

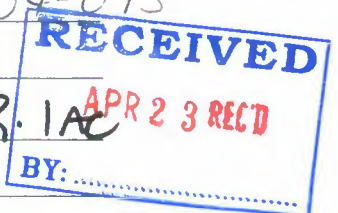


City of Dallas

APPLICATION/APEAL TO THE BOARD OF ADJUSTMENT

Case No.: BDA 234-075

Date: 3/26/24



Data Relative to Subject Property:

Location address: 6802 Forest Ln

Zoning District: R-1A

Lot No.: 8 Block No.: C/7488 Acreage: .7530 Census Tract: _____

Street Frontage (in Feet): 1) 316' Hillcrest Rd 3) _____ 4) _____ 5) _____

To the Honorable Board of Adjustment :

Owner of Property (per Warranty Deed): 6802 Forest Ln LLC

Applicant: Kennan Young Telephone: 214-980-9145

Mailing Address: 9840 N Central Expy Ste D310 Zip Code: 75231

E-mail Address: kennan@deacogroup.com

Represented by: New Leaf Custom Homes - Brett Davis Telephone: _____

Mailing Address: 9840 N Central Expy Ste D310 Zip Code: 75231

E-mail Address: Brett Davis <brett@designshopdallas.com>

Affirm that an appeal has been made for a Variance __, or Special Exception X, of 4' to fence height and opacity. x/y

Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to grant the described appeal for the following reason: requesting special exception for an 8FT fence along the frontage of the property due to matching existing fences in the surrounding parcels

Note to Applicant: If the appeal requested in this application is granted by the Board of Adjustment, a permit must be applied for within 180 days of the date of the final action of the Board, unless the Board specifically grants a longer period.

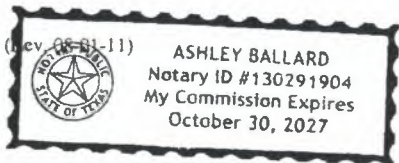
Affidavit

Before me the undersigned on this day personally appeared Kennan Young (Affiant/Applicant's name printed)

who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner/or principal/or authorized representative of the subject property.

Respectfully submitted: Kennan Young (Affiant/Applicant's signature)

Subscribed and sworn to before me this 26th day of March, 2024



Notary Public in and for Dallas County, Texas



Posting of Notification Sign

PER SEC 51A-1.106 Notification signs required to be obtained and posted

Address: 6802 Forest Ln

Appeal Number: BDA 234-075

All required notification signs must be posted on the property within fourteen (14) days after an application has been made, prior to the Board of Adjustment Hearing, and not be removed until the hearing ends.

The sign must be posted at a prominent location adjacent to the public street, evenly spaced along each frontage, and easily visible from the street. Failure to properly post the sign(s) may result in either a postponement or denial of the appeal.

All required notification signs have been received. One sign is required for each 500 feet or less of frontage, or every tract of five (5) acres or less, with a maximum of five (5) signs required. The cost of each sign is \$10.00.

Footage of each street frontage: 316'

Number of acres: .0753

Number of signs received: 1

A handwritten signature in blue ink, appearing to be 'Ken Yong'.

Signature of applicant or person receiving signs

3/28/24

Date

Board of Adjustment Prescreen Checklist

Intake

Reviewer: Nora C. Date: 3/27/24

Referred By: Vernon Young

Applicant: Kennan Young Ph #: _____ email: _____

Property Address: 6802 Forest Ln.

Zoning: R-1Ac Lot: 8 Block: C17488 Acres: 0.753

Conservation/Historic District: _____

Land Use: SFD Is use allowed? Yes No

County Plat? Yes No Legal Build Site: yes

Street frontage: 1.) 316' 2.) _____ 3.) _____ 4.) _____

Corner lot: no Double frontage: _____

Utilities/Easements/Dedications/Thoroughfare: _____

Permit: NSFD

| | <u>Required</u> | <u>Proposed</u> | | <u>Required</u> | <u>Proposed</u> |
|---------------------|-----------------|-------------------|---------------|-----------------|-----------------|
| Front yard setback: | <u>40'</u> MIN. | <u>35' p/plot</u> | Lot coverage: | <u>40%</u> MIN. | _____ |
| Side yard setback: | <u>10'</u> MIN. | _____ | Height: | <u>36'</u> MIN. | _____ |
| Rear yard setback: | <u>10'</u> MIN. | _____ | Lot size: | _____ MIN. | _____ |
| Parking: | <u>2</u> MIN. | _____ | | | |

Accessory/Additional dwelling

| | <u>Required</u> | <u>Proposed</u> | | <u>Required</u> | <u>Proposed</u> |
|--------------------|-----------------|-----------------|---------|-----------------|-----------------|
| Side yard setback: | _____ MIN. | _____ | Sq ft.: | _____ MIN. | _____ |
| Rear yard setback: | _____ MIN. | _____ | Height: | _____ MIN. | _____ |

Notes:

SE of 4 ft fence height, opacity
not notarized.

- ~~App incomplete, Affidavit, Use statement, site zoning map, site plat map, proof of entity, posting notification~~
- ~~Elevations N/A.~~

BDA234-075



Appeal number: BDA 234-075

I, Scott Powell, Owner of the subject property
(Owner or "Grantee" of property as it appears on the Warranty Deed)

at: 6802 Forest Ln
(Address of property as stated on application)

Authorize: Kennan Young
(Applicant's name as stated on application)

To pursue an appeal to the City of Dallas Zoning Board of Adjustment for the following request(s)

- Variance (specify below)
- Special Exception (specify below)
- Other Appeal (specify below)

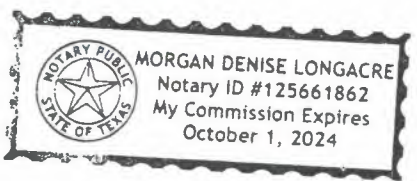
Specify: special exception of 8ft Fence request for opacity

Scott Powell [Signature]
 Print name of property owner or registered agent Signature of property owner or registered agent
 agent Date April 22, 2024

Before me, the undersigned, on this day personally appeared Scott Powell

Who on his/her oath certifies that the above statements are true and correct to his/her best

knowledge. Subscribed and sworn to before me this 22nd day of April, 2024.



[Signature]
Notary Public for Dallas County, Texas

Commission expires on October 1, 2024



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(Owner or "Grantee" of property as it appears on the Warranty Deed)

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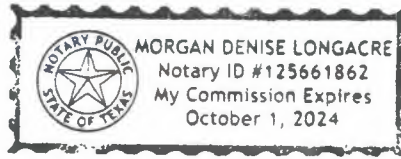
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ArcGIS Web Map



4/1/2024, 11:16:20 AM

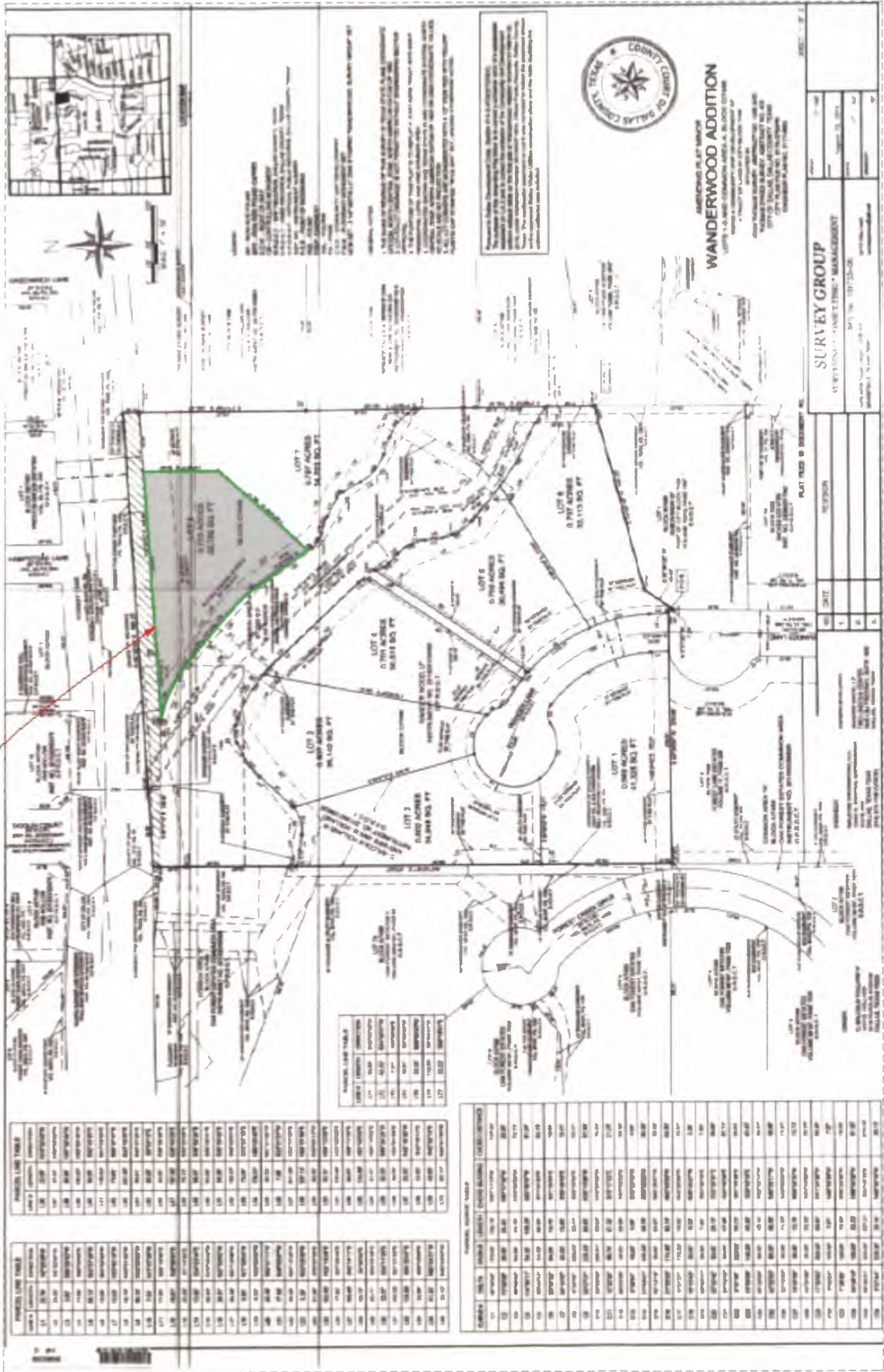
1:2,660



Images: Esri, DeLorme, Garmin, FAO, NOAA, USGS, OpenStreetMap contributors, and the GIS User Community

PDA234-075

6802 Forest Lane - Lot 6 / Block C7488
 Subject Property for this Building Application



6802 Forest Ln Certified Plat

BDA 234075

6802 Forest Lane - Lot 6 / Block C77488
 Subject Property for this Building Application



RECEIVED
DATE: 6-20-99
RECORDS
DATE: 6-16-99

CITY OF DALLAS PLAT BOOKS

ANNEXED NOV. 15, 1954 ORD. NO. 6378

ADDITION

BLOCKS 7488 & 7488^{A,B}, 7489

SURVEY JOHN THOMAS
M. J. SANCHEZ

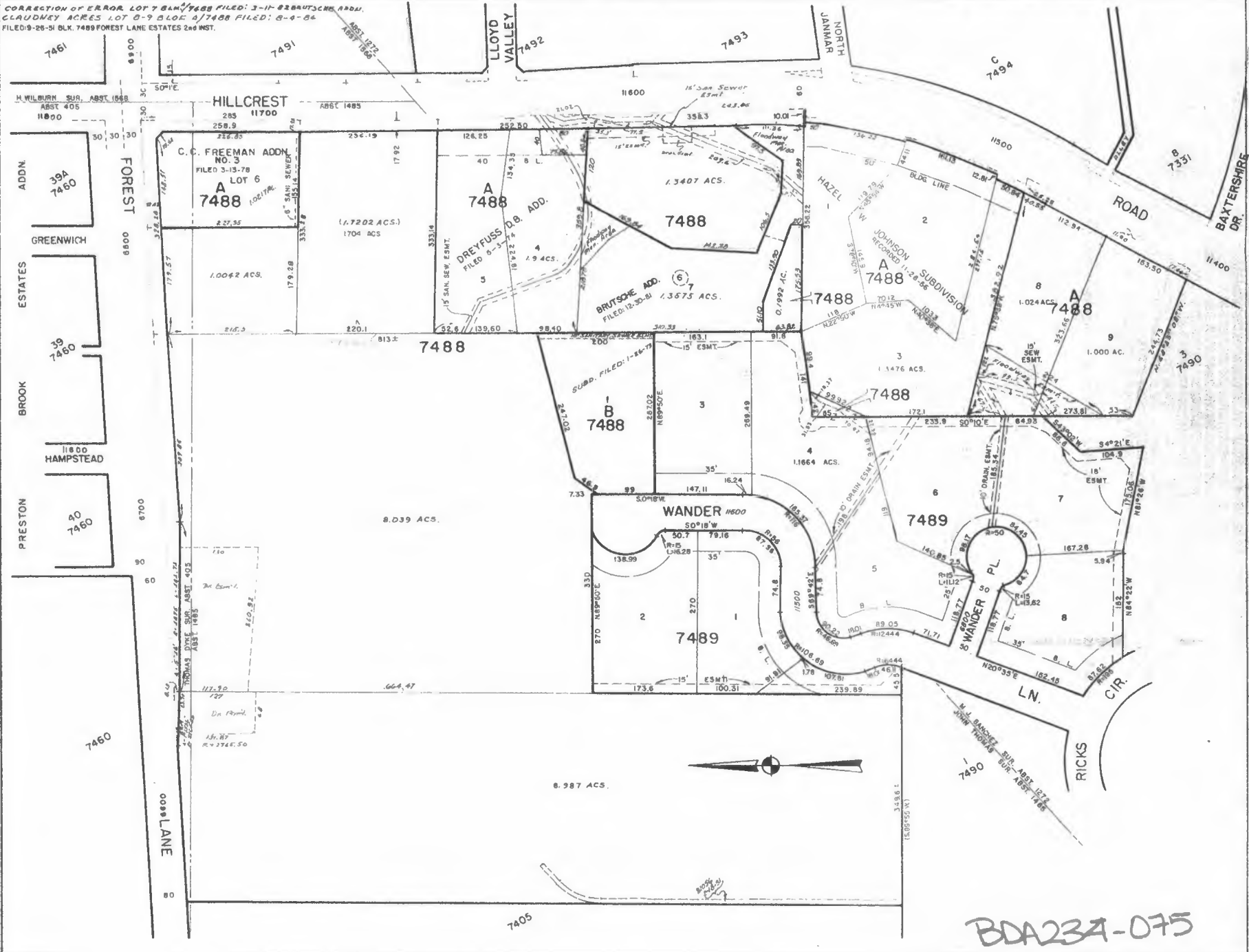
ABST. 1485
1272

SCALE 100 FT. EQUALS 1 INCH

PHA 7-10-87

SCHOOL DISTRICT DALLAS

CORRECTION OF ERROR LOT 7 BLM 7488 FILED: 3-11-82 BRUTSCHE ADDN.
CLAUDNEY ACRES LOT 8-9 BLOC 7488 FILED: 8-4-85
FILED: 9-26-51 BLM 7489 FOREST LANE ESTATES 2d WST.



BDA23A-075



9840 N. Central Expy. Suite D-310 Dallas, TX 75231 www.designshopdallas.com

Forest Lane Spec Residence

6802 Forest Lane Dallas TX 75230

Lot 6 / Block C/7488

6802 Forest Lane Spec

Design Status: Street wall design

4/10/2024

Built by:



9840 N. Central Expy. Suite D-310 Dallas, TX 75231 www.newleafcustom.com

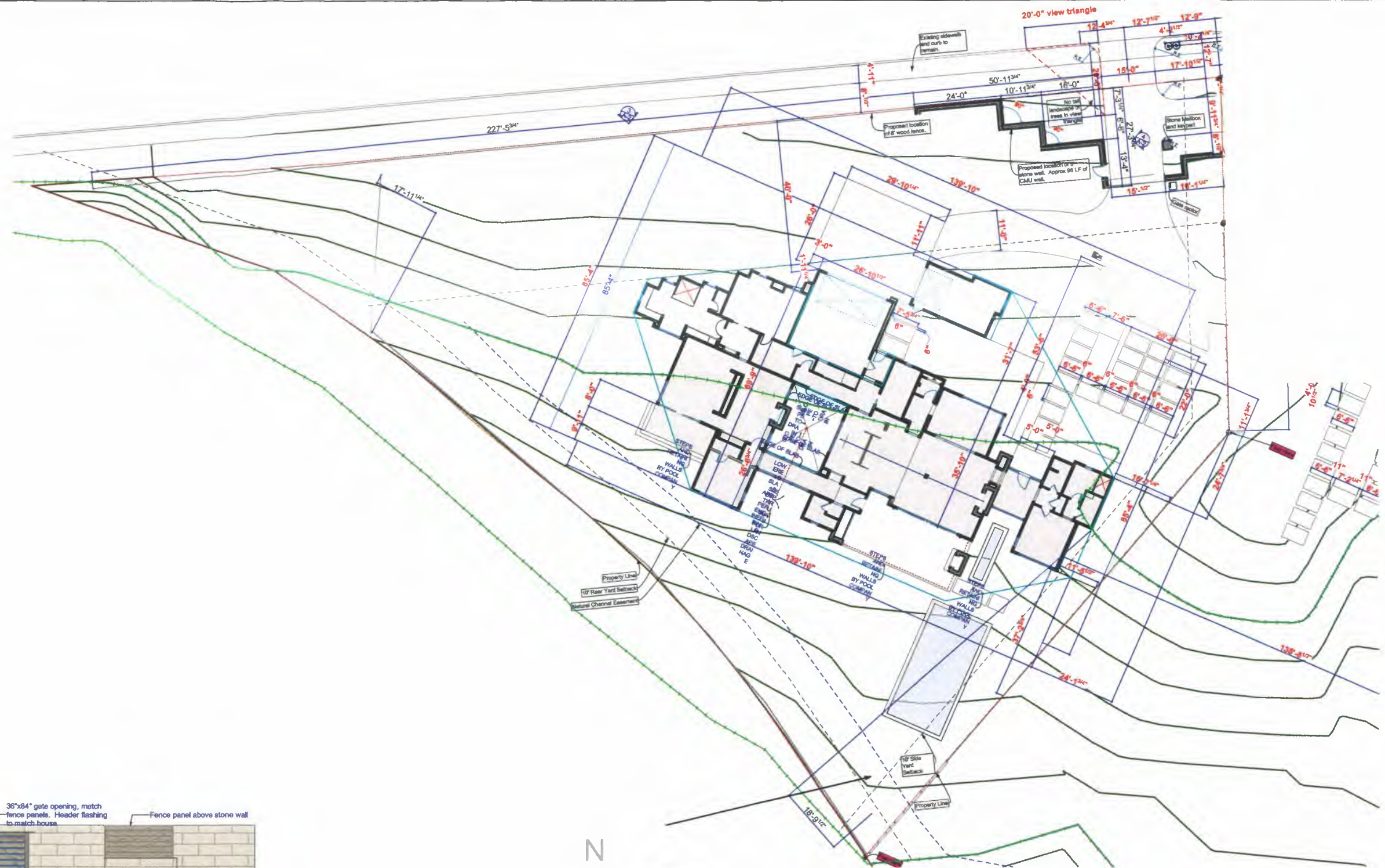
PROJECT: 6802 Forest Lane
DATE: 4/10/2024
DRAWN BY: BWD
COPYRIGHT

SHEET TITLE

FENCE PLAN

A-3

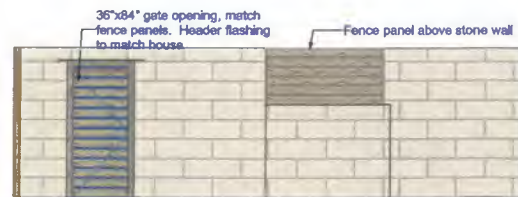
SHEET 3 OF 145



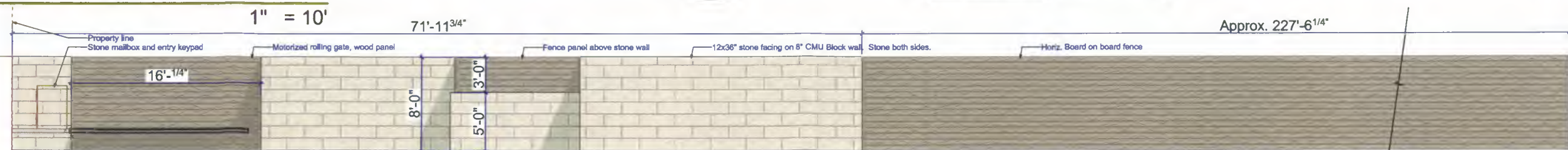
1

Site Plan

SCALE: 1" = 30'



4 Street Wall East Elevation



3 Street Wall Elevation

1" = 10'

BDA234075