

# PD No. 15 Authorized Hearing Steering Committee Meeting #11

January 7, 2019



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# Staff Recommendation

- Steering committee input
- Community input
- Developer input
- Area Plan
- Subject matter expert recommendations
- Best practice



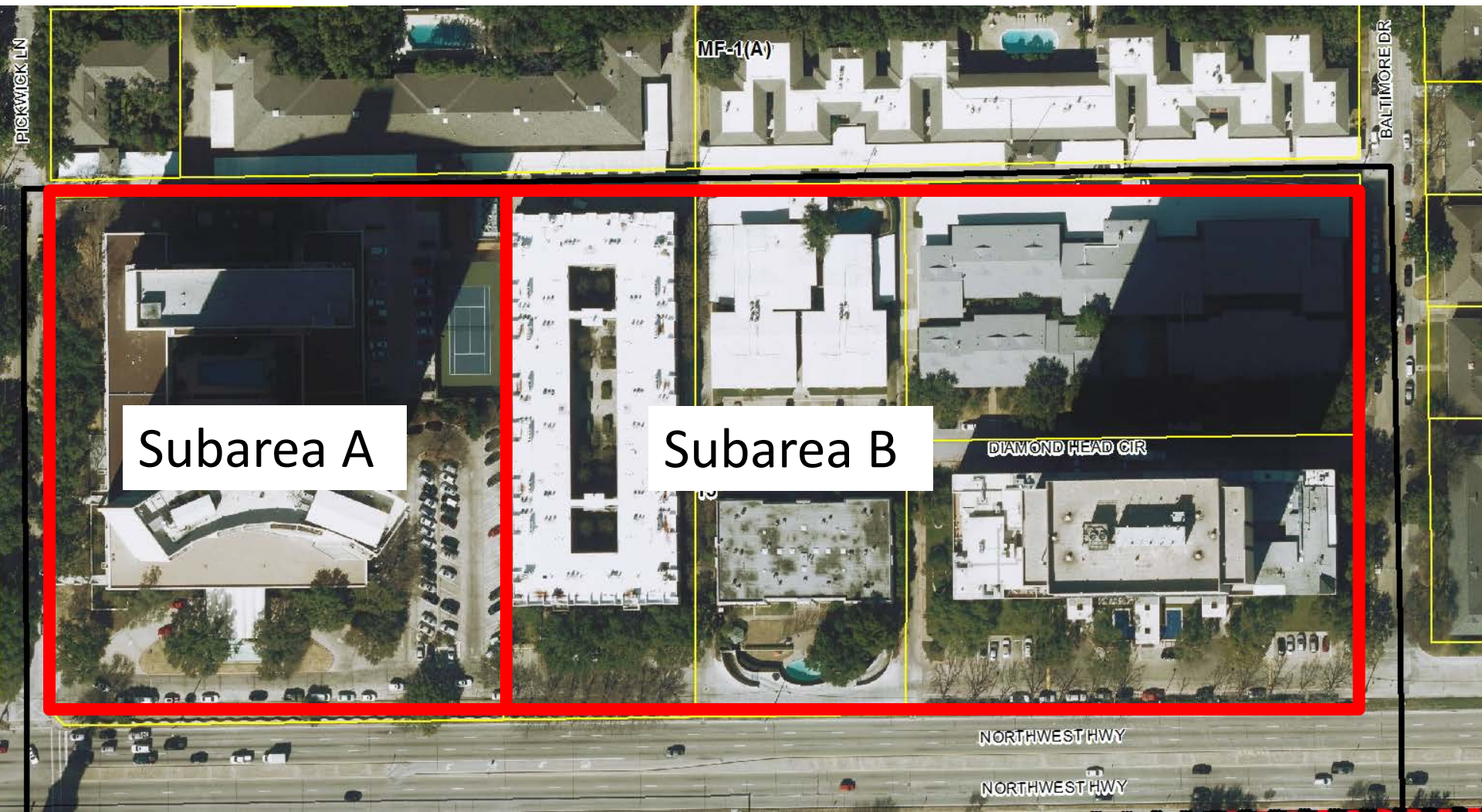
# PD No. 15 Staff Draft Conditions

## Creation of Subareas

### Section 51P-\_\_\_\_.105 – Creation of Subareas (pg. 1)

- Create two subareas
  - Subarea A – Preston Tower tract
  - Subarea B – Remainder of PD
- Rationale:
  - Preston Tower property will continue to be allowed permitted limited uses as referenced in the original PD.
  - The remainder of the PD will be primarily limited to residential uses (Single family, Multifamily, Retirement housing) per the Area Plan and steering committee discussion.





# PD No. 15 Staff Draft Conditions Development Plan

## Section 51P-\_\_\_\_.106 – Development Plan (pg. 2)

- Development plan is required
- Rationale:
  - Development plan must be approved by CPC before building permit will be issued.
  - Add certainty to plan for new development



# PD No. 15 Staff Draft Conditions

## Main Uses Permitted

### Section 51P-\_\_\_\_.107 – Main Uses Permitted (pg. 2)

- Residential uses (single family, handicapped group dwelling unit, multifamily, and retirement housing)
- Church, local utilities, and mounted cellular antenna uses
- Rationale:
  - Primarily residential uses per Area Plan and steering committee discussion.
  - Standard uses for MF districts (local utilities and mounted antenna for cellular communication)





# PD No. 15 Staff Draft Conditions

## Limited Uses Permitted in Subarea A

### Section 51P-\_\_\_\_.108 – Limited Uses Permitted in Subarea A (pg. 2)

- Allowed limited uses in Preston Tower from current ordinance
- Limited uses to be called forward from CH. 51 to CH. 51A
- Rationale:
  - Continue to allow limited uses in Preston Tower only per steering committee discussion (office, laundry service, barber shop, etc.)
  - Limited uses to be updated to CH. 51A zoning for consistency with conditions



# PD No. 15 Staff Draft Conditions

## Accessory Uses

### Section 51P-\_\_\_\_.109 – Accessory Uses (pg. 2 & 3)

- Accessory uses permitted in any district in which the main use is permitted
- Certain accessory uses are not permitted (accessory waste incinerators, accessory outside storage, and accessory amateur communication tower)
- Rationale:
  - Allow accessory uses which are consistent with the development code and other MF PD's





# PD No. 15 Staff Draft Conditions

## Front yard setback

### Section 51P-\_\_\_\_.110 – Yard, Lot, and Space Regulations (pg. 3)

- Minimum front yard setback is 70' from NW Hwy
- Rationale:
  - Currently Preston Tower and Athena have porticos in the front yard and Royal Orleans has their pool area with structures and walls in the front yard. There is no consistent front yard sight line at 100'
  - Blocks to the east and west do not have consistent setback from NW Hwy







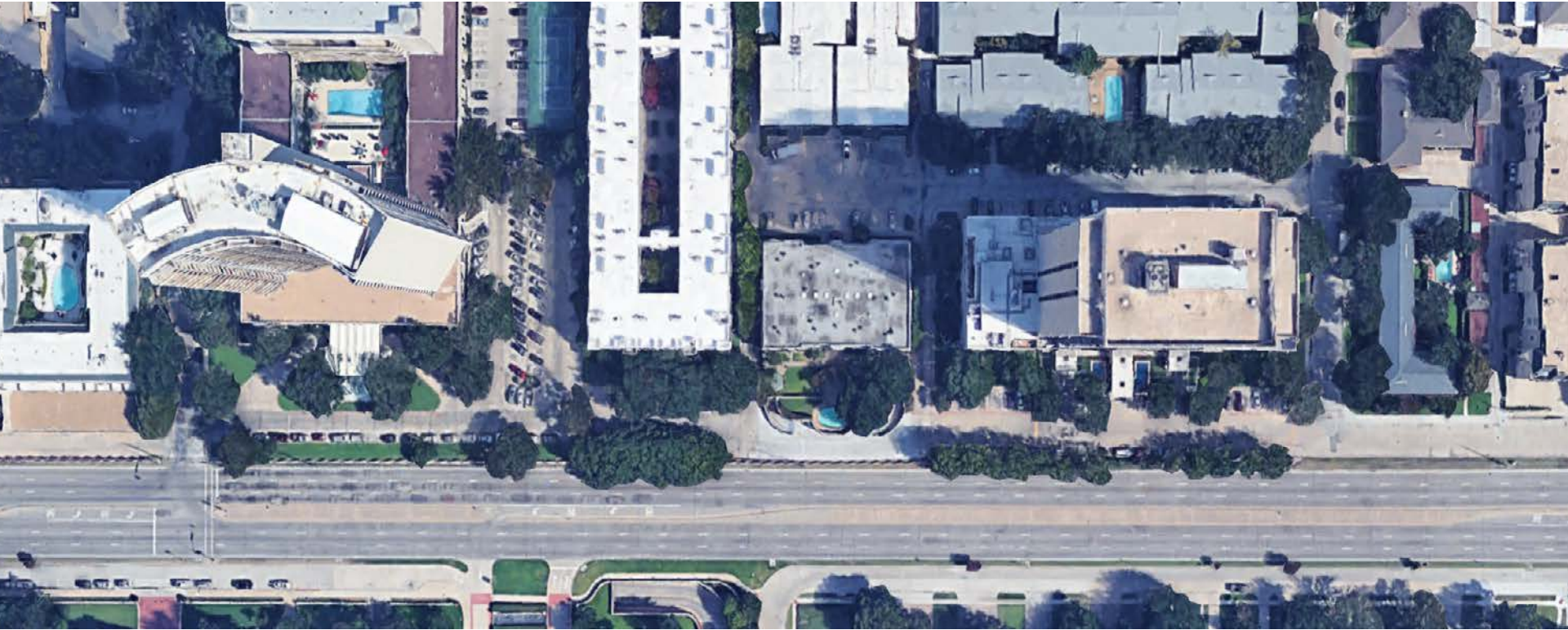


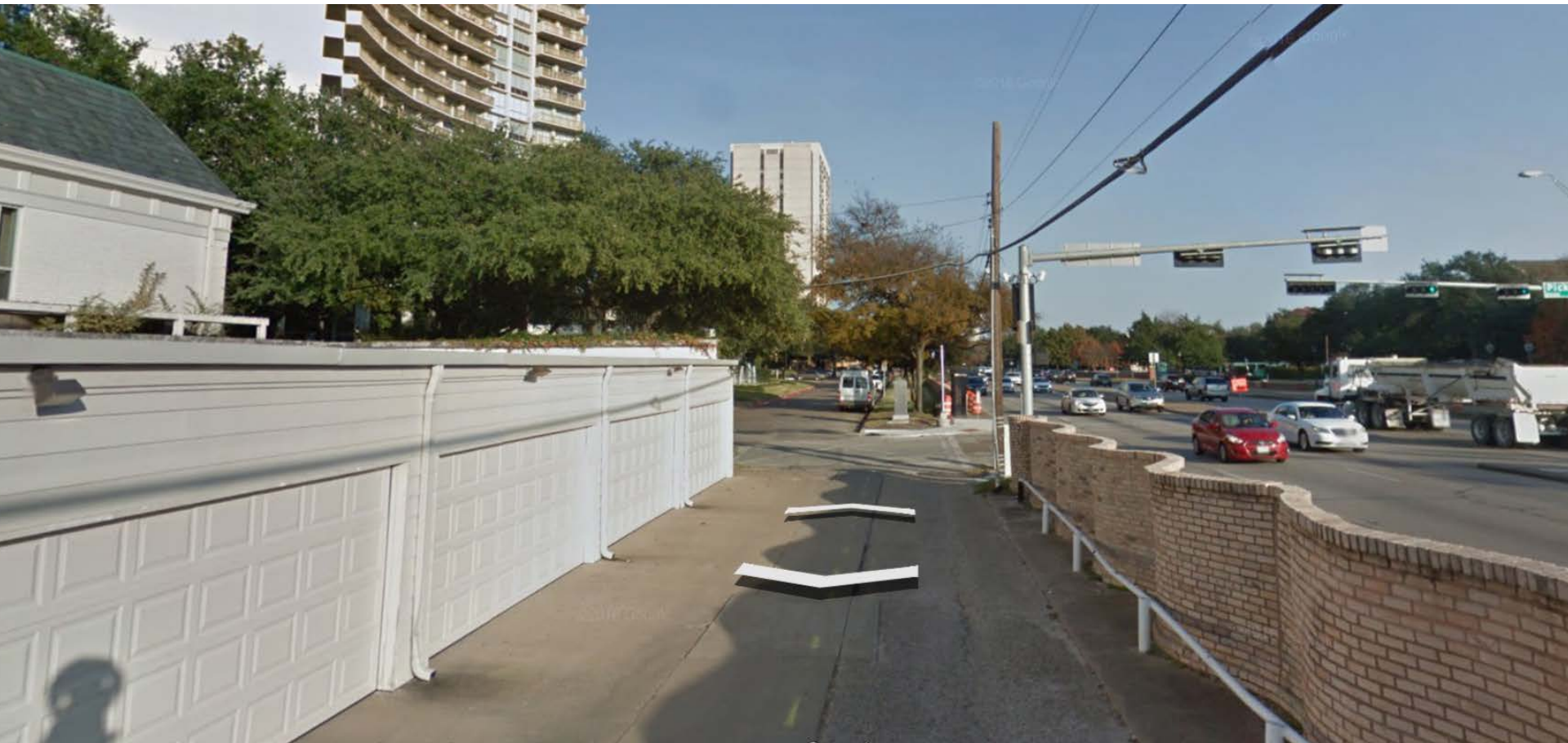














# PD No. 15 Staff Draft Conditions

## Side and rear yard setback

### Section 51P-\_\_\_\_.110 – Yard, Lot, and Space Regulations (pg. 3)

- Minimum side and rear yard setbacks are 20' from Pickwick, Baltimore, and north alley
- Rationale:
  - Steering committee discussion to ensure room for sidewalks.
  - Maintain existing rear yard setback
  - Ensure consistency throughout PD



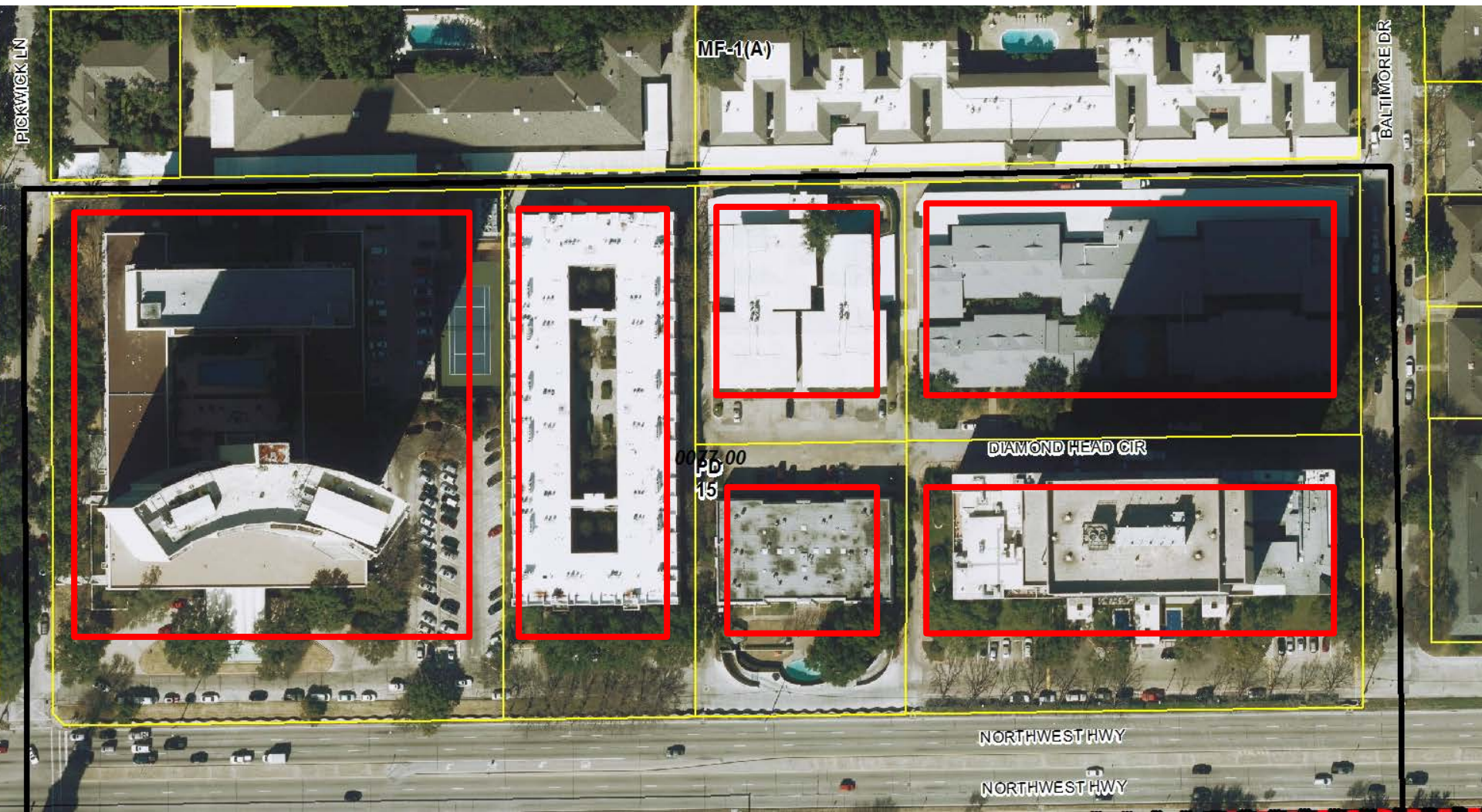
# PD No. 15 Staff Draft Conditions

## Interior setbacks

### Section 51P-\_\_\_\_.110 – Yard, Lot, and Space Regulations (pg. 3)

- Minimum setback from east/west oriented property line is 40'
- Minimum setback from north/south oriented property line is 20'
- Rationale:
  - Steering committee discussion to ensure room for sidewalks.
  - Ensure space for walkable pedestrian areas throughout the PD.





# PD No. 15 Staff Draft Conditions

## Encroachments

### Section 51P-\_\_\_\_.110 – Yard, Lot, and Space Regulations (pg. 3 & 4)

- Benches, street lamps, utility equipment, and landscaping items may be located in the required setback.
- Stoops, porches, retaining walls, ramps, handrails, etc. may extend five feet into required setback.
- Balconies, bay windows, awnings, signs may project five feet into required setback if located 12 feet above grade.
- Porticos may encroach 15 feet into required setback.
- Rationale:
  - Standard language from other MF PD's for items that may encroach within the required setback.
  - Existing porticos (Preston Tower/Athena) extend beyond build line from structure.



# PD No. 15 Staff Draft Conditions

## Urban form setback

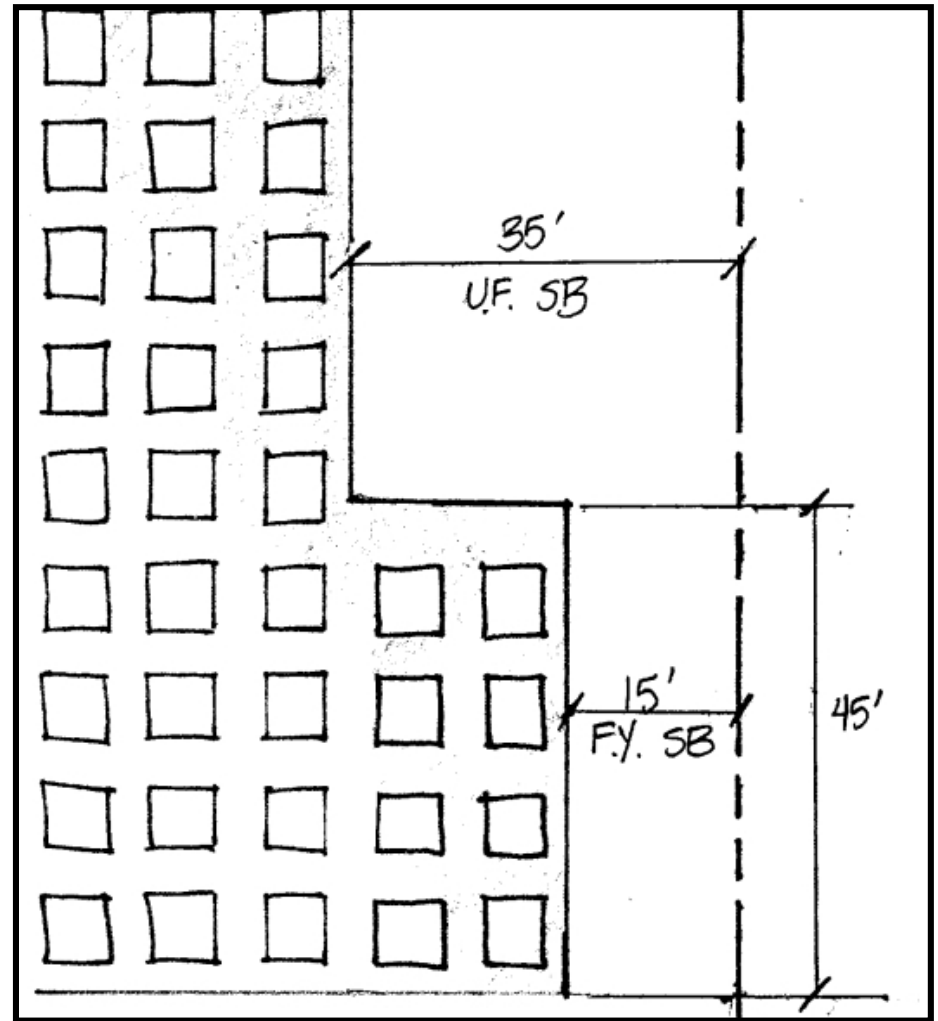
### Section 51P-\_\_\_\_.110 – Yard, Lot, and Space Regulations (pg. 4)

- Additional 20' setback for the portion of the structure over 45' in height from NW Hwy and east/west oriented property lines.
- Rationale:
  - To maintain and promote the pedestrian areas in the PD and concentrate height (if provided) to the center of the property.
  - Most important on the main pedestrian thoroughfares: NW Hwy pedestrian area and east/west oriented property lines pedestrian areas.





- Urban form setback



# PD No. 15 Staff Draft Conditions

## Tower spacing

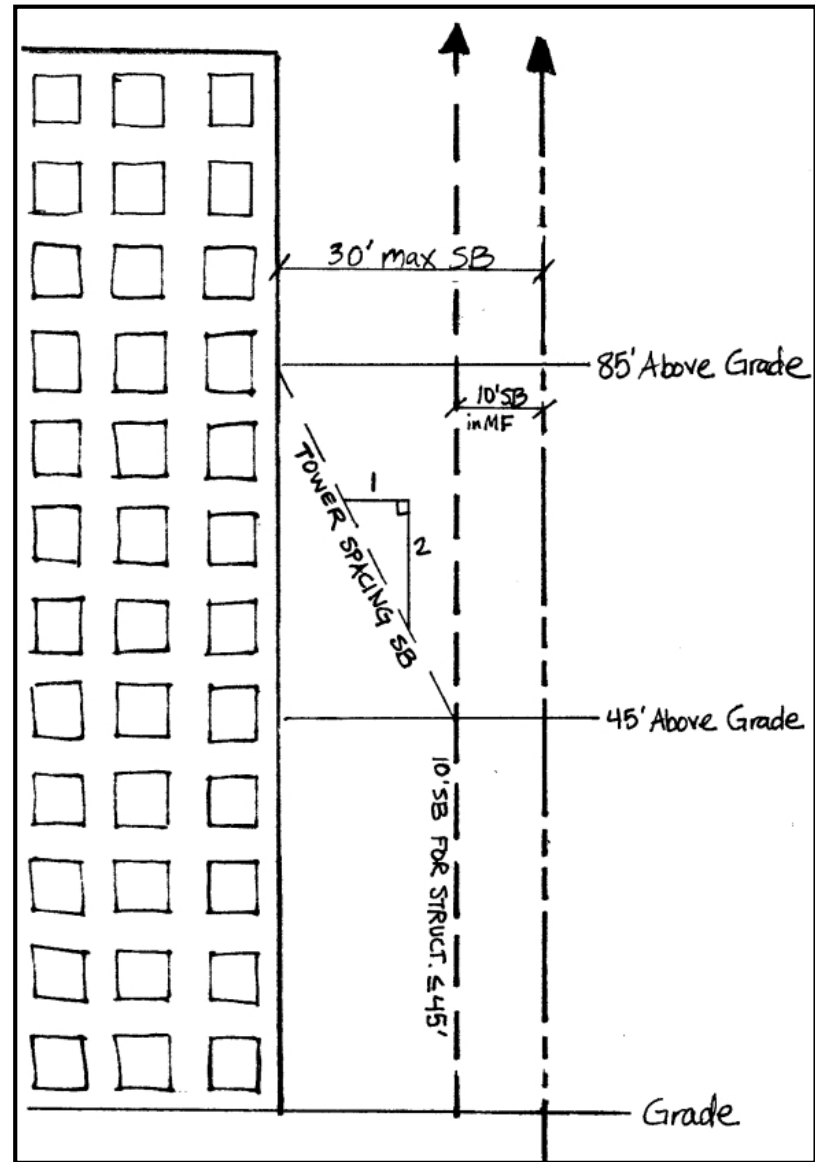
### Section 51P-\_\_\_\_.110 – Yard, Lot, and Space Regulations (pg. 4)

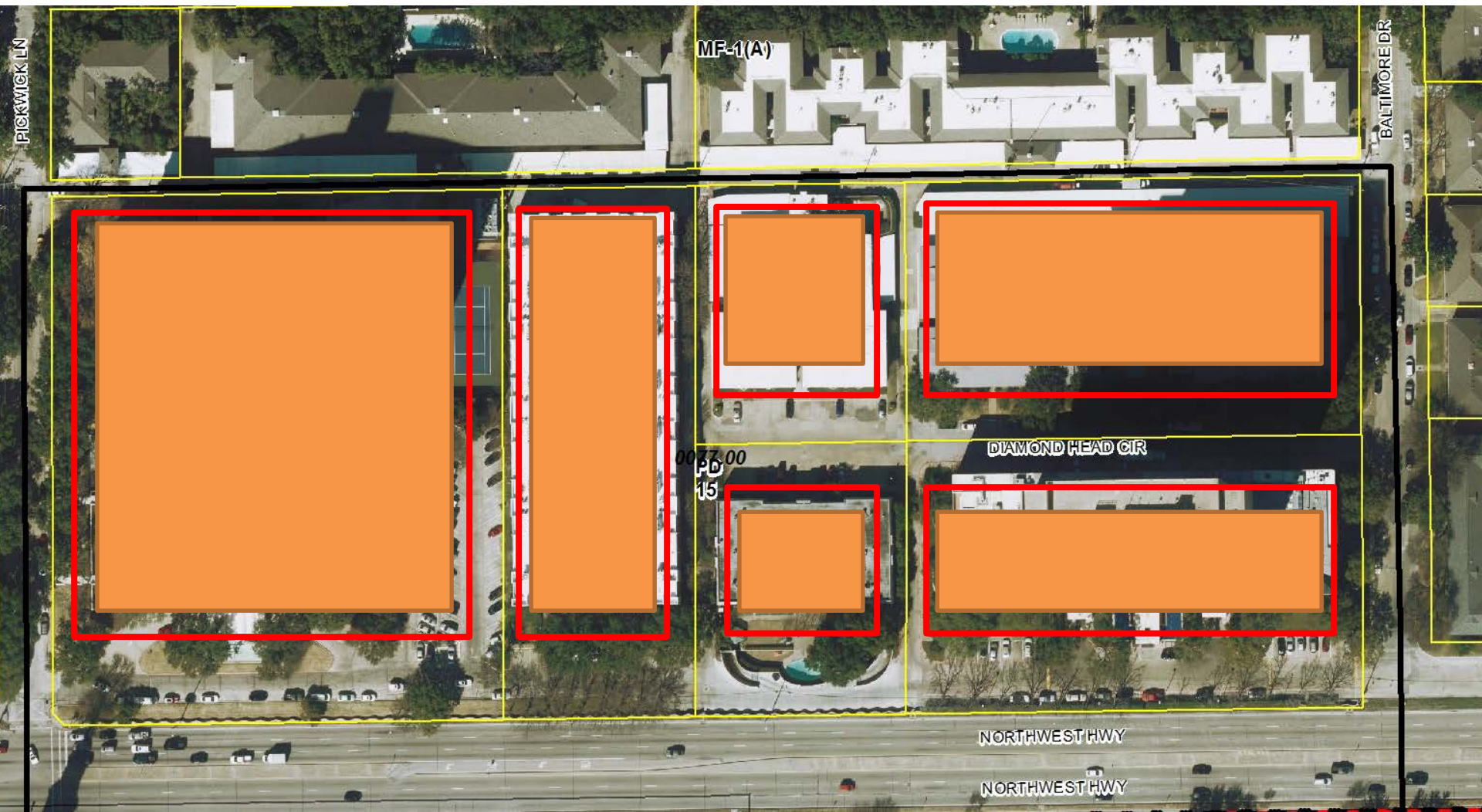
- Additional setback of one foot for each two feet in height for the portion of the structure over 45' in height from side yard, rear yard, and north/south oriented property lines, up to a total setback of 30'
- Rationale:
  - To maintain and promote the pedestrian areas in the PD and concentrate height (if provided) to the center of the property.
  - Standard language from development code and found in other MF PD's





- Tower spacing





# PD No. 15 Staff Draft Conditions

## Density

### Section 51P-\_\_\_\_.110 – Yard, Lot, and Space Regulations (pg. 4)

- Maximum 90 dwelling units per acre
- Rationale:
  - MF-3(A) base zoning district is maximum 90 du/a



# PD No. 15 Staff Draft Conditions

## Floor area ratio

### Section 51P-\_\_\_\_.110 – Yard, Lot, and Space Regulations (pg. 4)

- No maximum floor area
- Rationale:
  - Not typical for residential zoning



# PD No. 15 Staff Draft Conditions

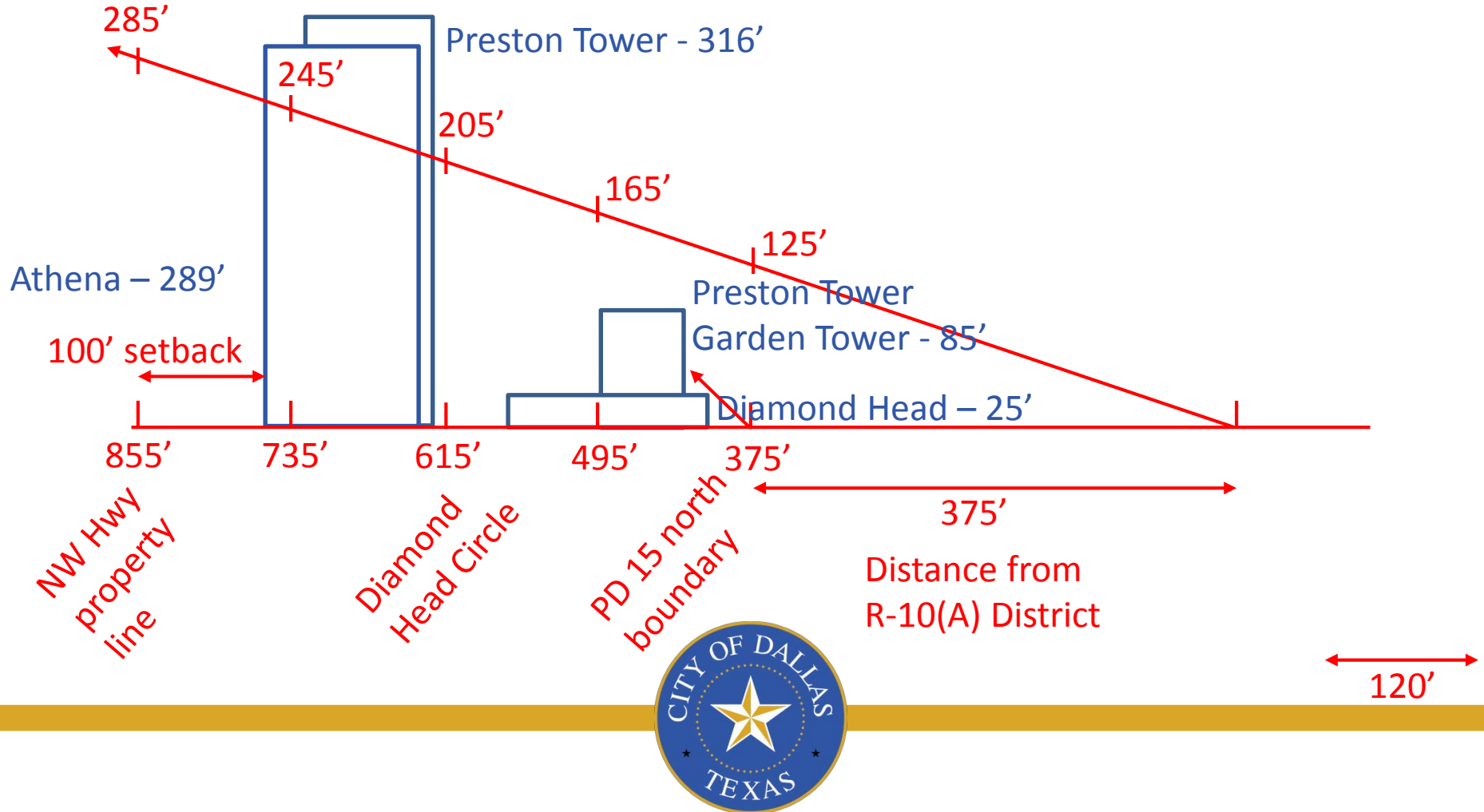
## Height

### Section 51P-\_\_\_\_.110 – Yard, Lot, and Space Regulations (pg. 4 & 5)

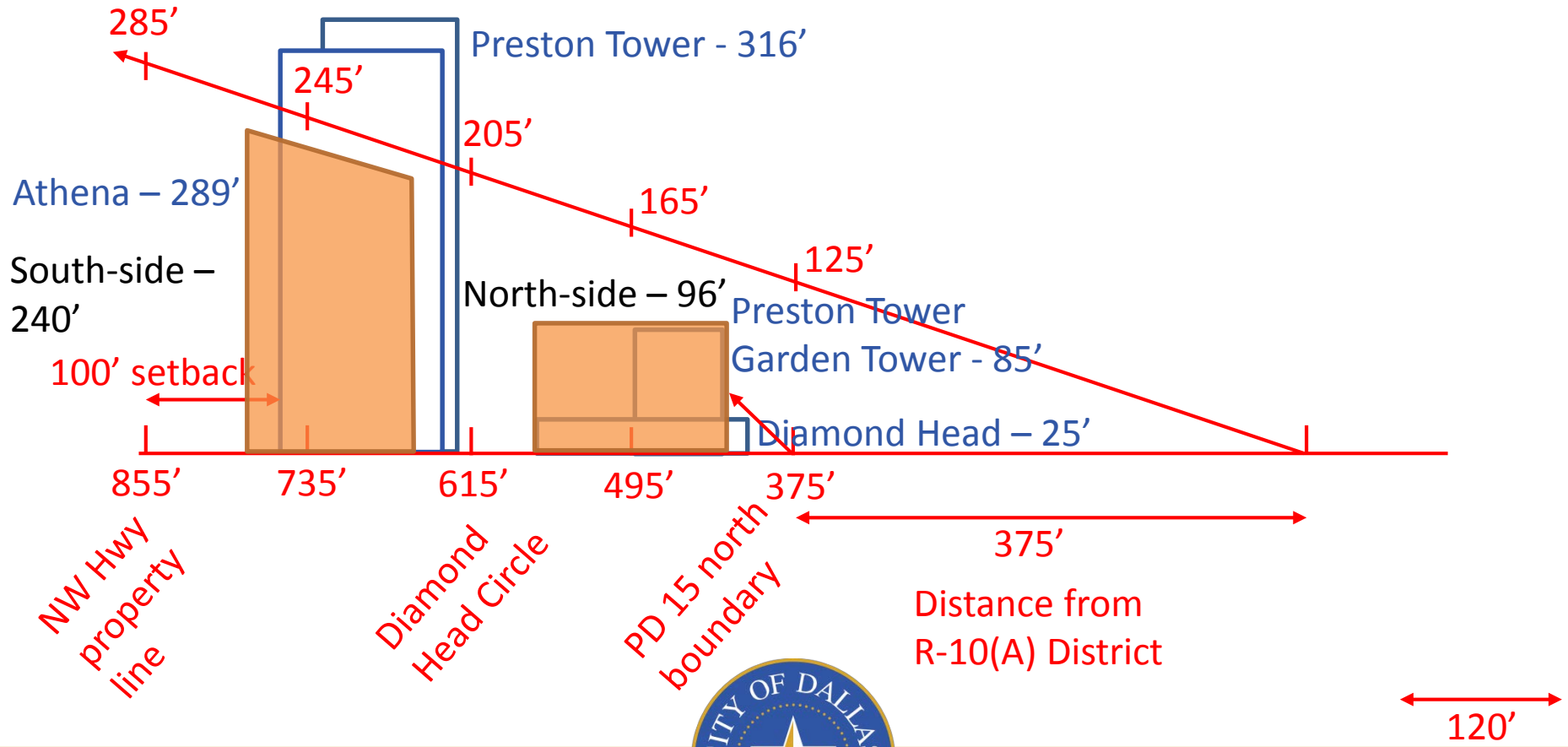
- Max height for southern half of PD is 240' (20 stories)
- Max height for northern half of PD is 96' (8 stories)
- Elevator/mechanical and screening may project 6' above max structure height
- Parapet walls/guard rails may project 4' above max structure height
- Residential Proximity Slope applies (SF RPS & MF RPS)
- Rationale:
  - Visually consistent with existing high-rise and mid-rise structures
  - Consistent language for projections above max structure height



# RPS – 1 to 3 slope from R-10(A) District



# Example Height w/ RPS





# PD No. 15 Staff Draft Conditions

## Lot coverage

### Section 51P-\_\_\_\_.110 – Yard, Lot, and Space Regulations (pg. 5)

- Southern half of PD:
  - 65% lot coverage for structures less than or equal to 96' (8 stories)
  - 55% lot coverage for structures 96'-168' (8-14 stories) and must provide an additional 10% of open space
  - 45% lot coverage for structures over 168' (14+ stories) and must provide an additional 20% of open space
- Northern half of PD:
  - 65% lot coverage for structures less than or equal to 60' (5 stories)
  - 55% lot coverage for structures over 60' (5+ stories) and must provide an additional 10% of open space



# PD No. 15 Staff Draft Conditions

## Lot coverage

### Section 51P-\_\_\_\_.110 – Yard, Lot, and Space Regulations (pg. 5)

- If a lot is located in both the northern and southern zones of the PD, lot coverage is calculated using the lowest of the lot coverage percentages based on structure height
- Aboveground parking structures are included in lot coverage, surface and underground parking is not
- Rationale:
  - Area plan states increased height as a trade-off for reduced lot coverage
  - Create additional open space from reduced lot coverage



# PD No. 15 Staff Draft Conditions

## Lot size

### Section 51P-\_\_\_\_.110 – Yard, Lot, and Space Regulations (pg. 5)

- No minimum lot size
- Rationale:
  - Not used in MF PD's
  - Add minimum lot size for single family and handicapped group dwelling unit
  - Base standards



# PD No. 15 Staff Draft Conditions Stories

## Section 51P-\_\_\_\_.110 – Yard, Lot, and Space Regulations (pg. 5)

- No maximum number of stories above grade.
- Rationale:
  - General agreement through steering committee discussion
  - Maximum structure height regulations are more exact than number of stories



# PD No. 15 Staff Draft Conditions

## Parking for multifamily and retirement housing

### Section 51P-\_\_\_\_.111 – Off-Street Parking and Loading

(pg. 6)

- Parking must be located in aboveground or underground parking structure
- Aboveground parking structure must be screened or wrapped
- Rationale:
  - General agreement through steering committee discussion
  - Area plan preference for underground parking



# PD No. 15 Staff Draft Conditions

## Surface parking

### Section 51P-\_\_\_\_.111 – Off-Street Parking and Loading (pg. 6)

- Surface parking prohibited
- Except for parallel parking with minimum 4' wide bump outs along east/west property lines or within NW Hwy setback
- Rationale:
  - Parallel parking to enhance pedestrian environment



# PD No. 15 Staff Draft Conditions

## Service and loading areas

### Section 51P-\_\_\_\_.111 – Off-Street Parking and Loading (pg. 6)

- Service, loading, and garbage storage areas must be enclosed within structure
- Rationale:
  - Steering committee discussion for screened/enclosed
  - Typical of modern MF developments





# PD No. 15 Staff Draft Conditions Environmental Performance Standards

## Section 51P-\_\_\_\_.112 – Environmental Performance Standards (pg. 6)

- See Article VI.
- Rationale:
  - Base standards
  - Not typically associated with MF developments



# PD No. 15 Staff Draft Conditions

## Article X

### Section 51P-\_\_\_\_.113 – Landscaping (pg. 6 & 7)

- Landscaping must be provided in accordance with Article X
  
- Rationale:
  - Base standards
  - Requirements for site trees, planting area, and other landscaping items



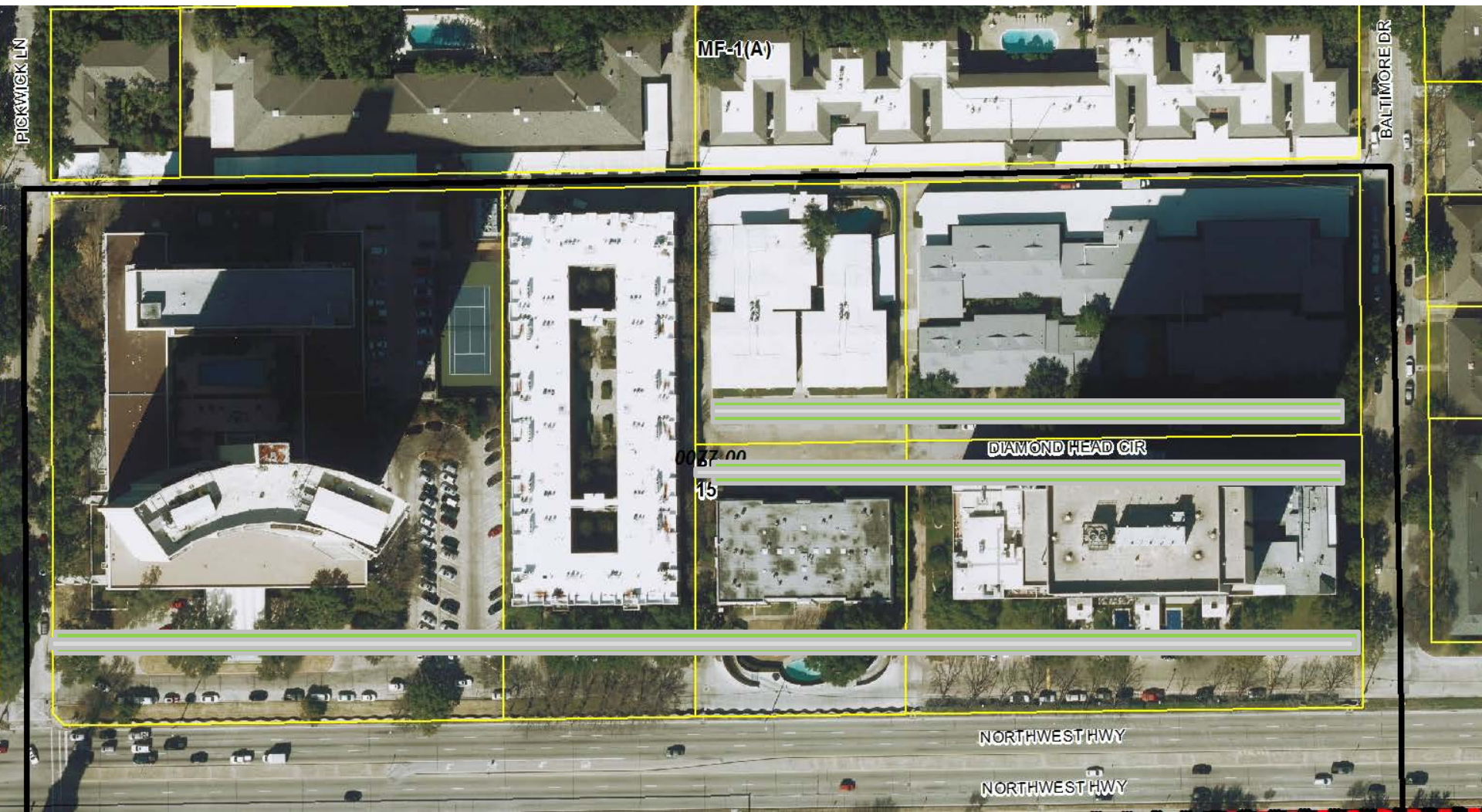
# PD No. 15 Staff Draft Conditions

## Pedestrian zone in required setbacks

### Section 51P-\_\_\_\_.113 – Landscaping (pg. 7)

- Pedestrian zone for NW Hwy setback between 50' and 65' and all east/west setbacks require:
  - One medium or large tree per 30' along the setback
  - One bench per 60' along the setback
  - One pedestrian street lamp per 50' along the setback
- Rationale:
  - Steering committee and community responses for the creation of pedestrian friendly areas/greenspace





# PD No. 15 Staff Draft Conditions

## Northwest Highway landscaping buffer

### Section 51P-\_\_\_\_.113 – Landscaping (pg. 7)

- 10' wide landscape buffer with screening provided along NW Hwy frontage
- Plant screening requirements with existing or improved wall or fence
- Rationale:
  - Article X street buffer zone requirements do not fit with existing configuration of access drive
  - Create customized regulations to enhance existing screening along NW Hwy

















# PD No. 15 Staff Draft Conditions Signs

## Section 51P-\_\_\_\_.114 – Signs (pg. 7)

- Signs must comply with non-business zoning districts in Article VII.
  
- Rationale:
  - Base standards



# PD No. 15 Staff Draft Conditions

## Required Open Space

### Section 51P-\_\_\_\_.115 – Open Space (pg. 7 & 8)

- Minimum of five percent of building site must be reserved for open space
- Open space includes areas for recreation, groundwater recharge, landscaping, pedestrian amenities, etc.
- Must be located between the exterior structure facade and the property line
- Parking and areas primarily intended for vehicular use are not considered open space
  
- Rationale:
  - Steering committee and community responses for the creation of pedestrian friendly areas/greenspace



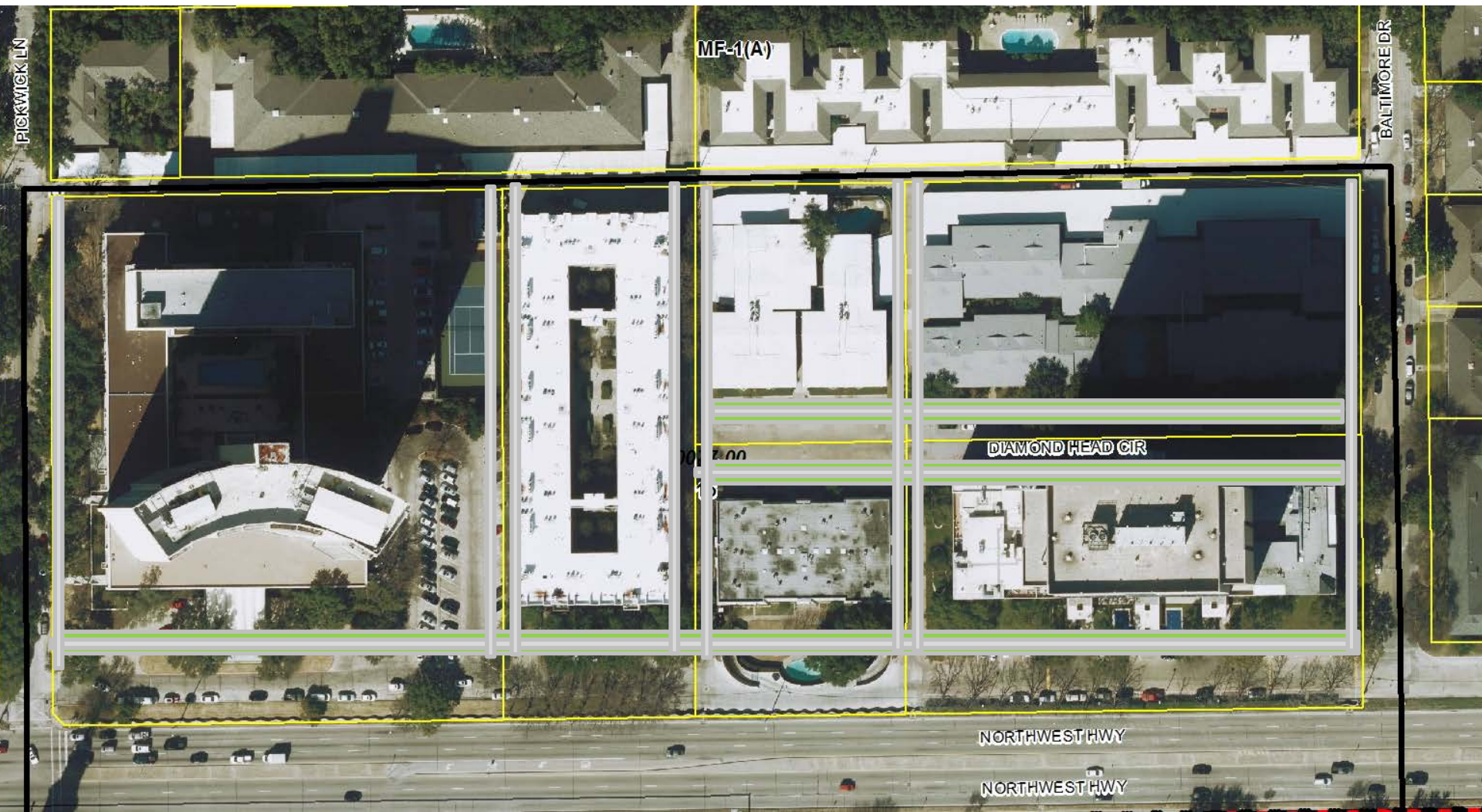
# PD No. 15 Staff Draft Conditions

## Sidewalks

### Section 51P-\_\_\_\_.116 – Sidewalks (pg. 8 & 9)

- Sidewalks with minimum average width of six feet along all street frontages and east/west setbacks except for the rear yard setback
- Sidewalks with a minimum width of four feet along all interior north/south setbacks
- Rationale:
  - Steering committee and community responses for the creation of pedestrian friendly areas/greenspace





# PD No. 15 Staff Draft Conditions

## Design Standards

### Section 51P-\_\_\_\_.117 – Design Standards (pg. 9)

- Exterior facades require a minimum of one window, one common primary entrance, and transparent surface for every 25' of building facade
- Highly reflective glass is prohibited
- Non-required fences must be a minimum of 50 percent open allowing for visibility
- Rationale:
  - MF development standards to ensure compatible development



# PD No. 15 Staff Draft Conditions

## Development bonus for open space

### Section 51P-\_\_\_\_.118 – Special Provisions (pg. 9)

- To obtain a density bonus of five additional dwelling units per acre, an additional five percent of the building site must be reserved as open space
- Rationale:
  - Steering committee and community responses for the creation of pedestrian friendly areas/greenspace
  - Greater density for more open space





# PD No. 15 Staff Draft Conditions

## Development bonus for mixed-income housing

### Section 51P-\_\_\_\_.118 – Special Provisions (pg. 9 & 10)

- To obtain a density bonus of 100 dwelling units per acre, 10 percent of the total residential units must be set aside for mixed-income housing in the specified income bands
- To obtain a density bonus of 120 dwelling units per acre, 15 percent of the total residential units must be set aside for mixed-income housing in the specified income bands
- Rationale:
  - Base density at 90 du/a
  - City receiving a benefit for increased density





# PD No. 15 Staff Draft Conditions

## Development bonuses

### Section 51P-\_\_\_\_.118 – Special Provisions (pg. 10)

- Development bonuses can be used independently or be combined
- Rationale:
  - Flexibility to achieve desired density provided the applicable incentives are met



# PD No. 15 Staff Draft Conditions

## Mixed-Income Housing

### Section 51P-\_\_\_\_.119 – Mixed-Income Housing (pg. 10-14)

- Developer must submit incentive zoning plan and affirmative fair housing marketing plan prior to the issuance of a building permit
- Rental affordability period is 15 years
- Annual report required
  
- Rationale:
  - Standard requirements for MF PD's with mixed-income housing



# Questions/Comments



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