



# Development Services

"TOGETHER WE ARE BUILDING A SAFE AND UNITED DALLAS"

## APPLICATION/APEAL TO THE BOARD OF ADJUSTMENT

Case No.: BDA 23 **RECEIVED**  
**APR 26 REC'D**  
**BY: S(A)**

Data Relative to Subject Property: \_\_\_\_\_ Date: \_\_\_\_\_  
 Location address: 3216 Peoria Ave. Zoning District: \_\_\_\_\_  
 Lot No.: 4 Block No.: 217159 Acreage: 0.64 Census Tract: \_\_\_\_\_  
 Street Frontage (in Feet): 1) 60 2) \_\_\_\_\_ 3) \_\_\_\_\_ 4) \_\_\_\_\_ 5) \_\_\_\_\_

### To the Honorable Board of Adjustment:

Owner of Property (per Warranty Deed): Joel Perales.  
 Applicant: Joel Perales Telephone: (214) 288-3620  
 Mailing Address: 3214 Odessa st. Zip Code: 75212  
 E-mail Address: joelperales1011@gmail.com  
 Represented by: Blas Garza Telephone: (214) 927-8556  
 Mailing Address: 1419 Memory Ln. Zip Code: 75217  
 E-mail Address: garzablas71@yahoo.com.

Affirm that an appeal has been made for a Variance  or Special Exception  of  
Special Exception 2'-6" Height.

Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to Grant the described appeal for the following reason:  
Home Protection

Note to Applicant: If the appeal requested in this application is granted by the Board of Adjustment, a permit must be applied for within 180 days of the date of the final action of the Board, unless the Board specifically grants a longer period.

### Affidavit

Before me the undersigned on this day personally appeared Joel Perales  
 (Affiant/Applicant's name printed)  
 who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner/or principal/or authorized representative of the subject property

Respectfully submitted: [Signature]  
 (Affiant/Applicant's signature)

Subscribed and sworn to before me this 26 day of April, 2021

[Signature]  
 Notary Public in and for Dallas County, Texas



SECOND INSTALLMENT  
**WEISENBERGER GARDENS**  
 DALLAS COUNTY TEXAS  
 THE WEISENBERGER COMPANY  
 SELLING AGENTS

SCALE  
 G. R. MAC LELLAN SURVEYOR  
 JULY 1943

DRAINAGE EASEMENTS



BDA23A-077



CITY OF DALLAS

### Posting of Notification Sign

Address 32116 Pecunia Ave.

Appeal Number: BDA 234-077

All required notification signs must be posted on the property within fourteen (14) days after an application has been made, prior to the Board of Adjustment Hearing, and not be removed until the hearing ends.

The sign must be posted at a prominent location adjacent to the public street, evenly spaced along each frontage, and easily visible from the street. Failure to properly post the sign(s) may result in either a postponement or denial of the appeal.

All required notification signs have been received. One sign is required for each 500 feet or less of frontage, or every tract of five (5) acres or less, with a maximum of five (5) signs required. The cost of each sign is \$10.00.

Footage of each street frontage: 120'

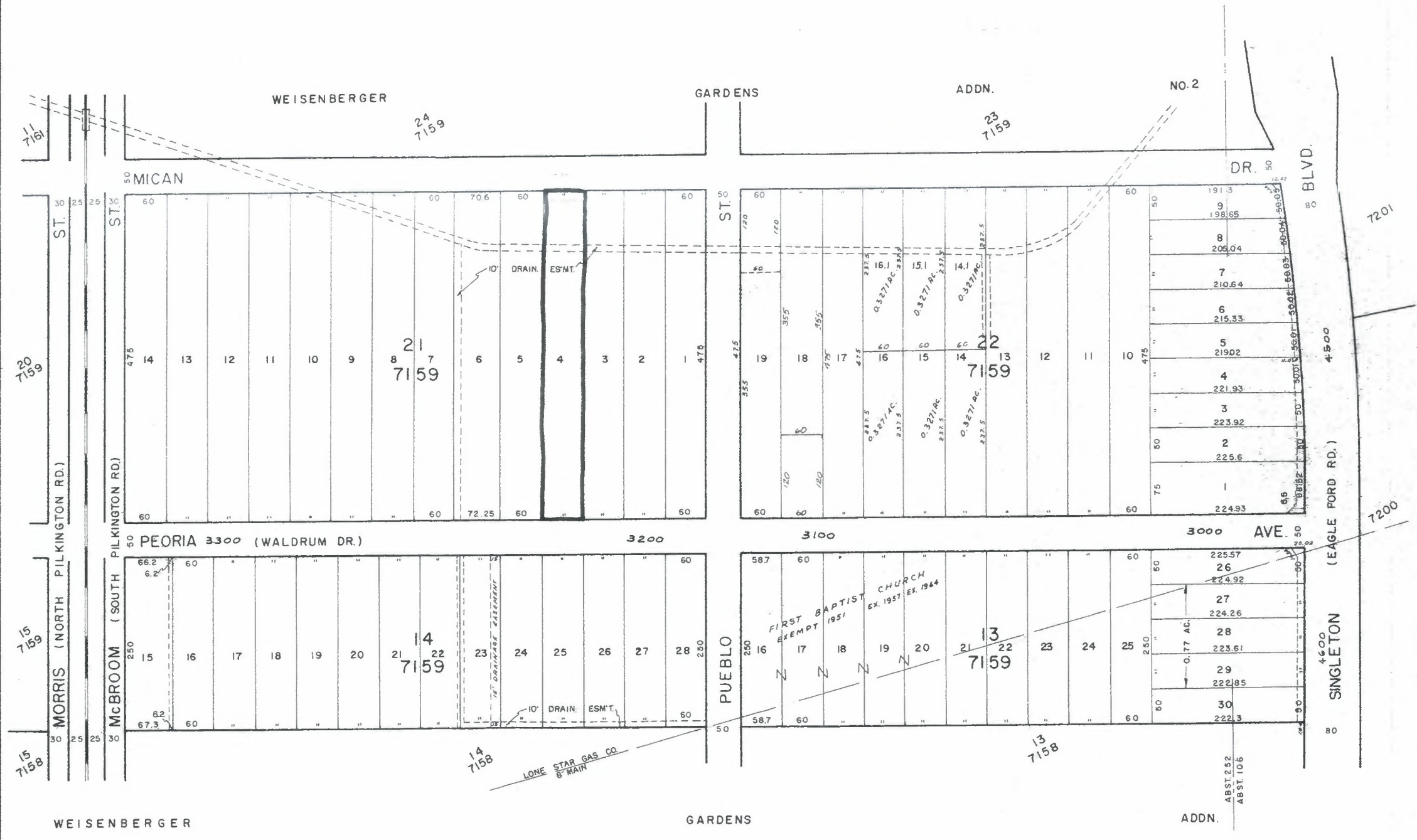
Number of acres: 0.65

Number of signs received: 1

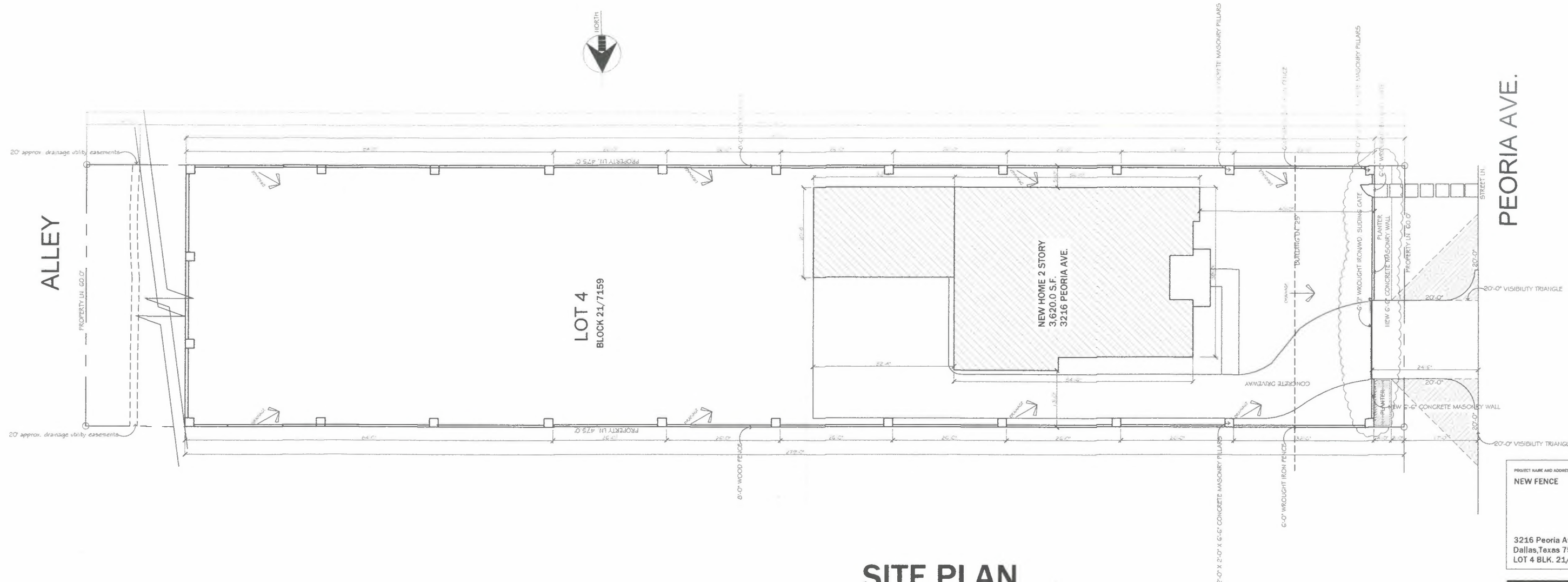
Sal Park

Signature of applicant or person receiving signs

4/26/2024  
Date



BOA 234-077



**SITE PLAN**  
SCALE 3/32" = 1'-0"

PROJECT NAME AND ADDRESS  
**NEW FENCE**

3216 Peoria Ave.  
Dallas, Texas 75212  
LOT 4 BLK. 21/7159

#	DATE	SUBMISSION
1	03-19-24	ISSUE FOR PERMIT

**GARZA CONSTRUCTION CONSULTANTS**

1419 MEMORY LN. DALLAS, TEXAS 75217  
PH. 214 9278556  
garzablas71@yahoo.com

SITE PLAN

S-1

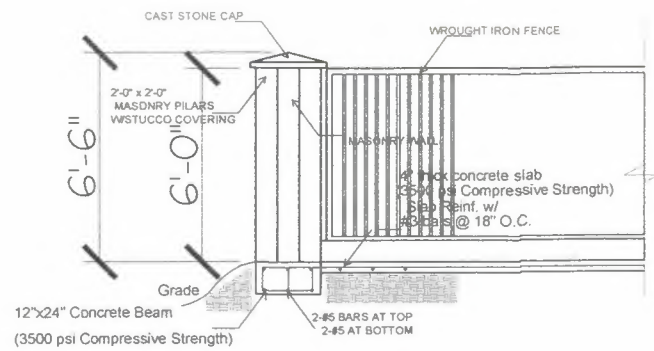
JOB NO. SHEET

BDA234-077

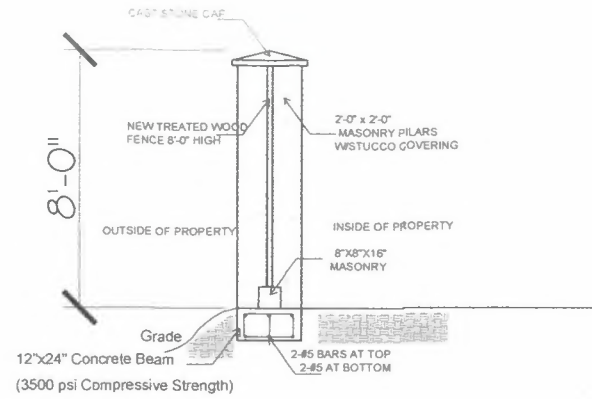
DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE. THE CONTRACTOR AND THE OWNER ARE ULTIMATELY RESPONSIBLE TO CONFIRMING AND CORRELATING DIMENSIONS AT THE JOB SITE. THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS PROJECT.

- GENERAL NOTES:**
1. THE CONTRACTOR SHALL COORDINATE THE LOCATION WITH ARCHITECTURAL DRAWINGS FOR OPENINGS, NOTCHES, AND RELATED ITEMS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD BEFORE CONCRETE IS PLACED.
  2. THE CONTRACTOR SHALL VERIFY FROM THE CONSTRUCTION THAT THE NEW CONSTRUCTION WILL NOT COMPETE WITH ANY EXISTING UTILITIES. IF CONFLICTS ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND SHALL STOP UNTIL AN ADEQUATE SOLUTION TO THE CONFLICT IS FOUND.
  3. TYPICAL DETAILS AND NOTES SHALL APPLY UNLESS SPECIFICALLY SHOWN OR NOTED OTHERWISE. CONNECTION DETAILS NOT SHOWN BUT SPECIFICALLY NOTED SHALL BE SHOWN IN DETAILS SHOWING CONNECTIONS.
  4. DUE TO THE NATURE OF CONSTRUCTION, IT IS NECESSARY TO STOP WORK ON EVERY DETAIL IF A CONFLICT IS NOT SHOWN. A MAXIMUM TOTAL OF THE CURRENT RULES OF GOOD CONSTRUCTION PRACTICES SHALL BE FOLLOWED.
  5. SITE GRADING AND DRAINAGE AND THE FOUNDATION SHALL BE MAINTAINED AT ALL TIMES IN SUCH A MANNER THAT SURFACE DRAINAGE WILL NOT COLLECT UNDER OR ADJACENT TO THE FOUNDATION. EXISTENT STRUCTURES KEPT TOGETHER AND PROPER DRAINAGE AWAY FROM FOUNDATION IS REQUIRED.
  6. THE CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR THE WARRANTY OF THE CONSTRUCTION.

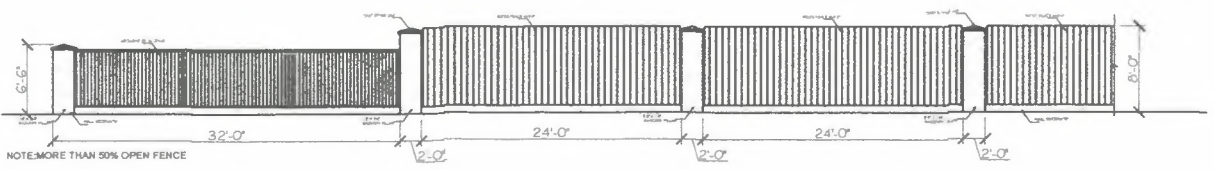
- FOUNDATION NOTES:**
- A. THE FLOOR SLAB SHOULD BE FINISHED TO A MINIMUM OF 2.5 FEET OF COMPACTED AND TESTED SUBSOIL FULL DEPTH TO THE DEEPEST PLACED LAYER OF SUBSOIL.
  - B. IF IT IS DETERMINED THAT THE EXISTING SOIL BE EXPOSED TO A DEPTH OF 6 INCHES BELOW THE BOTTOM OF ALL FOUNDATION ELEMENTS, PRIOR TO PLACING ANY ADDITIONAL FILL MATERIAL, WE RECOMMEND THAT ALL EXPOSED SURFACES BE GRADED TO A DEPTH OF ABOUT 6 TO 8 INCHES, MOISTURE CONDITIONED TO A MINIMUM MOISTURE RATIO BETWEEN 4 TO 8 PERCENTAGE POINTS ABOVE THE PLACED FILL, MOISTURE CONTENT AS DETERMINED BY ASTM C 698 (STANDARD PROCTOR TEST), AND COMPACTED TO 95 PERCENT OF THE MAXIMUM DRY DENSITY.
  - C. OVER EXCAVATIONS SHOULD EXCEED A MINIMUM OF 2 FEET BEYOND ALL SIDES OF THE FINDER FOOTINGS OR BEAMS.
  - D. WE RECOMMEND THAT PROTECTIVE COVERINGS BE MAINTAINED OVER ALL EXCAVATIONS AND THE COMPACTING OF STRUCTURAL FILL OPERATIONS BE OBSERVED AND SUPERVISED BY A GEOTECHNICAL ENGINEER OR QUALIFIED REPRESENTATIVE OF THE GEOTECHNICAL ENGINEER.
  - E. ALL FILL SHALL BE SPREAD IN LAYERS NOT EXCEEDING EIGHT (8) INCHES, WATER MOISTURE NECESSARY, AND COMPACTED. MOISTURE CONTENT AT THE TIME OF COMPACTION SHALL BE WITHIN 2 PERCENT OF OPTIMUM MOISTURE CONTENT. COMPACTION OF THE FILL SHALL BE ACCOMPLISHED TO OBTAIN A DENSITY OF NOT LESS THAN 95 PERCENT OF MAXIMUM DRY DENSITY.
  - F. A MINIMUM OF 2 MIL POLYETHYLENE VISIBER BARBER (PVB) SHOULD BE PLACED ON TOP OF THE PREPARED SUBGRADE SURFACE TO MINIMIZE MOISTURE MIGRATION THROUGH THE SLABS. THE INTEGRITY OF THE PVB MUST BE MAINTAINED DURING FILL CONSTRUCTION. A MINIMUM 4 INCH THICK CUSHION LAYER CONSISTING OF FINE SAND CAN BE PLACED BELOW THE PVB FOR LIVING PURPOSES.
  - G. MATERIALS UNDESIGNED SATISFACTORY ASSEMBLED TO ALL OR TRENCH FILLING MATERIALS ARE CLASSIFIED AS: CM, SP, SA, SHM, SL, SHSM, EM, US, GM, OF, GM AND SHGM IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION.



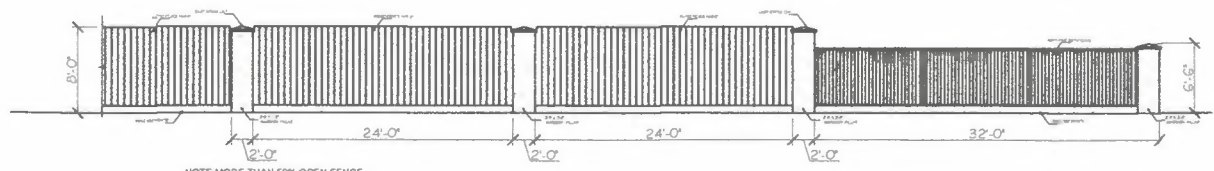
WALL SECTION "A"  
Scale : 3/8" = 1'-0"



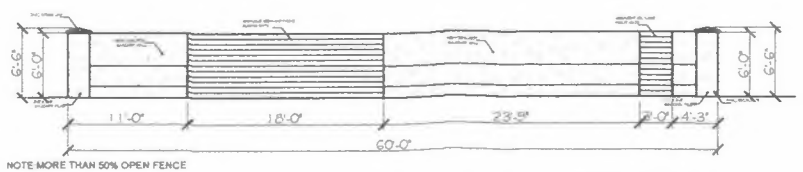
WALL SECTION "B"  
Scale : 3/8" = 1'-0"



RIGHT SECTION VIEW  
Scale : 1/8" = 1'-0"



LEFT SECTION VIEW  
Scale : 1/8" = 1'-0"



FRONT VIEW  
Scale : 1/8" = 1'-0"

PROJECT NAME AND ADDRESS:  
**NEW FENCE**

3216 Peoria Ave.  
Dallas, Texas 75212  
LOT 4 BLK. 21/7159

#	DATE	SUBMISSION
	03-19-24	ISSUE FOR PERMIT

**GARZA CONSTRUCTION CONSULTANTS**

1419 MEMORY LN. DALLAS, TEXAS 75217  
PH 214 9278556  
garzablas71@yahoo.com

STRUCTURAL WALL SECTION FRONT AND SIDE VIEW

A-1  
JOB NO. SHEET

BDA234-077