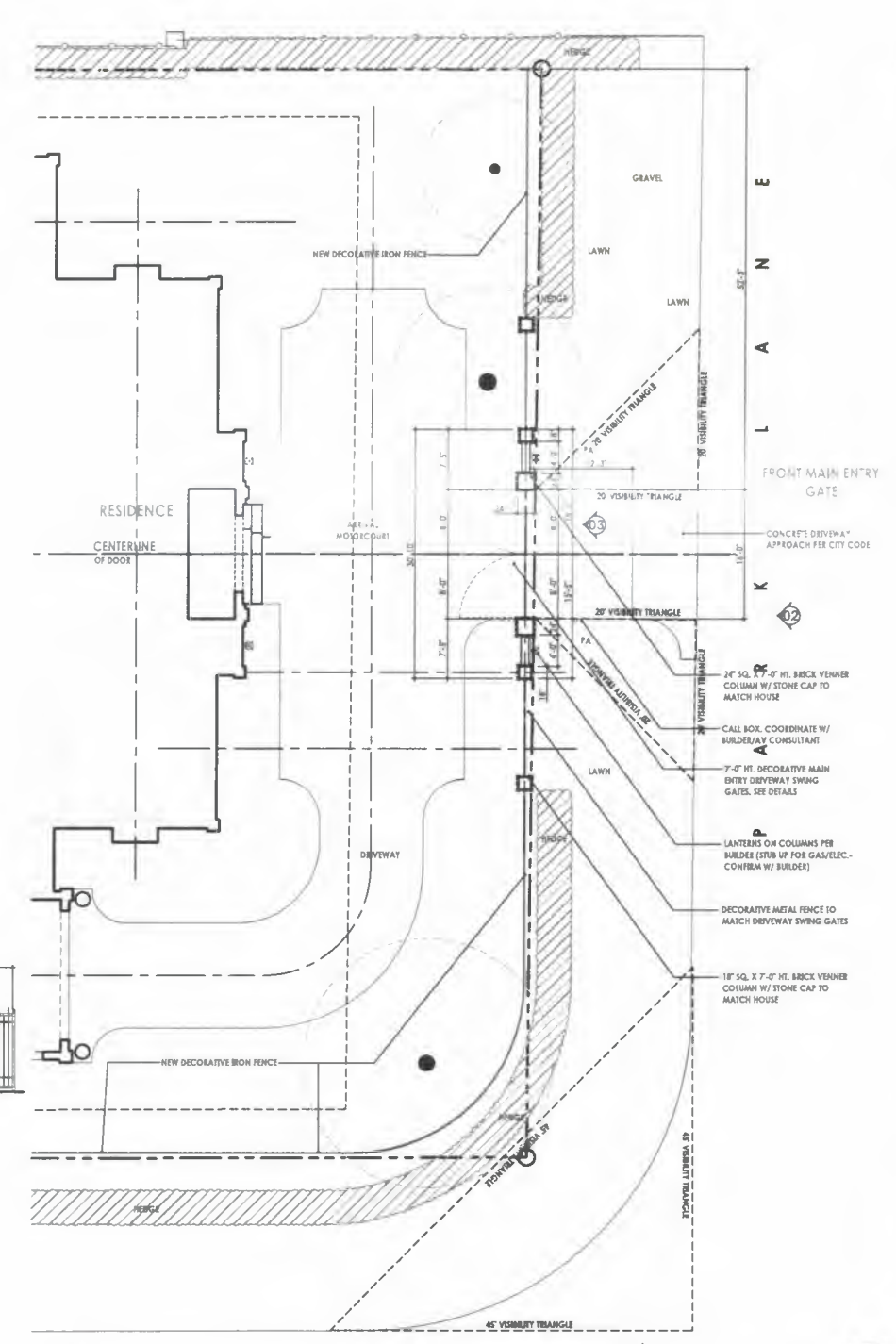
ESTATES

BOA234-072

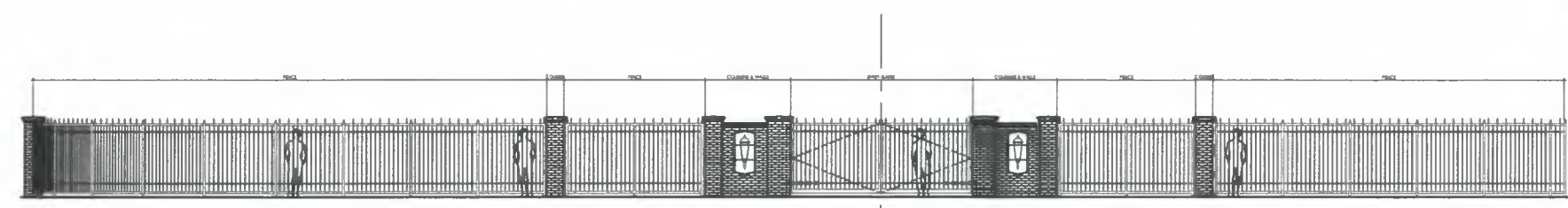
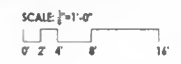




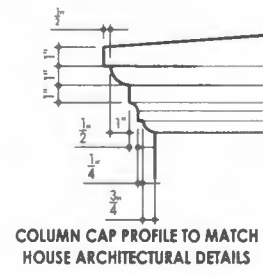
00 SITE PLAN
SCALE: 1/16"=1'-0"



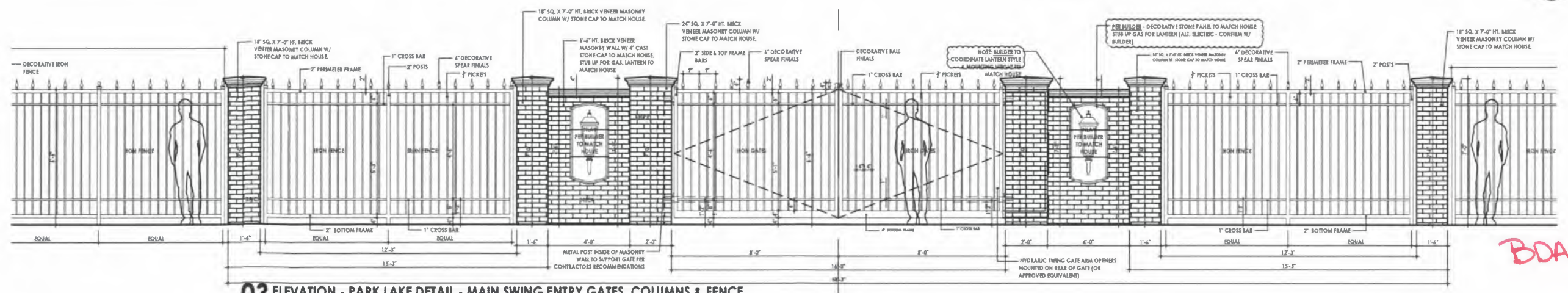
01 ENLARGEMENT PLAN - MAIN ENTRY SWING GATES
SCALE: 1/8"=1'-0"



02 ELEVATION - PARK LAKE FULL FRONTAGE
SCALE: 3/16"=1'-0"



COLUMN CAP PROFILE TO MATCH HOUSE ARCHITECTURAL DETAILS



03 ELEVATION - PARK LAKE DETAIL - MAIN SWING ENTRY GATES, COLUMNS & FENCE
SCALE: 1/2"=1'-0"

SCIMO RESIDENCE
4337 PARK LAKE
DALLAS, TEXAS

SCALE SEE PLANS

DATE: 240329
REVISIONS:

FRONT FENCE & GATES DETAILS

BDA23A-072