

ORDINANCE NO. 25530

An ordinance changing the zoning classification on the following described property, to wit:

An area generally being bounded by the lots on both sides of Llano Avenue on the north, the centerline of Skillman Street on the east, the lots on both sides of Belmont Avenue on the south (excluding the south side of Belmont, the 5700 block, between Greenville Avenue and Matilda Street), and the centerline of Greenville Avenue on the west,

from an R-7.5(A) Single Family District and an R-7.5(A)-MD-1 Single Family District with Modified Delta Overlay No. 1 to Conservation District No. 12 (the Belmont Addition Conservation District) with retention of Modified Delta Overlay No. 1; approving the conceptual plan; providing procedures and regulations for this conservation district; providing for preservation of overlay zoning districts; providing a purpose statement; providing a penalty not to exceed \$2,000; providing a saving clause; providing a severability clause; and providing an effective date.

WHEREAS, the city plan commission and the city council of the City of Dallas find that the property described in Section 2 of this ordinance is an area of cultural and architectural importance and significance to the citizens of the city; and

WHEREAS, the city plan commission and the city council, in accordance with the provisions of the Charter of the City of Dallas, the state law, and the applicable ordinances of the city, have given the required notices and have held the required public hearings regarding the rezoning of the property hereinafter described; and

WHEREAS, the city council finds that it is in the public interest to establish this conservation district; Now, Therefore,

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF DALLAS:

SECTION 1. Approval of the conceptual plan. That the conceptual plan for the Belmont Addition Conservation District, attached to this ordinance as Exhibit B, is approved.

SECTION 2. Creation of the conservation district. That the zoning ordinances of the City of Dallas, as amended, are amended by changing the zoning classification from an R-7.5(A) Single Family District and an R-7.5(A)-MD-1 Single Family District with Modified Delta Overlay No. 1 to Conservation District No. 12 (the Belmont Addition Conservation District) with retention of Modified Delta Overlay No. 1 on the following described property, to wit:

BEGINNING on Greenville Avenue at the point of intersection of the centerline of the alley between Llano Avenue and Vickery Boulevard;

THENCE, in an easterly direction, along the centerline of the alley between Llano Avenue and Vickery Boulevard to the point of intersection with the centerline of Skillman Street, to a point for corner;

THENCE, in a southerly direction along the centerline of Skillman Street to the point of intersection with the centerline of the alley between Belmont Avenue and Richmond Avenue;

THENCE, in a westerly direction, along the centerline of the alley between Belmont Avenue and Richmond Avenue, to the point of intersection with the centerline of Matilda Street;

THENCE, in a northerly direction along the centerline of Matilda Street, to a point of intersection with the centerline of Belmont Avenue;

THENCE, in a westerly direction along the centerline of Belmont Avenue, to a point of intersection with the centerline of Greenville Avenue;

THENCE, in a northerly direction along the centerline of Greenville Avenue to the point of intersection with the centerline of the alley between Llano Avenue and Vickery Boulevard, the PLACE OF BEGINNING.

SECTION 3. Preservation of overlay zoning districts. That any existing overlay zoning districts within the Belmont Addition Conservation District shall remain in full force and effect.

SECTION 4. Purpose. That this conservation district is established to conserve the Belmont Addition neighborhood and to protect and enhance its significant architectural and cultural attributes. The conservation district regulations are attached to this ordinance as Exhibit A. The conservation district regulations ensure that new construction and remodeling is done in a manner that is compatible with the original architectural styles found in the conservation district.

SECTION 5. Zoning district maps. That the director of the department of development services shall correct Zoning District Map Number H-8 and I-8 in the offices of the city secretary, the building official, and the department of development services to reflect the changes in zoning made by this ordinance.

SECTION 6. Penalty clause. That a person who violates a provision of this ordinance is guilty of a separate offense for each day or portion of a day during which the violation is committed, continued, or permitted, and each offense is punishable by a fine not to exceed \$2,000.

SECTION 7. Saving clause. That the zoning ordinances of the City of Dallas, as amended, shall remain in full force and effect, save and except as amended by this ordinance.

SECTION 8. Severability clause. That the terms and provisions of this ordinance are severable and are governed by Section 1-4 of CHAPTER 1 of the Dallas City Code, as amended.

SECTION 9. Effective date. That this ordinance shall take effect immediately from and after its passage and publication in accordance with the provisions of the Charter of the City of Dallas and it is accordingly so ordained.

APPROVED AS TO FORM:

MADELEINE B. JOHNSON, City Attorney

By _____
Assistant City Attorney

Passed March 24, 1004

EXHIBIT A

BELMONT ADDITION CONSERVATION DISTRICT REGULATIONS

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EXHIBIT B: Belmont Addition Conservation District Conceptual Plan		

(a) Interpretations and definitions.

- (1) Unless otherwise stated, all references to articles, divisions, or sections in this ordinance are to articles, divisions, or sections in Chapter 51A.
- (2) Unless otherwise stated, the definitions in Chapter 51A apply to this ordinance. In this ordinance:
 - (A) COLONIAL REVIVAL means colonial revival architectural style as shown in Exhibit B.
 - (B) COMPATIBLE means consistent with the architecture found within the district, including architectural style, scale, massing, setbacks, colors, and materials.
 - (C) CONTRIBUTING means a structure listed as Colonial Revival, Craftsman, Prairie, or Tudor structure in Exhibit B.
 - (D) CORNER LOT means a lot that has frontage on two different streets.
 - (E) CORNERSIDE FACADE means a main building facade facing a side street.
 - (F) CORNERSIDE LOT LINE means the lot line on a side street.
 - (G) CORNERSIDE YARD means a side yard that abuts a street.
 - (H) CRAFTSMAN means craftsman architectural style as shown in Exhibit B.
 - (I) DIRECTOR means the director of the department of development services or the director's representative.
 - (J) DISTRICT means the Belmont Addition Conservation District.
 - (K) EXISTING means a structure or status that existed as of March 24, 2004, the date of creation of this conservation district.
 - (L) FRONT FACADE means the building elevation facing the front street.

- (M) FRONT STREET means Llano Avenue, Velasco Avenue, Palo Pinto Avenue, Goliad Avenue, and Belmont Avenue.
- (N) HARDCAPE means any non-plant landscape materials such as boulders, cobbles, decorative concrete, gravel, mulch, pavers, or stones.
- (O) HEIGHT, for any structure with a roof, means the vertical distance measured from grade to the peak of any roof structure, regardless of its style or form.
- (P) MAIN STRUCTURE means the building on a lot intended for occupancy by the main use.
- (Q) NONCONTRIBUTING means a structure not listed as contributing in Exhibit B.
- (R) ONE-AND-ONE-HALF STORIES means that the space within the roof structure of a main structure has been converted to livable space.
- (S) ORIGINAL means a main structure that occurred on a lot as of December 31, 1945. An “original architectural style” is the architectural style of the original main structure for that lot only.
- (T) PARKWAY means that area between the sidewalk and the curb, or that area between the sidewalk and the street pavement if there is no curb.
- (U) PRAIRIE means prairie architectural style as shown in Exhibit B.
- (V) REAR YARD means:
- (i) on an interior lot, the portion of the lot between the side lot lines that extends across the width of the lot between a main building and lines parallel to and extending outward from the rear facade of a main building and the rear lot line; and
 - (ii) on a corner lot, the portion of the lot that extends between the interior side lot line and a line parallel to and extending outward from the rear corner of the cornerside facade, and

between the rear lot line and a main building and a line parallel to and extending outward from the interior side corner of the rear facade.

- (W) REMODEL means improvements or repairs that change the exterior materials or appearance of the front facade or wrap-around of the main structure.
 - (X) RETAINING WALL means a wall used to prevent the erosion of land.
 - (Y) SIDE STREET means Greenville Avenue, Matilda Street, Delmar Avenue, Concho Street, and Skillman Street.
 - (Z) SIDE YARD means any portion of a lot not occupied by a main building that is not a front yard or rear yard. "Side yard" includes "cornerside yard."
 - (AA) TUDOR means tudor architectural style as shown in Exhibit B.
 - (BB) WRAP-AROUND means the area to the midpoint of each side facade.
- (b) Conceptual plan. The Belmont Addition Conservation District Conceptual Plan is attached to and made a part of this ordinance as Exhibit B. In the event of a conflict between Exhibit A, the district regulations, and Exhibit B, the conceptual plan, Exhibit A controls.
- (c) Nonconforming structures. Section 51A-4.704(c), "Nonconforming Structures," applies, except:
- (1) as otherwise provided in these regulations, or
 - (2) if the degree of nonconformity is voluntarily reduced, all rights to the previous degree of nonconformity are lost.
- (d) Development standards. Except as otherwise provided, the development standards of the R-7.5(A) Single Family District apply. Except as provided in the architectural standards for specific styles, the following development standards apply to the entire lot.
- (1) Use.

- (A) Except for existing duplex uses and existing multifamily uses, the only use allowed is single-family.
 - (B) Existing duplex uses and existing multifamily uses are legal nonconforming uses. Existing duplex uses and existing multifamily uses are identified in Exhibit B.
- (2) Accessory uses. As a general rule, an accessory use is permitted in any district in which the main use is permitted. Some specific types of accessory uses, however, due to their unique nature, are subject to additional regulations in Section 51A-4.217. For more information regarding accessory uses, consult Section 51A-4.217.
- (3) Front yard.
- (A) Minimum front yard is the average of the front yard of the contributing main structures on the block face as listed in Exhibit B.
 - (B) No more than 30 percent of the front yard may be paved or covered with hardscape.
 - (C) The parkway may not be paved or hardscaped except for curb cuts and sidewalk extensions.
- (4) Side yard. Minimum side yard for main structures is five feet on the one side and 10 feet on the other side.
- (5) Rear yard. Minimum rear yard for main structures is 20 feet on Llano Avenue, 30 feet on Velasco Avenue, 40 feet on Palo Pinto Avenue and Goliad Avenue, and 50 feet on Belmont Avenue.
- (6) Density.
- (A) The number of dwelling units on a lot may not be increased.
 - (B) If an existing duplex use is converted to a single family use, the only use allowed thereafter is single-family.
 - (C) If the number of dwelling units in an existing multifamily use is reduced, the number of dwelling units may not thereafter be increased.

- (7) Floor area ratio. No maximum floor area ratio.
- (8) Height. Except where a lesser height is provided in this exhibit (for example, fences), maximum height for all structures is 30 feet.
- (9) Lot coverage. Maximum lot coverage is 40 percent for new construction and non-original structures. Maximum lot coverage is 45 percent for original (1945 or earlier) structures. See Exhibit B.
- (10) Lot size. Minimum lot size is 7,500 square feet.

- (11) Stories.
 - (A) Maximum number of stories above grade is two stories for Colonial Revival, Craftsman, and Prairie structures. Maximum number of stories above grade is one-and-one-half stories for Tudor structures. Maximum number of stories above grade is two stories for noncontributing structures. See Exhibit B.
 - (B) The second story of Craftsman structures must be setback a minimum of five feet from the main plane of the front facade, and may not be more than 70 percent of the floor area of the first story.
- (12) Off-street parking and loading.
 - (A) Consult the use regulations in Division 51A-4.200 for the specific off-street parking/loading requirements for each use.
 - (B) Porte cocheres may not be enclosed.
- (13) Environmental performance standards. See Article VI, "Environmental Performance Standards".
- (14) Landscaping. See Article X, "Landscape and Tree Preservation Regulations".

(15) Signs. See Article VII, "Sign Regulations." This district is considered to be a non-business zoning district for purposes of sign regulations.

(16) Accessory structures.

(A) Location.

(i) Accessory structures must be located to the rear of the main structure.

(ii) Garages, whether attached or detached, must be located to the rear of the main structure.

(iii) The following properties, where the existing main structure is located toward the rear of the lot, may have accessory structures in front of the main structure, provided required setbacks are met, and provided that the accessory structures may only be built or remodeled in the Colonial Revival, Craftsman, Prairie, or Tudor style in compliance with the architectural standards for that style, or in its original (1945 or earlier) architectural style:

5919 Llano
5714 Velasco
5947 Velasco
6001 Velasco
6009 Velasco

If the existing main structure on these properties is demolished, any new construction must comply with the development standards in (d), "development standards," above, with any accessory structures located to the rear of the main structure.

(B) Style and materials. The color, style, design, and materials of accessory structures that are visible from a street must be compatible with the main structure.

(C) Roof slope. If an accessory structure is visible from a street, the slope of the roof must either match the roof slope of the main structure or comply with the architectural standard for the roof slope for the style of the main structure.

(D) Side yard setback.

- (i) Except as provided in this subsection, accessory structures over 15 feet in height must have a minimum three-foot side yard setback.
- (ii) Except as provided in this subsection, there is no required side yard setback for accessory structures 15 feet or less in height.
- (iii) On corner lots, accessory structures may not be located closer to the cornerside lot line than the main structure.
- (iv) No part of an accessory structure may overhang adjacent property.
- (v) The minimum side yard setback for garages that enter from a side street is 20 feet.

(E) Rear yard setback.

- (i) Except as provided in this subsection, accessory structures over 15 feet in height must have a minimum five-foot rear yard setback.
- (ii) Except as provided in this subsection, accessory structures 15 feet or less in height must have at a minimum three-foot rear yard setback.
- (iii) The minimum rear yard setback for all garages, except car ports, that enter from the alley is 20 feet.
- (iv) A replacement accessory structure may be built in the rear yard in the same location as an existing accessory structure, even if it does not comply with the rear yard setback requirements of this subsection, provided it does not project into the public right-of-way.

(F) Existing accessory structures. Existing accessory structures that are not located to the rear of the main structure may be repaired or maintained, but may not be altered, enlarged, or replaced.

- (17) Drainage. No lot-to-lot drainage is allowed.
- (18) Driveways and curbing.
- (A) An interior lot may have driveway access from either the front street or alley, but not both. A corner lot may have driveway access from either the front street or a side street, but not both.
 - (B) Driveways must be constructed of brick, concrete, stone, or similar materials.
 - (C) Ribbon driveways are allowed.
 - (D) Circular driveways are not allowed.
 - (E) The driveway entry must be between eight and 10 feet wide.
 - (F) On corner lots, a driveway entry on the side street may be up to 24 feet wide if it is located behind the rearmost corner of the main structure and provides access to a garage.
- (19) Fences.
- (A) Fences are not allowed in the front yard.
 - (B) Fences in the side yard must be set back at least five feet from the main plane of the front facade.
 - (C) Fences may be constructed of brick, chain link, stone, wood, wrought iron, or a combination of these materials.
 - (D) Fences in side yards may not exceed six feet in height.
 - (E) Fences in cornerside yards abutting Greenville Avenue, Matilda Street, or Skillman Street may not exceed nine feet in height.
 - (F) Fences in rear yards may not exceed nine feet in height.
- (20) Front facade.
- (A) The facade of a main structure containing the main entrance may not face a side street.

- (B) Satellite dishes may not be mounted on the front facade.
- (21) Foundations. Foundations must be raised at least 12 inches above grade.
- (22) Porches. Porches must have a minimum depth of eight feet.
- (23) Retaining walls.
 - (A) Retaining walls may not be more than six inches above the soil being retained.
 - (B) Retaining walls must be constructed of reinforced masonry.
- (24) Roofing materials.
 - (A) Corrugated plastic roofing is not allowed.
 - (B) Except as provided in the architectural standards for specific styles, built-up, membrane, rolled, and tar-and-gravel roofing is allowed only on roofs with a slope of 10 degrees or less.
- (25) Slope.
 - (A) The existing slope of a lot must be maintained. This provision does not prevent minor grading as necessary to allow construction, prevent lot-to-lot drainage, or match the slope of contiguous lots.
 - (B) A driveway with retaining walls may be cut into the slope of a lot provided that the driveway is straight.
 - (C) For purposes of this subsection, "slope" means any change in elevation from the front lot line to the rear lot line or from a side lot line to the other side lot line.
- (26) Steps. Existing rolling or waterfall steps leading from the sidewalk to the main structure must be retained, except that when existing rolling or waterfall steps are damaged and must be replaced, the replacement must match the rolling or waterfall steps.
- (27) Walkways.

- (A) Walkways must be constructed of concrete, brick, stone, or a similar material.
 - (B) Walkways must lead to the front porch or front entrance.
 - (C) Walkways may be straight or curved.
- (28) Windows. The following applies to the front facade and cornerside facade.
- (A) Only transparent glass, stained glass, or leaded glass is allowed in windows.
 - (B) Non-wood (metal or vinyl) window frames must have a finish that is indistinguishable from the finish on wood windows.
 - (C) Glass block may not be used on front facades. On the cornerside facade, glass block may be used only in bathroom windows or sidelights.
 - (D) Windows must be typical of the style of the structure. See Exhibit B.
- (e) Architectural standards for new construction.
- (1) The front facade and wrap-around of new construction may only be built in the Colonial Revival, Craftsman, Prairie, or Tudor style in compliance with the architectural standards for that style, or in its original (1945 or earlier) architectural style. See Exhibit B.
 - (2) New construction that is built after the date of creation of this conservation district that is built in the Colonial Revival, Craftsman, Prairie, or Tudor style, or in an original architectural style, will be treated as a contributing structure.
 - (3) These architectural standards for new construction apply only to the front facade and wrap-around.
- (f) Architectural standards for remodeling.

- (1) If a contributing structure is remodeled, the remodeling must comply with the standards for its architectural style for that element of the structure being remodeled. See Exhibit B for a list of contributing structures.
 - (2) If an original (1945 or earlier) noncontributing structure is remodeled, the remodeling must be compatible with its original (1945 or earlier) architectural style. See Exhibit B for a list of original noncontributing structures.
 - (3) If a non-original (after 1945) noncontributing structure is remodeled, the remodeling must comply with the standards for the Colonial Revival, Craftsman, Prairie, or Tudor style for that element of the structure being remodeled. See Exhibit B for a list of non-original noncontributing structures. All subsequent remodeling must be in the same architectural style as the first remodeling.
 - (4) The architectural standards for remodeling apply only to the front facade and wrap-around.
- (g) Architectural standards for Colonial Revival structures.
- (1) Applicability.
 - (A) Contributing Colonial Revival structures are identified in Exhibit B.
 - (B) New construction structures that are built in the Colonial Revival style must comply with the following standards.
 - (C) Colonial Revival structures that are remodeled must comply with the applicable standards for that portion of the structure being remodeled.
 - (D) These architectural standards apply only to the front facade and wrap-around.
 - (2) Architectural features. The following architectural features must be maintained or duplicated. New construction structures that are built in the Colonial Revival style must incorporate at least six of these features. See Exhibit B.
 - (A) Centered front gable.
 - (B) Decorative cornices.

- (C) Double-hung windows grouped in pairs and with multiple lights in one or both of the sashes.
 - (D) Front entry feature with decorative (crown) pediment supported by pilasters or extended forward and supported by slender columns.
 - (E) Pair of carriage lights flanking the front main entrance.
 - (F) Sidelights or fanlight around the main entrance.
 - (G) Slender chimney with simple design.
 - (H) Symmetrical fenestration on the front facade with a centered front main entrance.
 - (I) Symmetrical dormers on the front facade roof.
 - (J) Wooden shutters.
- (3) Materials.
- (A) Colonial Revival structures must be clad in brick, stone, stucco, wood or material that looks like wood, or a combination of these materials.
 - (B) Any materials used for remodeling must be appropriate to the Colonial Revival style in type, color, coursing, joint detailing, mortaring, size, and texture.
- (4) Roofs.
- (A) Colonial Revival structures must have a cross-gabled or side-gabled roof with a low to moderate roof slope between 20 degrees and 45 degrees.
 - (B) The maximum roof overhang is 24 inches.
 - (C) Hipped roofs are not allowed.
 - (D) The following roofing materials are allowed: clay tiles, composition shingles, slate tiles, synthetic clay tiles, synthetic wood shingles,

terra-cotta tiles, and wood shingles. The following roofing materials are not allowed: built-up, metal, and membrane.

(5) Windows.

- (A) Windows must be double-hung with multiple-light upper sashes.
- (B) Windows on the front facade must be a vertical rectangle.
- (C) Glass in windows and doors on the front facade must be clear or leaded.
- (D) Muntins and mullions must be expressed (have a profile).
- (E) Windows must be typical of the Colonial Revival style. See Exhibit B.

(h) Architectural standards for Craftsman structures.

(1) Applicability.

- (A) Contributing Craftsman structures are identified in Exhibit B.
- (B) New construction structures that are built in the Craftsman style must comply with the following standards.
- (C) Craftsman structures that are remodeled must comply with the applicable standards for that portion of the structure being remodeled.
- (D) These architectural standards apply only to the front facade and wrap-around.

(2) Architectural features. The following architectural features must be maintained or duplicated. New construction structures that are built in the Craftsman style must incorporate at least six of these features. See Exhibit B.

- (A) Brick or stone exterior chimney.
- (B) Decorative beams or braces under the gables.

- (C) Gabled dormers.
 - (D) Half-timbering detail on gables.
 - (E) Porte cochere.
 - (F) Separate front porch roof structure with a separate front gable.
 - (G) Small, high windows on each side of an exterior chimney.
 - (H) Small window on gable.
 - (I) Solid balustrade of brick or wood on the front porch.
 - (J) Ventilation louvers on gable.
 - (K) Window boxes.
- (3) Front porches.
- (A) The front porch must be a minimum of 50 percent of the width of the front facade.
 - (B) The front porch roof must be supported by square or tapered columns with a brick or stone base.
 - (C) The front porch may be surrounded by a balustrade or railing of wood or materials matching the front facade.
 - (D) Front porches must be open-air.
 - (E) The front entryway must have a Craftsman style wood door.
- (4) Materials.
- (A) Craftsman structures must be clad in brick, wood or material that looks like wood, or a combination of these materials. Stone accents are allowed. Stucco is allowed only in gables.
 - (B) Any materials used for remodeling must be appropriate to the Craftsman style in type, color, coursing, joint detailing, mortaring, size, and texture.

- (5) Porte cocheres. Porte cochere columns must match the porch columns.
- (6) Roofs.
 - (A) Craftsman structures must have a cross-gabled, front-gabled, or side-gabled roof with a shallow roof slope between 20 degrees and 30 degrees.
 - (B) The minimum roof overhang is 24 inches.
 - (C) Dormers may be gabled or shed.
 - (D) Roofs must have exposed roof rafter tails.
 - (E) Beadboard must be used under eaves.
 - (F) The following roofing materials are allowed: clay tiles, composition shingles, slate tiles, standing seam metal, synthetic clay tiles, synthetic wood shingles, terra-cotta tiles, and wood shingles. The following roofing materials are not allowed: built-up and membrane.
- (7) Windows.
 - (A) Windows must be casement, double-hung with 1-over-1 lights, double-hung with multiple lights, or mission-styled. See Exhibit B.
 - (B) Windows must be grouped in clusters of two or three.
 - (C) Windows may have stained glass.
 - (D) Muntins and mullions must be expressed (have a profile).
 - (E) Windows must be typical of the Craftsman style. See Exhibit B.
- (i) Architectural standards for Prairie structures.
 - (1) Applicability.
 - (A) Contributing Prairie structures are identified in Exhibit B.

- (B) New construction structures that are built in the Prairie style must comply with the following standards.
 - (C) Prairie structures that are remodeled must comply with the applicable standards for that portion of the structure being remodeled.
 - (D) These architectural standards apply only to the front facade and wrap-around.
- (2) Architectural features. The following architectural features must be maintained or duplicated. New construction structures that are built in the Prairie style must incorporate at least six of these features. See Exhibit B.
- (A) Broad, short interior chimney.
 - (B) Contrasting caps on porches, piers, balcony railings, and chimneys.
 - (C) Contrasting wood trim between stories.
 - (D) Decorative casement windows.
 - (E) Decorative trim under enclosed eaves that emphasizes horizontal lines.
 - (F) Dormer centered on the front facade.
 - (G) Flattened pedestal urns at front entrance.
 - (H) Hipped dormer.
 - (I) Massive square masonry porch supports.
 - (J) Tiled roof.
 - (K) Window boxes.
- (3) Front porches.
- (A) A front porch is required.

- (B) The front porch must be a minimum of 50 percent of the width of the front facade.
- (C) Front porches must be open-air.
- (4) Materials.
 - (A) Prairie structures must be clad in brick, stone, wood or material that looks like wood, or a combination of these materials.
 - (B) Any materials used for remodeling must be appropriate to the Prairie style in type, color, coursing, joint detailing, mortaring, size, and texture.
- (5) Roofs.
 - (A) Prairie structures must have a hipped or side-gabled roof with low to moderate roof slope between 20 degrees and 40 degrees.
 - (B) The minimum roof overhang is 24 inches.
 - (C) The following roofing materials are allowed: clay tiles, composition shingles, slate tiles, standing seam metal, synthetic wood shingles, synthetic clay tiles, terra-cotta tiles, and wood shingles. The following roofing materials are not allowed: built-up and membrane.
- (6) Windows.
 - (A) Windows must be casement or double-hung and may have multi-pane upper sashes.
 - (B) Muntins and mullions must be expressed (have a profile).
 - (C) Windows must be typical of the Prairie style. See Exhibit B.
- (j) Architectural standards for Tudor structures.
 - (1) Applicability.
 - (A) Contributing Tudor structures are identified in Exhibit B.

- (B) New construction structures that are built in the Tudor style must comply with the following standards.
 - (C) Tudor structures that are remodeled must comply with the applicable standards for that portion of the structure being remodeled.
 - (D) These architectural standards apply only to the front facade and wrap-around.
- (2) Architectural features. The following architectural features must be maintained or duplicated. New construction structures that are built in the Tudor style must incorporate at least five of these features. See Exhibit B.
- (A) Arched front doorway.
 - (B) Chimney on the front facade with decorative patterns, twin flues, or chimney pots.
 - (C) Dormers with stained or leaded glass.
 - (D) Front porch with multiple round arches supported by columns.
 - (E) Overlapping steeply pitched cross gables with decorative half-timbering or verge board.
 - (F) Tall, narrow windows clustered in groups of three or more with stained glass, leaded glass, or multiple lights.
 - (G) Turned cast-stone front porch columns.
 - (H) Stone accents on porch columns, around doors and windows, or on the corners of the structure.
 - (I) Wooden front door.
- (3) Chimney. Tudor structures must have a massive exterior chimney of at least five feet in width on the front facade or wrap-around. See Exhibit B.
- (4) Front porches.

- (A) Front porches must be open-air.
 - (B) Front porches must be at least 25 percent and no more than 50 percent of the width of the front facade.
- (5) Materials.
- (A) Tudor structures must be clad in brick. Stone accents are allowed. Brick, stucco with wooden half-timbering, wood shingles, and wood siding are allowed in gables.
 - (B) Any materials used for remodeling must be appropriate to the Tudor style in type, color, coursing, joint detailing, mortaring, size, and texture.
- (6) Roofs.
- (A) Tudor structures must have a side-gabled roof with a steep roof slope between 45 degrees and 70 degrees.
 - (B) The maximum roof overhang is 12 inches.
 - (C) Tudor structures must have at least one front-facing gable.
 - (D) The following roofing materials are allowed: clay tiles, composition shingles, slate tiles, synthetic wood shingles, synthetic clay tiles, terra-cotta tiles, and wood shingles. The following roofing materials are not allowed: built-up, membrane, and standing seam metal.
 - (E) Copper roofing accents are allowed only on dormers and eyebrows of Tudor style structures.
- (7) Windows.
- (A) Windows must be double-hung or casement. Stained glass windows may be any type of fixed window.
 - (B) Windows must have multiple lights.
 - (C) Windows must be clear, stained glass, or leaded glass.

- (D) Muntins and mullions must be expressed (have a profile).
- (E) Windows must be typical of the Tudor style. See Exhibit B.

(k) Procedures.

(1) Review form applications. A review form application must be submitted to the Director for any exterior alteration of a front facade or wrap-around and for new construction.

(2) Work requiring a building permit.

(A) Upon receipt of a review form application for work requiring a building permit, the building official shall refer the review form application to the Director to determine whether the new construction or remodeling meets the standards of this ordinance. The review of the review form application by the Director must be completed within 30 days after submission of a complete review form application.

(B) If the Director determines that the new construction or remodeling complies with the standards of this ordinance, the Director shall approve the review form application, and forward it to the building official, who shall issue the building permit if all requirements of the construction codes and other applicable ordinances have been met.

(C) If the Director determines that the new construction or remodeling does not comply with the standards of this ordinance, the Director shall state in writing the specific requirements to be met before issuance of a building permit, deny the review form application, and forward it to the building official, who shall deny the building permit. The Director shall give written notice to the applicant stating the reasons for denial of the review form application. Notice is given by depositing the notice properly addressed and

postage paid in the United States mail. The notice to the applicant must be sent to the address shown on the review form application.

(3) Work not requiring a building permit.

- (A) For work not requiring a building permit, the applicant must submit a review form application. The Director shall determine whether the proposed new construction or remodeling meets the standards of this ordinance. The review of the review form application by the Director must be completed within 10 days after submission of the review form application.
- (B) If the Director determines that the new construction or remodeling complies with the standards of this ordinance, the Director shall approve the review form application and give written notice to the applicant.
- (C) If the Director determines that the new construction or remodeling does not comply with the standards of this ordinance, the Director shall state in writing the specific requirements to be met before an approval can be granted. The Director shall give written notice to the applicant stating the reasons for denial. Notice is given by depositing the notice properly addressed and postage paid in the United States mail. Notice to the applicant must be sent to the address shown on the review form application.

(4) Appeals.

- (A) An applicant may appeal any decision made by the Director to the board of adjustment. See Section 51A-4.703, "Board of Adjustment Hearing Procedures".
- (B) In considering the appeal, the sole issue before the board of adjustment is whether the Director erred in the decision. The board of adjustment shall consider the same standards that were required to be considered by the Director.
- (C) Appeal to the board of adjustment is the final administrative remedy.

EXHIBIT B

BELMONT ADDITION CONSERVATION DISTRICT CONCEPTUAL PLAN



FOR THE BENEFIT OF CONSERVING A DALLAS
NEIGHBORHOOD WITH A LARGE COLLECTION
OF EARLY TWENTIETH CENTURY
ARCHITECTURE

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INTRODUCTION

Located in the heart of one of the city's most desirable areas, the Belmont Addition neighborhood is a single-family community that has lots to offer. It has prime access to the bars, restaurants and shops on Lower Greenville that are within walking distance to many of the homes. As well, only a few blocks away are the leisure activities afforded by White Rock Lake. Proceeding down Greenville Avenue to Ross Avenue, downtown Dallas is only a five-minute drive away. Continuing on Greenville Avenue as it changes to Munger Avenue, Dallas' Fair Park is only a ten-minute drive from the neighborhood. All of these attractions can be reached without ever accessing a freeway.

But its location is only one reason that makes the neighborhood such an attractive area. This stable community is one of Dallas' oldest residential areas. With homes being built as early as 1910, this area has been a thriving community for many years. The neighborhood is part of the Lower Greenville Neighborhood Association. These properties contain a mixture of architectural styles and home sizes to suit the tastes and families of a diverse group of people.

THE BELMONT NEIGHBORHOOD

Belmont Addition is located approximately two miles north of downtown Dallas on the east side of North Central Expressway (U.S. 75 north). The area is generally bounded by Llano Avenue to the north, Skillman Street to the east, Belmont Avenue to the south and Greenville Avenue to the west. A map representing the area boundaries can be found in Appendix D.

Belmont Addition was named for August Belmont, Jr., the financier of the New York subway system. There are approximately 400 homes in the neighborhood's proposed boundaries. The majority of these homes were built between the years 1920 - 1950. This neighborhood was developed as an urban residential development just north of Dallas for the middle-class family.

THE ARCHITECTURE OF BELMONT ADDITION

The predominant type of architecture in the area is Craftsman. There are also significant numbers of Colonial Revival, Prairie, and Tudor styled homes. However, the area has many different styles of architecture that were typical of the early part of the century. Many of these styles are considered as "custom-built" styles today.

A conservation district was proposed by the property owners of the area to conserve the most common architectural styles of the neighborhood. As these homes continue to age and new owners move into the area, new homes of a more contemporary nature are replacing the older homes. The conservation district would require builders to construct new homes in the architectural styles of the area. It would also require builders to observe the existing setbacks and heights observed in the area, which are different from what is allowed by the city code. All of these regulations would serve to maintain the neighborhood's distinctive aesthetic appeal and charm crafted by nearly century-old houses.

THE AREA SURROUNDING BELMONT

Belmont Addition is surrounded by other single-family neighborhoods. Greenville Avenue south of Belmont Avenue has a number of popular bars, restaurants, and retail establishments that attract many people (locals and visitors to the city) to the area each week. The neighborhood is surrounded by many other neighborhoods that have turn-of-the-century architecture as well. Many of these neighborhoods are also seeking or have obtained conservation district status. These include the M Streets (Greenland Hills), the M Streets East (Greenville Crest), and Vickery Place. The Lower Greenville area also contains other features such as unique grocery stores, a senior citizen community complex, and specialty shops that make the area interesting. These attractions increase the desirability of this area.

ZONING AND LAND USE

The neighborhood zoning designation is R-7.5 (A). A section along Greenville Avenue also has a modified delta (MD-1) overlay. It is mostly developed with single-family houses on lots of approximately 7,500 square feet. However, there are some duplexes and multifamily uses throughout the area as well. There is also a fire station on the northwest corner of Belmont Avenue and Skillman Street.

NEIGHBORHOOD APPLICATION

Over the years, the property owners in Belmont Addition have witnessed new construction that is not characteristic of the present style of homes. Newer homes were often out of scale with the neighboring homes creating problems due to such issues as limited sunlight and invasion of privacy.

Property owners thus began seeking ways to have new construction and major remodeling conform to the characteristics of their area. Current zoning does not address architecture standards, only site standards. Thus it became necessary for the property owners to consider alternatives to maintain their neighborhood identity. After much consideration, it was agreed that a conservation district would be the most appropriate way to accomplish this goal.

To attain conservation district status, a neighborhood must submit an application to the City of Dallas. The Department of Development Services, which processes the application, requires at least 75% of the property owners be interested in the city conducting a feasibility study prior to accepting an application. This is typically accomplished by property owners in the area obtaining signatures on a petition.

A group of property owners began collecting signatures in the Fall of 2001. The boundaries were established as the 5700, 5800, 5900, and 6000 blocks of Llano, Velasco, Palo Pinto, Goliad, and Belmont Avenues (only the north side of the 5700 block of Belmont was included). After collecting the signatures, a package of information was assembled that included a listing of all of the property addresses, the architectural style of each home, a history of the neighborhood, and photographs of each house. Land use and zoning maps were also included as part of the application process. The original petitions were attached to the application.

The application was submitted in the spring of 2002. Upon determining the application was complete, city staff members began to look at the area to ensure that it met the four standards set

forth by the city code to be eligible for conservation district status: the area must contain at least one blockface, be either "stable" or "stabilizing", contain significant architectural or cultural attributes, and have a distinctive atmosphere or character which can be conserved by protecting or enhancing its architectural or cultural attributes.

Being certain that the application did meet the criteria established in the code, the city staff sent a letter to the applicants stating that it had been accepted and would be placed on the staff work plan. Because of the Department of Development Services policy of studying only two applications for a conservation district at a time, the authorization to study the area occurred in March of 2003.

PLANNING PROCESS BACKGROUND

After the authorization of the public hearing, the city staff began compiling data and information about the area. Work done by the neighborhood groups was reviewed and included with the study material examined by the staff. This included a neighborhood survey, returned by 20 percent of the property owners, which addressed issues of concern and potential solutions for the area. This background work was followed by community meetings held in the area to allow all interested property owners to express their opinions and concerns while reviewing information collected by the city staff.

Eight community meetings were held. The property owners within the area of the proposed conservation district as well as property owners 200 feet around the boundaries were invited to each of these meetings. The meetings began in April of 2003 and concluded in January of 2004. They were held at the Vickery Towers Retirement Community located on the corner of Belmont Avenue and Greenville Avenue adjacent to the proposed conservation district. Many people were able to walk to the meetings. An average of 35 people attended the meetings. In addition, others sent emails or made telephone calls to the city staff to express their opinions with regards to the proposals being made. The meeting presentations were placed on the city's website for the benefit of those unable to attend. Information was also mailed to individuals who requested it.

During the community meetings, everyone had multiple options to express their comments. First, they were allowed to make oral comments during the meeting. Second, they were given comment sheets at each meeting for written comments that could be given to city staff. Third, a contact sheet for staff was also a part of the packet of information which gave the staff members' name, telephone number, email address, physical address and fax number to allow property owners to contact the staff at any time they wished. A staff members' name and telephone number was also placed on the postcard notices sent out to every property owner in and around the district should they have had any questions regarding the upcoming meeting.

The following table gives a breakdown of the meeting dates, discussion topic(s) and attendance figure for each meeting:

Date	Discussion topic(s)	Attendance
April 22, 2003	Introduction to what a conservation district is	49
May 6, 2003	Architectural standards/heights, materials	48
June 10, 2003	Architectural standards/style, materials	40
July 15, 2003	Site standards/setbacks, driveways	29
September 23, 2003	Site standards/heights, lot coverage, demolition	21
November 18, 2003	General standards/parkways, paving, fencing	18
December 9, 2003	Review of draft standards and discussion	19
January 13, 2004	Presentation of draft ordinance and discussion	45

STAFF RECOMMENDATION

Based on the study of the area, the decisions made at the community meetings, and the responses from property owners, the staff recommends that the Belmont Addition neighborhood become a conservation district based on the following criteria specified in the enabling ordinance:

- The neighborhood contains at least one blockface.
- The neighborhood is stable.
- The neighborhood contains significant architectural and cultural attributes.
- The neighborhood has a distinctive atmosphere and character, which can be conserved by protecting its architectural and cultural attributes.

Other reasons for staff to recommend a conservation district for this area are:

- There has been strong community support.
- There is a collection of older architectural styles that are not being reproduced by homebuilders.
- There is one of the largest collections of Craftsman styled homes in the country.
- This is an area in the city where a large collection of original houses to the city with unique architecture, remain intact in one specific area.
- The front yard setbacks are greater than the minimum established by the city code under the current zoning.
- By establishing regulations for greater front yard setbacks and reduced heights, many mature trees, growing throughout the area, will be saved even with new construction.

DEVELOPMENT STANDARDS

Staff recommends the following standards to be implemented in the Belmont Addition neighborhood as the accepted standards for new homes, additions, and remodeling that occurs in the area. Where a specific issue is not addressed, the existing R-7.5 (A) standards are acceptable.

- 1) **Contributing styles** - CRAFTSMAN, TUDOR, COLONIAL REVIVAL, PRAIRIE, **and** the original style of home on a lot if different from the other four

[The four styles were selected because they represent the architecture most commonly found in the neighborhood. The fifth style is to allow for the re-building of original (1945 or earlier) architecture styles not prevalently found in the area but which add to the eclectic mix of the area. Remodeling of the fifth style should match the original architecture and is subject to review by staff with the use of guide books on architecture which feature the original style being renovated.]

- 2) **Front yard setbacks** - average of original (1945 and earlier) setbacks on the block
See Appendix C

- 3) **Side yard setbacks** - 5' on one side and 10' on the other
(for main structures)

- 4) **Side yard setbacks** - For structures 15' and under, no setback
(for accessory structures) For structures over 15', a 3' setback

- 5) **Rear yard setbacks** - 20' on Llano
(for main structures) 30' on Velasco
40' on Palo Pinto and Goliad
50' on Belmont

(varying setbacks are due to the increasing depths on the lots)

- 6) **Rear yard setbacks** - For structures 15' and under, a 3' setback
(for accessory structures) For structures over 15', a 5' setback

- 7) **Height of structures** - 30' maximum to the peak of a structure

- 8) **Lot coverage** - 40% for new construction and non-original structures
45% for original (1945 and earlier) structures

- 9) **Lot size** - minimum of 7,500 square feet

- 10) **Stories** - 2 for Colonial Revival, Craftsman, and Prairie
1½ for Tudor

- 11) **Driveways** - No circular driveways
Must have a driveway from the street or alley, but not both
Material may be concrete, brick, stone or like material
- 12) **Front yard fence** - Not allowed
- 13) **Side/rear yard fence** - Materials: brick/stone, chain link, wood, wrought iron
Height for side yard maximum 6'
Corner-side on Matilda, Skillman, & Greenville is a maximum of 9'
Height for rear yard maximum 9'
Location: fence to begin at least 5 feet from front the façade of home
- 14) **Foundations** - Must be raised at least 12"
- 15) **Porches** - minimum depth of 8'
- 16) **Retaining walls** - Height maximum is 6" above ground being retained
Material to be used is re-enforced masonry
- 17) **Garages** - Must be in rear of main structure
Can be attached or detached
Can have access from the alley
- 18) **Slope** - Property must maintain the slope
(This is to prevent the leveling of steep properties, which can create environmental concerns such as erosion and water run-off of other properties. It also prevents raising individual properties above neighboring properties, which can also present the same type of environmental concerns.)
- 19) **Walkways** - Must be constructed of brick, concrete, stone or similar material
- 20) **Windows** - Must be typical of the architectural style of the home
- 21) **Building materials** - regulated by style of architecture
(primarily the accepted materials will be brick, stone, stucco, and wood or like material)

ANALYSIS OF THE TOTAL AREA

The area consists of 15 identified architectural styles. The table below displays the identified styles and the number and percentage of each within the proposed district boundaries. Four of these styles were selected as contributing styles: Craftsman, Tudor, Colonial Revival, and Prairie.

Because of the diversity of styles in the area, it was decided that if a lot does not have one of the contributing styles, should the original (1945 or earlier) home be demolished, the owner could choose to build in either one of the contributing styles or the style that existed on the lot. Thus, it became the fifth contributing style. This allows the area to continue to have a diversity of architecture styles while conserving the more common styles.

No.	Architecture	Number	Percent
1	CRAFTSMAN	278	65%
2	TUDOR	46	11%
3	COLONIAL REVIVAL	27	6%
4	MINIMAL TRADITIONAL	17	4%
5	NEO-TUDOR	15	4%
6	PRAIRIE	14	3%
7	UNDEFINED STYLE	14	3%
8	MODERN	10	2%
9	SPANISH ECLECTIC	6	1%
10	ITALIAN RENAISSANCE	1	<1%
11	COMMERCIAL	1	<1%
12	NEOCLASSICAL	1	<1%
13	MISSION	1	<1%
14	MONTEREY	1	<1%
	TOTAL	432	100%

REQUIRED ELEMENTS FOR NEW CONSTRUCTION

Certain elements are required for each architectural style. These elements are required to ensure that each style is represented as adequately as possible to maintain the true characteristics of the architecture. Materials must be compatible to those that exist in the neighborhood today to ensure that new construction will fit into the neighborhood. On the following pages, examples of the required elements for each of the contributing architecture styles is displayed.

APPENDIX A

ARCHITECTURAL STYLES

EXAMPLES OF THE CONTRIBUTING
ARCHITECTURAL STYLES FOR THE
AREA

COLONIAL REVIVAL

Following are elements associated with this architectural style. New homes constructed in this style are required to have the elements listed. Homes remodeled in this style must comply with these standards for the elements being remodeled.

Building materials

Brick

Stone

Stucco

Wood

Materials that look like wood

A combination of these materials

Roofing characteristics:

Must be cross or side-gabled

Roof slope must be between 20 – 45 degrees

Hipped roofs are not allowed on this style

Maximum overhang of 24”

Roof materials

Allowed:

Clay tiles, composition shingles, slate tiles, synthetic clay tiles, synthetic wood shingles, terracotta tiles, wood shingles

Not allowed:

Built-up, metal, and membrane

Windows:

Must be double-hung with multiple-light upper sashes

Must be vertical rectangular shaped

Glass must be clear or leaded on front façade

Expressed mullions

Optional features:

At least six of the following must be incorporated into the home:

- 1) Centered front gable
- 2) Decorative cornices
- 3) Double-hung windows grouped in pairs and with multiple lights in one or both of the sashes
- 4) Front entry feature with decorative (crown) pediment supported by pilasters or extended forward and supported by slender columns
- 5) Pair of carriage lights flanking the front main entrance
- 6) Sidelights or fanlight around the main entrance
- 7) Slender chimney with simple design
- 8) Symmetrical fenestration on the front façade with a centered front main entrance
- 9) Symmetrical dormers on the front façade roof
- 10) Wooden shutters

COLONIAL REVIVAL CHARACTERISTICS

Centered front gable

Chimney



Centered front main entrance with symmetrically balanced windows

Wooden shutters



Front entry porch with pilasters or columns

CRAFTSMAN

Following are elements associated with this architectural style. New homes constructed in this style are required to have the elements listed. Homes remodeled in this style must comply with these standards for the elements being remodeled.

Building materials

Brick

Wood

Stone accents allowed, Stucco allowed in gables only

Materials that look like wood

A combination of these materials

Front porches:

Porch must be at least 50% of the front façade, porch must be open-air

Must be supported by wood square or tapered columns with a brick or stone base

May have a balustrade or railing of wood or materials matching the front façade

Must have a Craftsman front door

Roofing characteristics:

Must be cross, front-gabled or side-gabled, and have exposed rafter tails and beadboard under eaves. Roof slope must be between 20 – 30 degrees.

Minimum roof overhang of at least 24 inches

Roof materials:

Allowed: clay tiles, composition shingles, slate tiles, standing seam metal, synthetic clay tiles, synthetic wood shingles, terra-cotta tiles, and wood shingles

Not allowed: built-up and membrane

Windows:

Must be casement, double-hung with 1-over-1 or multi-paned lights, or mission styled

Must be grouped in clusters of two or three and have expressed muntins and mullions

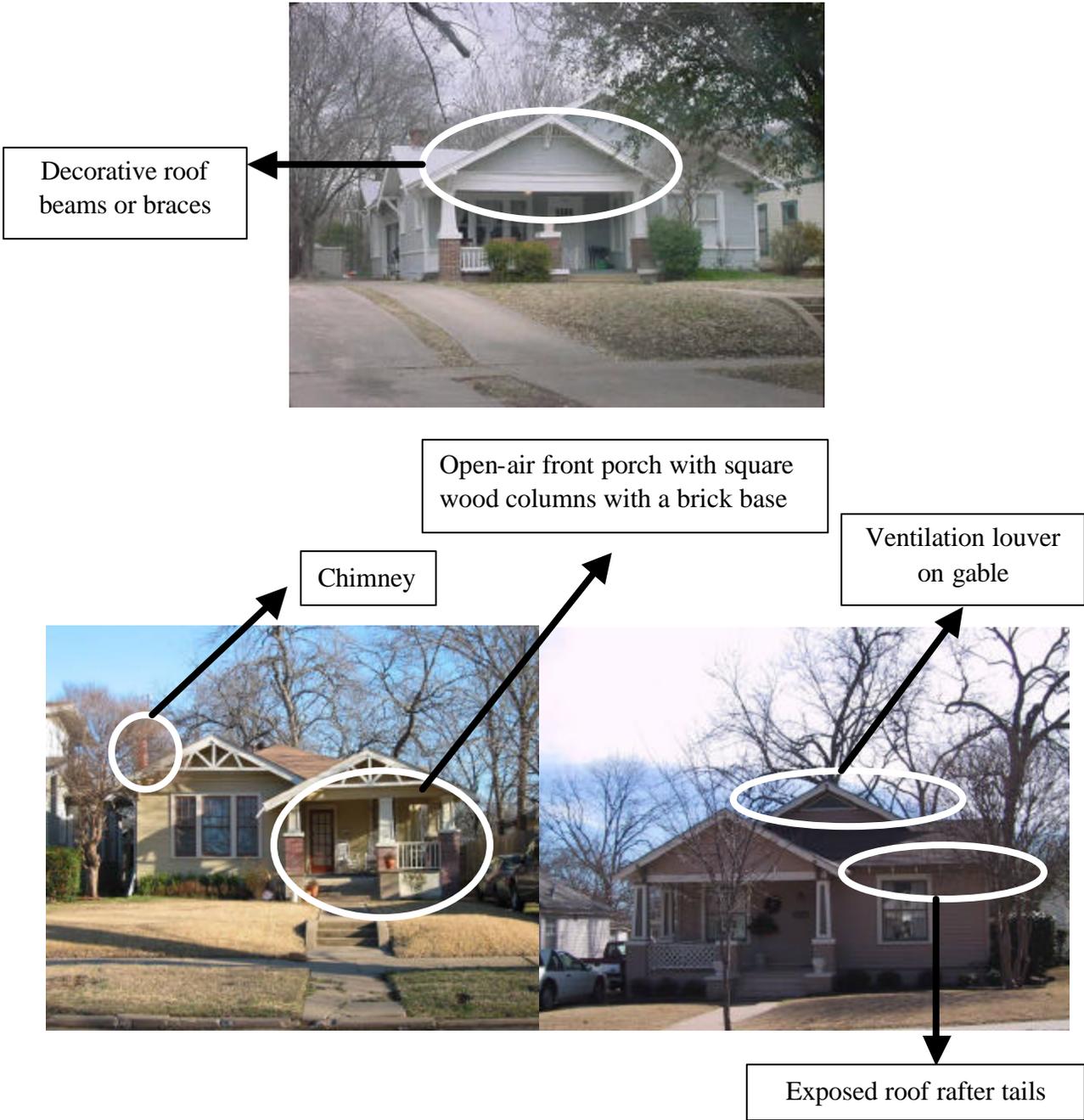
Stained glass windows are permitted

Optional features:

At least six of the following must be incorporated into the home:

- 1) Brick or stone exterior chimney
- 2) Decorative beams or braces under the gables
- 3) Gabled dormers
- 4) Half-timbering detail on gables
- 5) Porte cochere
- 6) Separate front porch roof structure with a separate front gable
- 7) Small, high windows on each side of an exterior chimney
- 8) Small window on gable
- 9) Solid balustrade of brick or wood on the front porch
- 10) Ventilation louvers on gable
- 11) Window boxes

CRAFTSMAN CHARACTERISTICS



PRAIRIE

Following are elements associated with this architectural style. New homes constructed in this style are required to have the elements listed. Homes remodeled in this style must comply with these standards for the elements being remodeled.

Building materials

Brick

Stone

Wood

Materials that look like wood

A combination of these materials

Front porches:

Porch must be minimum of 50% of the front façade

Porch must be open-air

Roofing characteristics:

Must be hipped or side-gabled

Roof slope must be between 20 – 40 degrees

Minimum roof overhang of at least 24 inches

Roof materials:

Allowed: clay tiles, composition shingles, slate tiles, standing seam metal, synthetic wood shingles, synthetic clay tiles, terra-cotta tiles, and wood shingles.

Not allowed: built-up and membrane

Windows:

Must be casement or double-hung

May have multi-pane upper sashes with single-pane lower sash

Must have expressed muntins and mullions

Should be placed symmetrically along front façade

Optional features:

At least six of the following must be incorporated into the home:

- 1) Broad, short interior chimney
- 2) Contrasting caps on porches, piers, balcony railings, and chimneys
- 3) Contrasting wood trim between stories
- 4) Decorative casement windows
- 5) Decorative trim under enclosed eaves that emphasizes horizontal lines
- 6) Dormer centered on front façade
- 7) Flattened pedestal urns at front entrance
- 8) Hipped dormer
- 9) Massive square masonry porch supports
- 10) Tiled roof
- 11) Window boxes

PRAIRIE CHARACTERISTICS



Massive square porch supports

Roof overhang of at least 24"

Broad flat chimney

Hipped roof



Full-width front porch

TUDOR

Following are elements associated with this architectural style. New homes constructed in this style are required to have the elements listed. Homes remodeled in this style must comply with these standards for the elements being remodeled.

Building materials

Brick

Stone accents (only)

Stucco with wood half timbering allowed in gables

Wood shingles or wood siding allowed in gables

Front porches:

Porch must be at least 25 % and no more than 50% of front façade

Porch must be open-air

Roofing characteristics:

Must be side-gabled

Roof slope must be between 45 – 70 degrees

Maximum roof overhang of at 12 inches

Must have at least one front-facing gable

Roof materials:

Allowed: clay tiles, composition shingles, slate tiles, synthetic wood shingles, synthetic clay tiles, terra-cotta tiles, and wood shingles

Not allowed: built-up, membrane, and standing seam metal

Windows:

Must be casement or double-hung and must have multiple lights

Must have expressed muntins and mullions

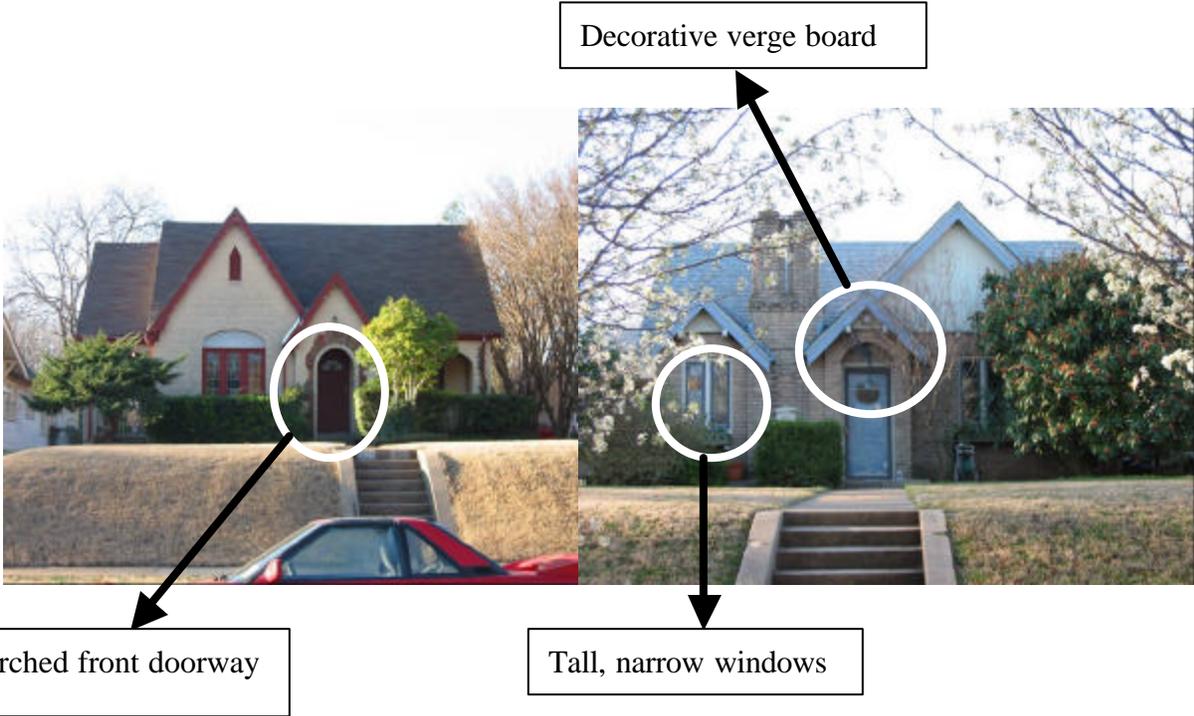
Glass must be clear, leaded, or stained. Stained glass windows may be any type of fixed window.

Optional features:

At least five of the following must be incorporated into the home:

- 1) Arched front doorway
- 2) Chimney with decorative patterns, twin flues, or chimney pots on front façade
- 3) Dormers with stained or leaded glass
- 4) Front porch with multiple round arches supported by columns
- 5) Overlapping steeply pitched cross gables with decorative half-timbering or verge board
- 6) Tall, narrow windows clustered in groups of three or more with stained glass, leaded glass, or multiple lights
- 7) Turned cast-stone front porch columns
- 8) Stone accents on porch columns, around doors and windows, or on the corners of the structure
- 9) Wooden front door

TUDOR CHARACTERISTICS



APPENDIX B

PROPERTY LISTINGS FOR THE BELMONT ADDITION NEIGHBORHOOD

(FY setbacks measured from inside edge of sidewalk to front façade; vacant lots and non-original homes setbacks are not included)

Address	Landuse	Architecture Style	FY Setback (in feet)	Year
5701 BELMONT	SINGLE FAMILY	MISSION	68	1918
5711 BELMONT	SINGLE FAMILY	CRAFTSMAN	67	1916
5715 BELMONT	SINGLE FAMILY	CRAFTSMAN	67	1926
5719 BELMONT	SINGLE FAMILY	COLONIAL REVIVAL	67	1925
5727 BELMONT	SINGLE FAMILY	CRAFTSMAN	67	1915
5729 BELMONT	SINGLE FAMILY	TUDOR	74	1923
5733 BELMONT	SINGLE FAMILY	CRAFTSMAN	70	1923
5735 BELMONT	SINGLE FAMILY	CRAFTSMAN	70	1949
5739 BELMONT	SINGLE FAMILY	NEOCLASSICAL	70	1910
5800 BELMONT	SINGLE FAMILY	CRAFTSMAN	46	1918
5803 BELMONT	SINGLE FAMILY	MINIMAL TRADITIONAL	73	1938
5805 BELMONT	SINGLE FAMILY	MINIMAL TRADITIONAL	73	1938
5806 BELMONT	SINGLE FAMILY	CRAFTSMAN	43	1926
5807 BELMONT	SINGLE FAMILY	MODERN	60	1988
5808 BELMONT	SINGLE FAMILY	CRAFTSMAN	45	1926
5814 BELMONT	DUPLEX	COLONIAL REVIVAL	50	1926
5815 BELMONT	SINGLE FAMILY	TUDOR	73	1926
5818 BELMONT	DUPLEX	CRAFTSMAN	50	1926
5819 BELMONT	SINGLE FAMILY	SPANISH ECLECTIC	79	1979
5822 BELMONT	SINGLE FAMILY	CRAFTSMAN	44	1926
5823 BELMONT	SINGLE FAMILY	NEO-TUDOR	69	1979
5825 BELMONT	SINGLE FAMILY	CRAFTSMAN	67	1918
5826 BELMONT	SINGLE FAMILY	CRAFTSMAN	44	1926
5829 BELMONT	SINGLE FAMILY	CRAFTSMAN	69	1918
5830 BELMONT	SINGLE FAMILY	CRAFTSMAN	43	1926
5833 BELMONT	SINGLE FAMILY	CRAFTSMAN	67	1920
5834 BELMONT	SINGLE FAMILY	CRAFTSMAN	41	1926
5837 BELMONT	SINGLE FAMILY	CRAFTSMAN	68	1919
5838 BELMONT	SINGLE FAMILY	CRAFTSMAN	38	1926
5840 BELMONT	SINGLE FAMILY	CRAFTSMAN	42	1922
5841 BELMONT	SINGLE FAMILY	CRAFTSMAN	71	1920
5844 BELMONT	SINGLE FAMILY	CRAFTSMAN	42	1926
5845 BELMONT	DUPLEX	CRAFTSMAN	69	1916
5901 BELMONT	MULTIFAMILY	COLONIAL REVIVAL	45	1926
5902 BELMONT	SINGLE FAMILY	CRAFTSMAN	46	1920
5904 BELMONT	SINGLE FAMILY	PRAIRIE	45	1914
5905 BELMONT	SINGLE FAMILY	CRAFTSMAN	42	1926
5908 BELMONT	SINGLE FAMILY	CRAFTSMAN	45	1918
5911 BELMONT	SINGLE FAMILY	CRAFTSMAN	42	1926
5912 BELMONT	SINGLE FAMILY	CRAFTSMAN	46	1926
5916 BELMONT	SINGLE FAMILY	CRAFTSMAN	43	1921
5919 BELMONT	SINGLE FAMILY	CRAFTSMAN	44	1926
5922 BELMONT	SINGLE FAMILY	TUDOR	46	1926
5923 BELMONT	SINGLE FAMILY	TUDOR	43	1980
5925 BELMONT	DUPLEX	CRAFTSMAN	51	1926
5926 BELMONT	SINGLE FAMILY	CRAFTSMAN	45	1926
5929 BELMONT	SINGLE FAMILY	CRAFTSMAN	45	1926
5930 BELMONT	SINGLE FAMILY	CRAFTSMAN	43	1925

Address	Landuse	Architecture Style	FY Setback (in feet)	Year
5934 BELMONT	SINGLE FAMILY	CRAFTSMAN	40	1923
5935 BELMONT	SINGLE FAMILY	CRAFTSMAN	46	1926
5938 BELMONT	SINGLE FAMILY	CRAFTSMAN	45	1922
5939 BELMONT	SINGLE FAMILY	CRAFTSMAN	47	1926
5941 BELMONT	SINGLE FAMILY	NON-CONTRIBUTING	43	2000
5942 BELMONT	SINGLE FAMILY	NON-CONTRIBUTING	41	1999
5945 BELMONT	SINGLE FAMILY	NON-CONTRIBUTING	65	1963
5946 BELMONT	SINGLE FAMILY	TUDOR	44	1926
6002 BELMONT	SINGLE FAMILY	TUDOR	47	1926
6003 BELMONT	SINGLE FAMILY	CRAFTSMAN	39	1930
6006 BELMONT	SINGLE FAMILY	NON-CONTRIBUTING	46	2001
6007 BELMONT	SINGLE FAMILY	CRAFTSMAN	44	1926
6010 BELMONT	SINGLE FAMILY	CRAFTSMAN	49	1922
6011 BELMONT	SINGLE FAMILY	CRAFTSMAN	43	1926
6014 BELMONT	SINGLE FAMILY	NON-CONTRIBUTING	49	1983
6015 BELMONT	SINGLE FAMILY	CRAFTSMAN	44	1926
6016-8BELMONT	DUPLEX	NON-CONTRIBUTING	49	1955
6019 BELMONT	SINGLE FAMILY	CRAFTSMAN	44	1926
6021 BELMONT	DUPLEX	CRAFTSMAN	44	1926
6022 BELMONT	SINGLE FAMILY	CRAFTSMAN	42	1924
6026- BELMONT	DUPLEX	COLONIAL REVIVAL	46	1924
6027 BELMONT	SINGLE FAMILY	CRAFTSMAN	45	1926
6030 BELMONT	DUPLEX	CRAFTSMAN	46	1924
6031 BELMONT	SINGLE FAMILY	CRAFTSMAN	45	1926
6033- BELMONT	SINGLE FAMILY	CRAFTSMAN	35	1926
6034 BELMONT	SINGLE FAMILY	CRAFTSMAN	48	1985
6036 BELMONT	DUPLEX	CRAFTSMAN	46	1926
6042 BELMONT	SINGLE FAMILY	CRAFTSMAN	39	1926
6045 BELMONT	INSTITUTIONAL	COMMERCIAL		1980
6046 BELMONT	MULTIFAMILY	CRAFTSMAN	39	1927

Address	Landuse	Architecture Style	FY Setback (in feet)	Year	
5702	GOLIAD	SINGLE FAMILY	COLONIAL REVIVAL	38	1924
5703	GOLIAD	SINGLE FAMILY	TUDOR	51	1925
5706	GOLIAD	SINGLE FAMILY	NON-CONTRIBUTING	42	1998
5708	GOLIAD	SINGLE FAMILY	CRAFTSMAN	41	1918
5711	GOLIAD	SINGLE FAMILY	PRAIRIE	44	1921
5712	GOLIAD	SINGLE FAMILY	PRAIRIE	42	1915
5715	GOLIAD	SINGLE FAMILY	CRAFTSMAN	44	1931
5716	GOLIAD	DUPLEX	MONTEREY	49	1935
5720	GOLIAD	SINGLE FAMILY	CRAFTSMAN	42	1924
5724	GOLIAD	SINGLE FAMILY	NON-CONTRIBUTING	34	1978
5725	GOLIAD	SINGLE FAMILY	CRAFTSMAN	44	1920
5728	GOLIAD	SINGLE FAMILY	COLONIAL REVIVAL	39	1920
5729	GOLIAD	SINGLE FAMILY	CRAFTSMAN	44	1920
5732	GOLIAD	SINGLE FAMILY	CRAFTSMAN	42	1925
5733	GOLIAD	SINGLE FAMILY	NON-CONTRIBUTING	84	1925
5736	GOLIAD	SINGLE FAMILY	PRAIRIE	41	1924
5741	GOLIAD	SINGLE FAMILY	COLONIAL REVIVAL	54	1925
5744	GOLIAD	SINGLE FAMILY	PRAIRIE	50	1910
5745	GOLIAD	SINGLE FAMILY	TUDOR	53	1925
5800	GOLIAD	SINGLE FAMILY	NON-CONTRIBUTING	44	1985
5803	GOLIAD	SINGLE FAMILY	CRAFTSMAN	34	1916
5804	GOLIAD	SINGLE FAMILY	NON-CONTRIBUTING	45	1988
5807	GOLIAD	SINGLE FAMILY	CRAFTSMAN	41	1926
5808	GOLIAD	SINGLE FAMILY	PRAIRIE	42	1916
5811	GOLIAD	SINGLE FAMILY	CRAFTSMAN	41	1925
5812	GOLIAD	SINGLE FAMILY	CRAFTSMAN	41	1918
5815	GOLIAD	SINGLE FAMILY	CRAFTSMAN	41	1921
5816	GOLIAD	SINGLE FAMILY	CRAFTSMAN	43	1918
5819	GOLIAD	SINGLE FAMILY	CRAFTSMAN	41	1925
5820	GOLIAD	SINGLE FAMILY	CRAFTSMAN	43	1916
5821	GOLIAD	SINGLE FAMILY	CRAFTSMAN	41	1925
5824	GOLIAD	SINGLE FAMILY	CRAFTSMAN	43	1916
5825	GOLIAD	SINGLE FAMILY	CRAFTSMAN	42	1917
5828	GOLIAD	SINGLE FAMILY	CRAFTSMAN	42	1916
5829	GOLIAD	SINGLE FAMILY	NON-CONTRIBUTING	43	1999
5832	GOLIAD	SINGLE FAMILY	CRAFTSMAN	43	1913
5833	GOLIAD	DUPLEX	CRAFTSMAN	45	1922
5836	GOLIAD	SINGLE FAMILY	CRAFTSMAN	43	1920
5839	GOLIAD	SINGLE FAMILY	CRAFTSMAN	43	1920
5840	GOLIAD	SINGLE FAMILY	CRAFTSMAN	42	1920
5843	GOLIAD	SINGLE FAMILY	CRAFTSMAN	43	1925
5845	GOLIAD	SINGLE FAMILY	CRAFTSMAN	44	1925
5846	GOLIAD	SINGLE FAMILY	CRAFTSMAN	42	1924
5902	GOLIAD	DUPLEX	CRAFTSMAN	42	1926
5903	GOLIAD	SINGLE FAMILY	CRAFTSMAN	42	1929
5906	GOLIAD	SINGLE FAMILY	TUDOR	50	1926
5909	GOLIAD	SINGLE FAMILY	SPANISH ECLECTIC	42	1929
5910	GOLIAD	SINGLE FAMILY	CRAFTSMAN	42	1926

Address	Landuse	Architecture Style	FY Setback (in feet)	Year
5911 GOLIAD	SINGLE FAMILY	CRAFTSMAN	43	1929
5912 GOLIAD	SINGLE FAMILY	COLONIAL REVIVAL	40	1926
5919 GOLIAD	SINGLE FAMILY	COLONIAL REVIVAL	47	1929
5920 GOLIAD	DUPLEX	TUDOR	50	1929
5923 GOLIAD	SINGLE FAMILY	TUDOR	51	1929
5924 GOLIAD	DUPLEX	TUDOR	49	1926
5927 GOLIAD	SINGLE FAMILY	CRAFTSMAN	42	1929
5930 GOLIAD	SINGLE FAMILY	CRAFTSMAN	42	1926
5931 GOLIAD	SINGLE FAMILY	CRAFTSMAN	38	1929
5934 GOLIAD	SINGLE FAMILY	TUDOR	49	1926
5935 GOLIAD	MULTIFAMILY	NON-CONTRIBUTING	49	1929
5936 GOLIAD	SINGLE FAMILY	CRAFTSMAN	44	1926
5939 GOLIAD	SINGLE FAMILY	CRAFTSMAN	36	1929
5940 GOLIAD	DUPLEX	CRAFTSMAN	120	1926
5946 GOLIAD	SINGLE FAMILY	CRAFTSMAN	53	1926
5947 GOLIAD	SINGLE FAMILY	COLONIAL REVIVAL	45	1929
6000 GOLIAD	DUPLEX	CRAFTSMAN	35	1926
6001 GOLIAD	DUPLEX	TUDOR	45	1927
6006 GOLIAD	SINGLE FAMILY	CRAFTSMAN	37	1926
6007 GOLIAD	SINGLE FAMILY	NON-CONTRIBUTING	49	1948
6008 GOLIAD	SINGLE FAMILY	CRAFTSMAN	36	1926
6011 GOLIAD	SINGLE FAMILY	NON-CONTRIBUTING	39	1946
6012 GOLIAD	SINGLE FAMILY	CRAFTSMAN	38	1926
6015 GOLIAD	SINGLE FAMILY	COLONIAL REVIVAL	36	1923
6018 GOLIAD	SINGLE FAMILY	CRAFTSMAN	36	1926
6019 GOLIAD	SINGLE FAMILY	CRAFTSMAN	37	1923
6022 GOLIAD	SINGLE FAMILY	CRAFTSMAN	36	1926
6023 GOLIAD	SINGLE FAMILY	CRAFTSMAN	37	1923
6026 GOLIAD	SINGLE FAMILY	CRAFTSMAN	36	1926
6027 GOLIAD	SINGLE FAMILY	CRAFTSMAN	41	1923
6030 GOLIAD	SINGLE FAMILY	CRAFTSMAN	29	1926
6031 GOLIAD	SINGLE FAMILY	CRAFTSMAN	44	1923
6034 GOLIAD	SINGLE FAMILY	CRAFTSMAN	37	1926
6035 GOLIAD	SINGLE FAMILY	CRAFTSMAN	37	1923
6038 GOLIAD	SINGLE FAMILY	NON-CONTRIBUTING	36	2001
6039 GOLIAD	SINGLE FAMILY	CRAFTSMAN	44	1923
6040 GOLIAD	SINGLE FAMILY	CRAFTSMAN	30	1926
6043 GOLIAD	SINGLE FAMILY	CRAFTSMAN	35	1923
6046 GOLIAD	SINGLE FAMILY	MINIMAL TRADITIONAL	30	1930
6047 GOLIAD	SINGLE FAMILY	MINIMAL TRADITIONAL	45	1927

Address	Landuse	Architecture Style	FY Setback (in feet)	Year
5702 LLANO	MULTIFAMILY	TUDOR	33	1927
5706 LLANO	SINGLE FAMILY	CRAFTSMAN	29	1921
5710 LLANO	SINGLE FAMILY	CRAFTSMAN		1922
5717 LLANO	SINGLE FAMILY	TUDOR	34	
5718- LLANO	DUPLEX	CRAFTSMAN	27	1926
5722 LLANO	SINGLE FAMILY	CRAFTSMAN		1923
5723 LLANO	SINGLE FAMILY	CRAFTSMAN	33	1925
5726 LLANO	SINGLE FAMILY	PRAIRIE	25	1923
5727 LLANO	SINGLE FAMILY	CRAFTSMAN	31	1923
5730 LLANO	SINGLE FAMILY	CRAFTSMAN	31	1923
5731 LLANO	SINGLE FAMILY	CRAFTSMAN	29	1922
5732 LLANO	SINGLE FAMILY	CRAFTSMAN	30	1923
5735 LLANO	SINGLE FAMILY	CRAFTSMAN	27	1926
5738 LLANO	SINGLE FAMILY	CRAFTSMAN	24	1923
5739 LLANO	SINGLE FAMILY	CRAFTSMAN	28	1924
5740 LLANO	SINGLE FAMILY	CRAFTSMAN	26	1926
5743 LLANO	SINGLE FAMILY	CRAFTSMAN	28	1925
5745 LLANO	SINGLE FAMILY	NON-CONTRIBUTING	27	2000
5746 LLANO	DUPLEX	CRAFTSMAN	27	1918
5803 LLANO	SINGLE FAMILY	CRAFTSMAN	24	1926
5806 LLANO	SINGLE FAMILY	NON-CONTRIBUTING	27	1986
5807 LLANO	SINGLE FAMILY	CRAFTSMAN	31	1926
5809 LLANO	DUPLEX	CRAFTSMAN	23	DUP
5810 LLANO	SINGLE FAMILY	CRAFTSMAN	25	1921
5813 LLANO	DUPLEX	TUDOR	30	1927
5818 LLANO	SINGLE FAMILY	NON-CONTRIBUTING	24	1955
5821 LLANO	DUPLEX	CRAFTSMAN	31	1928
5823 LLANO	SINGLE FAMILY	CRAFTSMAN	29	1925
5824 LLANO	SINGLE FAMILY	CRAFTSMAN		1921
5826 LLANO	SINGLE FAMILY	CRAFTSMAN	27	1921
5827 LLANO	SINGLE FAMILY	NON-CONTRIBUTING	27	2001
5828 LLANO	SINGLE FAMILY	CRAFTSMAN	23	1921
5829 LLANO	SINGLE FAMILY	TUDOR	31	1926
5832 LLANO	DUPLEX	CRAFTSMAN	28	1923
5835 LLANO	SINGLE FAMILY	CRAFTSMAN	26	1927
5836- LLANO	DUPLEX	NON-CONTRIBUTING	24	1938
5839 LLANO	DUPLEX	CRAFTSMAN	30	1926
5842 LLANO	SINGLE FAMILY	COLONIAL REVIVAL	21	1923
5843 LLANO	SINGLE FAMILY	CRAFTSMAN	25	1927
5846 LLANO	SINGLE FAMILY	CRAFTSMAN	27	1921
5847 LLANO	SINGLE FAMILY	COLONIAL REVIVAL	99	1926
5900-2LLANO	DUPLEX	TUDOR	41	1926
5901 LLANO	MULTIFAMILY	COLONIAL REVIVAL	26	1926
5904-6LLANO	DUPLEX	TUDOR	40	1926
5907 LLANO	SINGLE FAMILY	TUDOR	35	1926
5910 LLANO	SINGLE FAMILY	COLONIAL REVIVAL	37	1924
5911 LLANO	SINGLE FAMILY	TUDOR	35	1926
5912 LLANO	DUPLEX	SPANISH ECLECTIC	35	1926

Address	Landuse	Architecture Style	FY Setback (in feet)	Year
5915 LLANO	SINGLE FAMILY	NON-CONTRIBUTING	40	1947
5918 LLANO	SINGLE FAMILY	SPANISH ECLECTIC	40	1926
5919 LLANO	SINGLE FAMILY	CRAFTSMAN	100	1926
5921 LLANO	SINGLE FAMILY	COLONIAL REVIVAL	35	1926
5922 LLANO	SINGLE FAMILY	CRAFTSMAN	41	1925
5926 LLANO	SINGLE FAMILY	COLONIAL REVIVAL	35	1925
5927 LLANO	SINGLE FAMILY	COLONIAL REVIVAL	30	1926
5929 LLANO	DUPLEX	CRAFTSMAN	26	1924
5930 LLANO	DUPLEX	PRAIRIE	31	1924
5934 LLANO	SINGLE FAMILY	CRAFTSMAN	35	1924
5935 LLANO	SINGLE FAMILY	NON-CONTRIBUTING	26	1998
5937 LLANO	DUPLEX	TUDOR	28	1926
5938 LLANO	SINGLE FAMILY	TUDOR	43	1925
5940 LLANO	DUPLEX	CRAFTSMAN	33	1926
5943 LLANO	DUPLEX	CRAFTSMAN	26	1926
5946 LLANO	SINGLE FAMILY	CRAFTSMAN	24	1925
5947 LLANO	SINGLE FAMILY	CRAFTSMAN	41	1986
6001 LLANO	SINGLE FAMILY	CRAFTSMAN	30	1924
6002 LLANO	SINGLE FAMILY	CRAFTSMAN	35	1923
6006 LLANO	SINGLE FAMILY	CRAFTSMAN	35	1925
6007 LLANO	SINGLE FAMILY	COLONIAL REVIVAL	31	1925
6008 LLANO	DUPLEX	TUDOR	35	1922
6011 LLANO	SINGLE FAMILY	MINIMAL TRADITIONAL	50	1942
6013- LLANO	DUPLEX	NON-CONTRIBUTING		
6014 LLANO	SINGLE FAMILY	TUDOR	30	1928
6017 LLANO	SINGLE FAMILY	NON-CONTRIBUTING	34	1948
6018 LLANO	SINGLE FAMILY	CRAFTSMAN	28	1925
6020- LLANO	DUPLEX	CRAFTSMAN	30	1924
6021 LLANO	SINGLE FAMILY	CRAFTSMAN	29	1942
6025- LLANO	MULTIFAMILY	TUDOR	34	1926
6026 LLANO	SINGLE FAMILY	NON-CONTRIBUTING	27	2000
6030 LLANO	SINGLE FAMILY	CRAFTSMAN	27	1924
6031 LLANO	SINGLE FAMILY	TUDOR	29	1920
6034 LLANO	SINGLE FAMILY	CRAFTSMAN	25	1922
6035 LLANO	SINGLE FAMILY	TUDOR	32	1928
6037 LLANO	SINGLE FAMILY	NON-CONTRIBUTING	26	2000
6038 LLANO	DUPLEX	CRAFTSMAN	23	1923
6042 LLANO	SINGLE FAMILY	COLONIAL REVIVAL	25	1924
6043 LLANO	SINGLE FAMILY	MINIMAL TRADITIONAL	32	1942
6046 LLANO	SINGLE FAMILY	NON-CONTRIBUTING	29	2001
6047 LLANO	SINGLE FAMILY	CRAFTSMAN	32	1942

Address	Landuse	Architecture Style	FY Setback (in feet)	Year	
5702	PALO PINTO	SINGLE FAMILY	PRAIRIE	40	1914
5703	PALO PINTO	SINGLE FAMILY	CRAFTSMAN	43	1923
5705	PALO PINTO	SINGLE FAMILY	COLONIAL REVIVAL	47	1929
5711	PALO PINTO	SINGLE FAMILY	CRAFTSMAN	50	1922
5712	PALO PINTO	SINGLE FAMILY	CRAFTSMAN		1987
5715	PALO PINTO	SINGLE FAMILY	CRAFTSMAN	42	1929
5716	PALO PINTO	SINGLE FAMILY	CRAFTSMAN	43	1920
5718	PALO PINTO	SINGLE FAMILY	CRAFTSMAN	41	1922
5719	PALO PINTO	SINGLE FAMILY	CRAFTSMAN	42	1920
5722	PALO PINTO	SINGLE FAMILY	CRAFTSMAN	40	1923
5723	PALO PINTO	SINGLE FAMILY	CRAFTSMAN	42	1926
5728	PALO PINTO	SINGLE FAMILY	CRAFTSMAN	41	1925
5729	PALO PINTO	SINGLE FAMILY	PRAIRIE	43	1929
5734	PALO PINTO	SINGLE FAMILY	CRAFTSMAN	39	1920
5737	PALO PINTO	SINGLE FAMILY	CRAFTSMAN	48	1929
5740	PALO PINTO	SINGLE FAMILY	CRAFTSMAN	38	1923
5746	PALO PINTO	SINGLE FAMILY	CRAFTSMAN	36	1923
5747	PALO PINTO	DUPLEX	COLONIAL REVIVAL	44	1923
5800	PALO PINTO	SINGLE FAMILY	CRAFTSMAN	39	1926
5801	PALO PINTO	SINGLE FAMILY	CRAFTSMAN	47	1921
5806	PALO PINTO	SINGLE FAMILY	NON-CONTRIBUTING		1947
5807	PALO PINTO	SINGLE FAMILY	CRAFTSMAN	51	1932
5808	PALO PINTO	SINGLE FAMILY	CRAFTSMAN	44	1926
5811	PALO PINTO	SINGLE FAMILY	CRAFTSMAN		1921
5812	PALO PINTO	SINGLE FAMILY	CRAFTSMAN	44	1916
5815	PALO PINTO	SINGLE FAMILY	CRAFTSMAN	47	1927
5818	PALO PINTO	SINGLE FAMILY	COLONIAL REVIVAL	40	1922
5819	PALO PINTO	SINGLE FAMILY	CRAFTSMAN	48	1923
5820	PALO PINTO	SINGLE FAMILY	CRAFTSMAN	40	1925
5823	PALO PINTO	MULTIFAMILY	CRAFTSMAN	46	1921
5826	PALO PINTO	SINGLE FAMILY	NON-CONTRIBUTING		1999
5827	PALO PINTO	SINGLE FAMILY	CRAFTSMAN	46	1921
5831	PALO PINTO	SINGLE FAMILY	NON-CONTRIBUTING		2001
5834	PALO PINTO	SINGLE FAMILY	CRAFTSMAN	41	1921
5835	PALO PINTO	SINGLE FAMILY	CRAFTSMAN		1922
5838	PALO PINTO	SINGLE FAMILY	CRAFTSMAN	40	1920
5839	PALO PINTO	SINGLE FAMILY	CRAFTSMAN	45	1921
5840	PALO PINTO	SINGLE FAMILY	CRAFTSMAN	40	1925
5846	PALO PINTO	SINGLE FAMILY	CRAFTSMAN	44	1921
5847	PALO PINTO	SINGLE FAMILY	TUDOR	53	1923
5901	PALO PINTO	SINGLE FAMILY	PRAIRIE	46	1922
5902	PALO PINTO	SINGLE FAMILY	CRAFTSMAN	41	1930
5906	PALO PINTO	SINGLE FAMILY	CRAFTSMAN	37	1929
5909	PALO PINTO	SINGLE FAMILY	CRAFTSMAN	47	1925
5910	PALO PINTO	SINGLE FAMILY	CRAFTSMAN	39	1929
5914	PALO PINTO	SINGLE FAMILY	NON-CONTRIBUTING		1994
5915	PALO PINTO	SINGLE FAMILY	CRAFTSMAN	53	1923
5917	PALO PINTO	SINGLE FAMILY	TUDOR	47	1923

Address	Landuse	Architecture Style	FY Setback (in feet)	Year
5920 PALO PINTO	SINGLE FAMILY	COLONIAL REVIVAL	36	1929
5923 PALO PINTO	SINGLE FAMILY	NON-CONTRIBUTING		1995
5926 PALO PINTO	SINGLE FAMILY	CRAFTSMAN	36	1929
5927 PALO PINTO	SINGLE FAMILY	TUDOR	54	1922
5930 PALO PINTO	SINGLE FAMILY	CRAFTSMAN	42	1929
5931 PALO PINTO	SINGLE FAMILY	NATIONAL FOLK	54	1922
5935 PALO PINTO	SINGLE FAMILY	CRAFTSMAN	45	1929
5936 PALO PINTO	SINGLE FAMILY	TUDOR	45	1929
5939 PALO PINTO	SINGLE FAMILY	CRAFTSMAN		1923
5942 PALO PINTO	SINGLE FAMILY	TUDOR	43	1929
5943 PALO PINTO	MULTIFAMILY	TUDOR	51	1926
5946 PALO PINTO	SINGLE FAMILY	CRAFTSMAN	43	1929
6001- PALO PINTO	DUPLEX	CRAFTSMAN		1925
6002 PALO PINTO	SINGLE FAMILY	CRAFTSMAN	39	1923
6005 PALO PINTO	SINGLE FAMILY	CRAFTSMAN		1920
6006 PALO PINTO	SINGLE FAMILY	CRAFTSMAN		1923
6009 PALO PINTO	SINGLE FAMILY	PRAIRIE		1922
6010 PALO PINTO	SINGLE FAMILY	CRAFTSMAN	39	1923
6013 PALO PINTO	SINGLE FAMILY	CRAFTSMAN		1922
6014 PALO PINTO	SINGLE FAMILY	NON-CONTRIBUTING		2001
6016 PALO PINTO	SINGLE FAMILY	CRAFTSMAN	41	1923
6017 PALO PINTO	DUPLEX	CRAFTSMAN		1920
6020 PALO PINTO	SINGLE FAMILY	CRAFTSMAN	42	1924
6023 PALO PINTO	SINGLE FAMILY	CRAFTSMAN		1922
6024 PALO PINTO	SINGLE FAMILY	NON-CONTRIBUTING		1984
6025 PALO PINTO	SINGLE FAMILY	CRAFTSMAN		1922
6028 PALO PINTO	SINGLE FAMILY	CRAFTSMAN	40	1929
6029 PALO PINTO	SINGLE FAMILY	CRAFTSMAN		1920
6033 PALO PINTO	SINGLE FAMILY	CRAFTSMAN		1946
6034 PALO PINTO	SINGLE FAMILY	CRAFTSMAN	40	1929
6036 PALO PINTO	DUPLEX	TUDOR	40	1929
6037 PALO PINTO	SINGLE FAMILY	PRAIRIE		1920
6039 PALO PINTO	SINGLE FAMILY	CRAFTSMAN		1926
6042 PALO PINTO	SINGLE FAMILY	TUDOR	42	1926
6045 PALO PINTO	SINGLE FAMILY	TUDOR		1929
6046 PALO PINTO	SINGLE FAMILY	NON-CONTRIBUTING		1977

Address	Landuse	Architecture Style	FY Setback (in feet)	Year
5700- VELASCO	DUPLEX	CRAFTSMAN	37	1924
5701 VELASCO	SINGLE FAMILY	CRAFTSMAN	35	1919
5705 VELASCO	DUPLEX	COLONIAL REVIVAL	37	1921
5706 VELASCO	DUPLEX	CRAFTSMAN	37	1925
5709 VELASCO	SINGLE FAMILY	CRAFTSMAN	40	
5710 VELASCO	SINGLE FAMILY	CRAFTSMAN	37	1929
5714 VELASCO	SINGLE FAMILY	CRAFTSMAN	45	1922
5715 VELASCO	SINGLE FAMILY	CRAFTSMAN	42	1918
5718 VELASCO	SINGLE FAMILY	CRAFTSMAN	36	1920
5719 VELASCO	SINGLE FAMILY	CRAFTSMAN	44	1920
5721 VELASCO	DUPLEX	CRAFTSMAN	36	1921
5722 VELASCO	SINGLE FAMILY	CRAFTSMAN	40	1923
5727 VELASCO	SINGLE FAMILY	CRAFTSMAN	36	1923
5728 VELASCO	SINGLE FAMILY	MINIMAL TRADITIONAL	44	1924
5730 VELASCO	SINGLE FAMILY	PRAIRIE	37	1920
5731 VELASCO	SINGLE FAMILY	CRAFTSMAN	36	1923
5735 VELASCO	DUPLEX	TUDOR	44	1928
5738 VELASCO	SINGLE FAMILY	CRAFTSMAN	37	1922
5739- VELASCO	DUPLEX	SPANISH ECLECTIC	38	1928
5742 VELASCO	SINGLE FAMILY	CRAFTSMAN	36	1920
5745 VELASCO	SINGLE FAMILY	CRAFTSMAN	38	1918
5746 VELASCO	SINGLE FAMILY	CRAFTSMAN	36	1920
5802 VELASCO	SINGLE FAMILY	CRAFTSMAN	45	1922
5803 VELASCO	SINGLE FAMILY	CRAFTSMAN	35	1923
5806 VELASCO	SINGLE FAMILY	CRAFTSMAN	40	1920
5807 VELASCO	SINGLE FAMILY	CRAFTSMAN	39	1919
5810 VELASCO	SINGLE FAMILY	CRAFTSMAN	40	1922
5811 VELASCO	SINGLE FAMILY	CRAFTSMAN	39	1921
5814 VELASCO	SINGLE FAMILY	CRAFTSMAN	40	1921
5815 VELASCO	SINGLE FAMILY	CRAFTSMAN	39	1922
5818 VELASCO	SINGLE FAMILY	CRAFTSMAN	39	1923
5819 VELASCO	SINGLE FAMILY	CRAFTSMAN	39	1922
5820 VELASCO	SINGLE FAMILY	CRAFTSMAN	40	1923
5821 VELASCO	SINGLE FAMILY	NON-CONTRIBUTING	34	1992
5826 VELASCO	SINGLE FAMILY	CRAFTSMAN	39	1922
5827 VELASCO	SINGLE FAMILY	COLONIAL REVIVAL	42	1923
5828 VELASCO	DUPLEX	TUDOR	43	1928
5831 VELASCO	SINGLE FAMILY	NON-CONTRIBUTING	44	2001
5833 VELASCO	DUPLEX	CRAFTSMAN	41	1920
5834 VELASCO	SINGLE FAMILY	CRAFTSMAN	38	1922
5837 VELASCO	MULTIFAMILY	NON-CONTRIBUTING	41	2000
5838 VELASCO	SINGLE FAMILY	CRAFTSMAN	40	1920
5841 VELASCO	DUPLEX	CRAFTSMAN	40	1925
5842 VELASCO	SINGLE FAMILY	CRAFTSMAN	38	1920
5846 VELASCO	SINGLE FAMILY	CRAFTSMAN	41	1920
5847 VELASCO	SINGLE FAMILY	TUDOR	39	1929
5900- VELASCO	DUPLEX	SPANISH ECLECTIC	42	1925
5901 VELASCO	DUPLEX	CRAFTSMAN	40	1926

Address	Landuse	Architecture Style	FY Setback (in feet)	Year	
5906	VELASCO	SINGLE FAMILY	CRAFTSMAN	37	1921
5907	VELASCO	SINGLE FAMILY	CRAFTSMAN	39	1922
5910	VELASCO	SINGLE FAMILY	CRAFTSMAN	34	1921
5911	VELASCO	SINGLE FAMILY	CRAFTSMAN	42	1924
5914	VELASCO	SINGLE FAMILY	CRAFTSMAN	38	1923
5915	VELASCO	SINGLE FAMILY	CRAFTSMAN	37	1925
5918	VELASCO	SINGLE FAMILY	CRAFTSMAN	35	1923
5919	VELASCO	MULTIFAMILY	CRAFTSMAN	45	1923
5922	VELASCO	SINGLE FAMILY	CRAFTSMAN	36	1923
5923	VELASCO	SINGLE FAMILY	CRAFTSMAN	37	1922
5926	VELASCO	SINGLE FAMILY	CRAFTSMAN	36	1924
5927	VELASCO	SINGLE FAMILY	TUDOR	44	1924
5928	VELASCO	DUPLEX	CRAFTSMAN	38	1920
5929-	VELASCO	DUPLEX	TUDOR	36	1924
5935	VELASCO	SINGLE FAMILY	CRAFTSMAN	39	1923
5936	VELASCO	SINGLE FAMILY	TUDOR	37	1926
5938	VELASCO	SINGLE FAMILY	NON-CONTRIBUTING	39	1985
5939	VELASCO	SINGLE FAMILY	CRAFTSMAN	39	1923
5942	VELASCO	SINGLE FAMILY	CRAFTSMAN	33	1922
5943	VELASCO	SINGLE FAMILY	MINIMAL TRADITIONAL	42	1940
5946	VELASCO	SINGLE FAMILY	CRAFTSMAN	33	1923
5947	VELASCO	SINGLE FAMILY	NON-CONTRIBUTING		1923
6000	VELASCO	SINGLE FAMILY	PRAIRIE	44	1929
6001	VELASCO	SINGLE FAMILY	CRAFTSMAN	80	1921
6006	VELASCO	SINGLE FAMILY	CRAFTSMAN	45	1922
6007	VELASCO	SINGLE FAMILY	CRAFTSMAN	42	1921
6009	VELASCO	SINGLE FAMILY	NON-CONTRIBUTING	55	1966
6014	VELASCO	SINGLE FAMILY	MINIMAL TRADITIONAL	36	1921
6015	VELASCO	SINGLE FAMILY	NON-CONTRIBUTING	33	1992
6016	VELASCO	SINGLE FAMILY	COLONIAL REVIVAL	44	1923
6019	VELASCO	SINGLE FAMILY	NON-CONTRIBUTING	45	1949
6022	VELASCO	SINGLE FAMILY	CRAFTSMAN	39	1926
6023	VELASCO	DUPLEX	CRAFTSMAN	36	1932
6026	VELASCO	DUPLEX	CRAFTSMAN	37	1924
6027	VELASCO	SINGLE FAMILY	CRAFTSMAN	41	1922
6030	VELASCO	SINGLE FAMILY	TUDOR	39	1930
6031	VELASCO	DUPLEX	CRAFTSMAN	40	1949
6034	VELASCO	SINGLE FAMILY	CRAFTSMAN	37	1922
6035	VELASCO	SINGLE FAMILY	CRAFTSMAN	35	1923
6038	VELASCO	DUPLEX	TUDOR	43	1929
6039	VELASCO	SINGLE FAMILY	CRAFTSMAN	38	1923
6042	VELASCO	SINGLE FAMILY	CRAFTSMAN	39	1922
6043	VELASCO	SINGLE FAMILY	CRAFTSMAN	38	1925
6044	VELASCO	DUPLEX	CRAFTSMAN	39	1929
6045	VELASCO	DUPLEX	CRAFTSMAN	38	1924

APPENDIX C

**FRONT YARD SETBACKS
FOR THE BELMONT
ADDITION AREA**

**BLOCK BY BLOCK WITH AVERAGES
OF EACH BLOCK**

(FY setbacks measured from property line to front façade; vacant lots and non-original homes setbacks are not included)

BELMONT ADDITION FRONT YARD SETBACKS AND THE BLOCK AVERAGE

Number	Street	FY	Avg.
5701	BELMONT	72	73
5711	BELMONT	71	
5715	BELMONT	71	
5719	BELMONT	71	
5727	BELMONT	71	
5729	BELMONT	78	
5733	BELMONT	74	
5735	BELMONT	74	
5739	BELMONT	74	

Number	Street	FY	Avg.
5800	BELMONT	50	48
5806	BELMONT	47	
5808	BELMONT	49	
5814	BELMONT	54	
5818	BELMONT	54	
5822	BELMONT	48	
5826	BELMONT	48	
5830	BELMONT	47	
5834	BELMONT	45	
5838	BELMONT	42	
5840	BELMONT	46	
5844	BELMONT	46	

Number	Street	FY	Avg.
5803	BELMONT	77	74
5805	BELMONT	77	
5807	BELMONT	64	
5815	BELMONT	77	
5819	BELMONT	83	
5823	BELMONT	73	
5825	BELMONT	71	
5829	BELMONT	73	
5833	BELMONT	71	
5837	BELMONT	72	
5841	BELMONT	75	
5845	BELMONT	73	

Number	Street	FY	Avg.
5902	BELMONT	50	48
5904	BELMONT	49	
5908	BELMONT	49	
5912	BELMONT	50	
5916	BELMONT	47	
5922	BELMONT	50	
5926	BELMONT	49	
5930	BELMONT	47	
5934	BELMONT	44	
5938	BELMONT	49	
5942	BELMONT	45	
5946	BELMONT	48	

Number	Street	FY	Avg.
5901	BELMONT	49	49
5905	BELMONT	46	
5911	BELMONT	46	
5919	BELMONT	48	
5923	BELMONT	47	
5925	BELMONT	55	
5929	BELMONT	49	
5935	BELMONT	50	
5939	BELMONT	51	
5941	BELMONT	47	
5945	BELMONT	69	

BELMONT ADDITION FRONT YARD SETBACKS AND THE BLOCK AVERAGE

Number	Street	FY	Avg.
6002	BELMONT	50	49
6006	BELMONT	49	
6010	BELMONT	52	
6014	BELMONT	52	
6016	BELMONT	52	
6022	BELMONT	45	
6026-28	BELMONT	49	
6030	BELMONT	49	
6034	BELMONT	51	
6036	BELMONT	49	
6042	BELMONT	42	
6046	BELMONT	42	

Number	Street	FY	Avg.
6003	BELMONT	43	47
6007	BELMONT	48	
6011	BELMONT	47	
6015	BELMONT	48	
6019	BELMONT	48	
6021	BELMONT	48	
6027	BELMONT	49	
6031	BELMONT	49	
6033-35	BELMONT	39	
6045	BELMONT		

Number	Street	FY	Avg.
5702	GOLIAD	42	46
5706	GOLIAD	46	
5708	GOLIAD	45	
5712	GOLIAD	46	
5716-18	GOLIAD	53	
5720	GOLIAD	46	
5724	GOLIAD	38	
5728	GOLIAD	43	
5732	GOLIAD	46	
5736	GOLIAD	45	
5744	GOLIAD	54	

Number	Street	FY	Avg.
5703	GOLIAD	55	52
5711	GOLIAD	48	
5715	GOLIAD	48	
5725	GOLIAD	48	
5729	GOLIAD	48	
5733	GOLIAD	88	
5741	GOLIAD	58	
5745	GOLIAD	57	

Number	Street	FY	Avg.
5800	GOLIAD	48	47
5804	GOLIAD	49	
5808	GOLIAD	46	
5812	GOLIAD	45	
5816	GOLIAD	47	
5820	GOLIAD	47	
5824	GOLIAD	47	
5828	GOLIAD	46	
5832	GOLIAD	47	
5836	GOLIAD	47	
5840	GOLIAD	46	
5846	GOLIAD	46	

Number	Street	FY	Avg.
5803	GOLIAD	38	46
5807	GOLIAD	45	
5811	GOLIAD	45	
5815	GOLIAD	45	
5819	GOLIAD	45	
5821	GOLIAD	45	
5825	GOLIAD	46	
5829	GOLIAD	47	
5833	GOLIAD	49	
5839	GOLIAD	47	
5843	GOLIAD	47	
5845	GOLIAD	48	

BELMONT ADDITION

FRONT YARD SETBACKS AND THE BLOCK AVERAGE

Number	Street	FY	Avg.
5902	GOLIAD	46	50
5906	GOLIAD	54	
5910	GOLIAD	46	
5912	GOLIAD	44	
5920	GOLIAD	54	
5924	GOLIAD	53	
5930	GOLIAD	46	
5934	GOLIAD	53	
5936	GOLIAD	48	
5940	GOLIAD	124	
5946	GOLIAD	57	

Number	Street	FY	Avg.
5903	GOLIAD	46	48
5909	GOLIAD	46	
5911	GOLIAD	47	
5919	GOLIAD	51	
5923	GOLIAD	55	
5927	GOLIAD	46	
5931	GOLIAD	42	
5935	GOLIAD	53	
5939	GOLIAD	40	
5947	GOLIAD	49	

Number	Street	FY	Avg.
6000	GOLIAD	39	39
6006	GOLIAD	41	
6008	GOLIAD	40	
6012	GOLIAD	42	
6018	GOLIAD	40	
6022	GOLIAD	40	
6026	GOLIAD	40	
6030	GOLIAD	33	
6034	GOLIAD	41	
6038	GOLIAD	40	
6040	GOLIAD	34	
6046	GOLIAD	34	

Number	Street	FY	Avg.
6001	GOLIAD	49	45
6007	GOLIAD	53	
6011	GOLIAD	43	
6015	GOLIAD	40	
6019	GOLIAD	41	
6023	GOLIAD	41	
6027	GOLIAD	45	
6031	GOLIAD	48	
6035	GOLIAD	41	
6039	GOLIAD	48	
6043	GOLIAD	39	
6047	GOLIAD	49	

Number	Street	FY	Avg.
5702	LLANO	34	31
5717	LLANO	35	
5723	LLANO	34	
5727	LLANO	32	
5731	LLANO	30	
5735	LLANO	28	
5739	LLANO	29	
5743	LLANO	29	
5745	LLANO	28	

Number	Street	FY	Avg.
5706	LLANO	30	28
5710	LLANO		
5718-20	LLANO	28	
5722	LLANO		
5726	LLANO	26	
5730	LLANO	32	
5732	LLANO	31	
5738	LLANO	25	
5740	LLANO	27	
5746	LLANO	28	

BELMONT ADDITION

FRONT YARD SETBACKS AND THE BLOCK AVERAGE

Number	Street	FY	Avg.
5806	LLANO	28	26
5810	LLANO	26	
5818	LLANO	25	
5824	LLANO		
5826	LLANO	28	
5828	LLANO	24	
5832	LLANO	29	
5836-38	LLANO	25	
5842	LLANO	22	
5846	LLANO	28	

Number	Street	FY	Avg.
5803	LLANO	25	29
5807	LLANO	32	
5809	LLANO	24	
5813	LLANO	31	
5821	LLANO	32	
5823	LLANO	30	
5827	LLANO	28	
5829	LLANO	32	
5835	LLANO	27	
5839	LLANO	31	
5843	LLANO	26	
5847	LLANO	100	

Number	Street	FY	Avg.
5900	LLANO	42	37
5904	LLANO	41	
5910	LLANO	38	
5912	LLANO	36	
5918	LLANO	41	
5922	LLANO	42	
5926	LLANO	36	
5930	LLANO	32	
5934	LLANO	36	
5938	LLANO	44	
5940	LLANO	34	
5946	LLANO	25	

Number	Street	FY	Avg.
5901	LLANO	27	36
5907	LLANO	36	
5911	LLANO	36	
5915	LLANO	41	
5919	LLANO	101	
5921	LLANO	36	
5927	LLANO	31	
5929	LLANO	27	
5935	LLANO	27	
5937	LLANO	29	
5943	LLANO	27	
5947	LLANO	42	

Number	Street	FY	Avg.
6002	LLANO	36	30
6006	LLANO	36	
6008	LLANO	36	
6014	LLANO	31	
6018	LLANO	29	
6020	LLANO	31	
6026	LLANO	28	
6030	LLANO	28	
6034	LLANO	26	
6038	LLANO	24	
6042	LLANO	26	
6046	LLANO	30	

Number	Street	FY	Avg.
6001	LLANO	31	34
6007	LLANO	32	
6011	LLANO	51	
6017	LLANO	35	
6021	LLANO	30	
6025-27	LLANO	35	
6031	LLANO	30	
6035	LLANO	33	
6037	LLANO	27	
6043	LLANO	33	
6047	LLANO	33	

BELMONT ADDITION

FRONT YARD SETBACKS AND THE BLOCK AVERAGE

Number	Street	FY	Avg.
5702	PALO PINTO	44	44
5712	PALO PINTO		
5716	PALO PINTO	47	
5718	PALO PINTO	45	
5722	PALO PINTO	44	
5728	PALO PINTO	45	
5734	PALO PINTO	43	
5740	PALO PINTO	42	
5746	PALO PINTO	40	

Number	Street	FY	Avg.
5703	PALO PINTO	47	49
5705	PALO PINTO	51	
5711	PALO PINTO	54	
5715	PALO PINTO	46	
5719	PALO PINTO	46	
5723	PALO PINTO	46	
5729	PALO PINTO	47	
5737	PALO PINTO	52	
5747	PALO PINTO	48	

Number	Street	FY	Avg.
5800	PALO PINTO	43	45
5806	PALO PINTO		
5808	PALO PINTO	48	
5812	PALO PINTO	48	
5818	PALO PINTO	44	
5820	PALO PINTO	44	
5826	PALO PINTO		
5834	PALO PINTO	45	
5838	PALO PINTO	44	
5840	PALO PINTO	44	
5846	PALO PINTO	48	

Number	Street	FY	Avg.
5801	PALO PINTO	51	52
5807	PALO PINTO	55	
5811	PALO PINTO		
5815	PALO PINTO	51	
5819	PALO PINTO	52	
5823	PALO PINTO	50	
5827	PALO PINTO	50	
5831	PALO PINTO		
5835	PALO PINTO		
5839	PALO PINTO	49	
5847	PALO PINTO	57	

Number	Street	FY	Avg.
5902	PALO PINTO	45	44
5906	PALO PINTO	41	
5910	PALO PINTO	43	
5914	PALO PINTO		
5920	PALO PINTO	40	
5926	PALO PINTO	40	
5930	PALO PINTO	46	
5936	PALO PINTO	49	
5942	PALO PINTO	47	
5946	PALO PINTO	47	

Number	Street	FY	Avg.
5901	PALO PINTO	50	54
5909	PALO PINTO	51	
5915	PALO PINTO	57	
5917	PALO PINTO	51	
5923	PALO PINTO		
5927	PALO PINTO	58	
5931	PALO PINTO	58	
5935	PALO PINTO	49	
5939	PALO PINTO		
5943	PALO PINTO	55	

Number	Street	FY	Avg.
6002	PALO PINTO	43	44
6006	PALO PINTO		
6010	PALO PINTO	43	
6014	PALO PINTO		
6016	PALO PINTO	45	
6020	PALO PINTO	46	
6024	PALO PINTO		
6028	PALO PINTO	44	
6034	PALO PINTO	44	
6036	PALO PINTO	44	
6042	PALO PINTO	46	
6046	PALO PINTO		

Number	Street	FY	Avg.
6001-03	PALO PINTO	50	51
6005	PALO PINTO	49	
6009	PALO PINTO	50	
6013	PALO PINTO	50	
6017	PALO PINTO	51	
6023	PALO PINTO	50	
6025	PALO PINTO	50	
6029	PALO PINTO	51	
6033	PALO PINTO		
6037	PALO PINTO	51	
6039	PALO PINTO	51	
6045	PALO PINTO	60	

BELMONT ADDITION FRONT YARD SETBACKS AND THE BLOCK AVERAGE

Number	Street	FY	Avg.
5700-02	VELASCO	41	42
5706	VELASCO	41	
5710	VELASCO	41	
5714	VELASCO	49	
5718	VELASCO	40	
5722	VELASCO	44	
5728	VELASCO	48	
5730	VELASCO	41	
5738	VELASCO	41	
5742	VELASCO	40	
5746	VELASCO	40	

Number	Street	FY	Avg.
5701	VELASCO	39	43
5705	VELASCO	41	
5709	VELASCO	44	
5715	VELASCO	46	
5719	VELASCO	48	
5721	VELASCO	40	
5727	VELASCO	40	
5731	VELASCO	40	
5735	VELASCO	48	
5739-41	VELASCO	42	
5745	VELASCO	42	

Number	Street	FY	Avg.
5802	VELASCO	49	44
5806	VELASCO	44	
5810	VELASCO	44	
5814	VELASCO	44	
5818	VELASCO	43	
5820	VELASCO	44	
5826	VELASCO	43	
5828	VELASCO	47	
5834	VELASCO	42	
5838	VELASCO	44	
5842	VELASCO	42	
5846	VELASCO	45	

Number	Street	FY	Avg.
5803	VELASCO	39	43
5807	VELASCO	43	
5811	VELASCO	43	
5815	VELASCO	43	
5819	VELASCO	43	
5821	VELASCO	38	
5827	VELASCO	46	
5831	VELASCO	48	
5833	VELASCO	45	
5837	VELASCO	45	
5841	VELASCO	44	
5847	VELASCO	43	

Number	Street	FY	Avg.
5900-02	VELASCO	46	41
5906	VELASCO	41	
5910	VELASCO	38	
5914	VELASCO	42	
5918	VELASCO	39	
5922	VELASCO	40	
5926	VELASCO	40	
5928	VELASCO	42	
5936	VELASCO	41	
5938	VELASCO	43	
5942	VELASCO	37	
5946	VELASCO	37	

Number	Street	FY	Avg.
5901	VELASCO	44	44
5907	VELASCO	43	
5911	VELASCO	46	
5915	VELASCO	41	
5919	VELASCO	49	
5923	VELASCO	41	
5927	VELASCO	48	
5929-31	VELASCO	40	
5935	VELASCO	43	
5939	VELASCO	43	
5943	VELASCO	46	
5947	VELASCO		

BELMONT ADDITION

FRONT YARD SETBACKS AND THE BLOCK AVERAGE

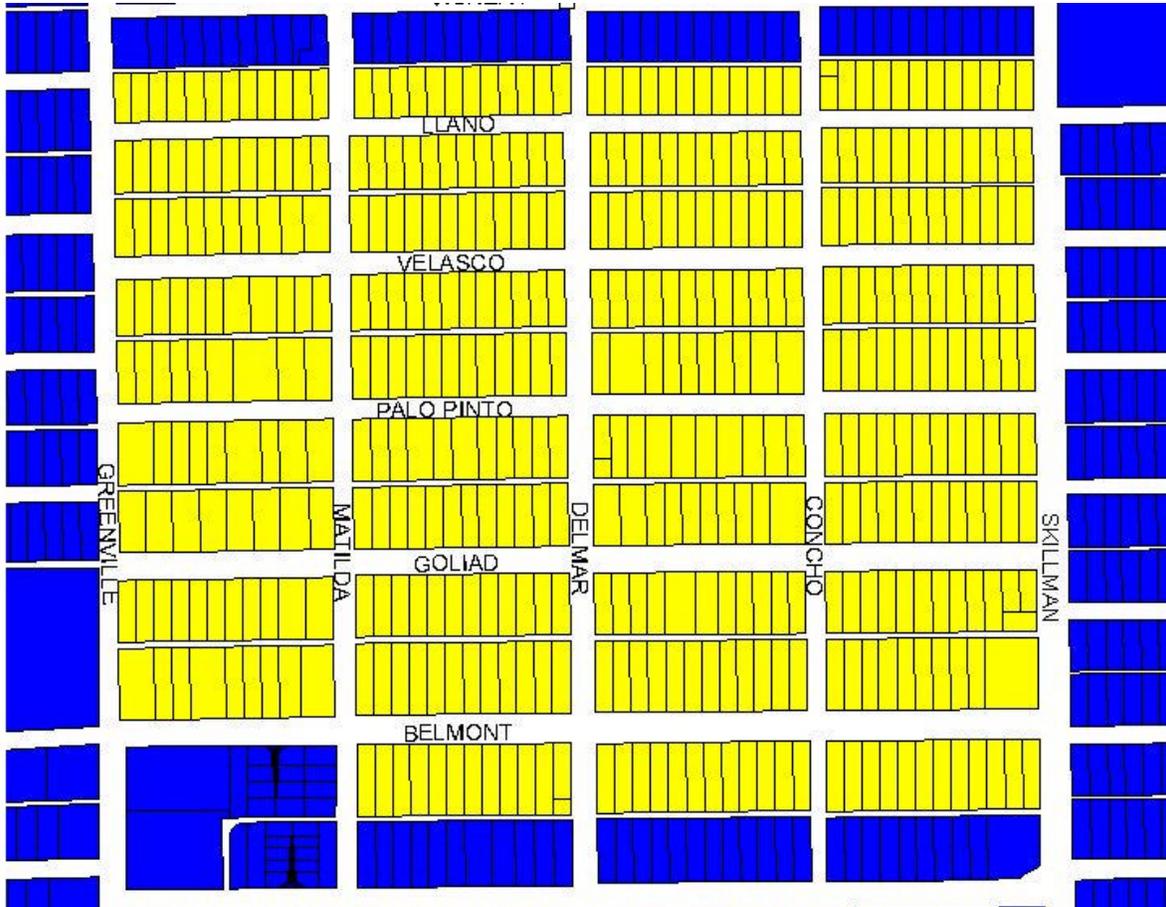
Number	Street	FY	Avg.
6000	VELASCO	47	43
6006	VELASCO	48	
6007	VELASCO	45	
6014	VELASCO	39	
6016	VELASCO	47	
6022	VELASCO	42	
6026	VELASCO	40	
6030	VELASCO	42	
6034	VELASCO	40	
6038	VELASCO	46	
6042	VELASCO	42	
6044	VELASCO	42	

Number	Street	FY	Avg.
6001	VELASCO	84	44
6009	VELASCO	59	
6015	VELASCO	37	
6019	VELASCO	49	
6023	VELASCO	40	
6027	VELASCO	45	
6031	VELASCO	44	
6035	VELASCO	39	
6039	VELASCO	42	
6043	VELASCO	42	
6045	VELASCO	42	

APPENDIX D

MAP OF THE BELMONT
ADDITION PROPOSED
DISTRICT BOUNDARIES

MAP OF THE BELMONT ADDITION
PROPOSED CONSERVATION DISTRICT
AFFECTED PROPERTIES



APPENDIX E – Lot Coverage

