

Stevens Park Conservation District

Neighborhood Meeting

March 13, 2018

7:00 p.m.

Turner House

401 N Rosemont Ave

Andrew Ruegg

Senior Planner

Sustainable Development &

Construction

Current Planning



City of Dallas

Background



- Stevens Park Conservation District (CD #20)
- Adopted by City Council on September 28, 2011
- Zoning that preserves an area's physical attributes by providing additional development and architectural regulations



Purpose of this Meeting

- Review neighborhood input from previous meeting which took place on 2/22/18
- Previous neighborhood meeting covered the following topics from the petition language:
 - Architectural Survey
 - Similar Architectural Materials
 - Materials for Architectural styles
 - Height
 - Permitted Uses



Purpose of this Meeting

- Tonight's meeting is the second of several neighborhood meetings to discuss potentially amending development standards as listed on the petition and to gain consensus on revisions (if any)
- Tonight's neighborhood meeting will cover the following topics from the petition language:
 - Architectural styles – for new main structures
 - Wrap-Around and Front Facade
 - Setbacks for Main Structures
 - Lot Coverage
- Additional neighborhood meeting will focus on the other topics from the petition language not covered in tonight's meeting or the first meeting



Review Neighborhood Input Architectural Survey

- Amendments may include: correcting errors in the architectural survey in the CD ordinance
- Existing architectural survey (Exhibit C) lists each address in the CD with the associated architectural style: Art Deco, Colonial Revival, French Eclectic, Georgian, Mid-Century Modern, Minimal Traditional, Monterey Colonial, Spanish Eclectic, Texas Regional, and Tudor
- **Neighborhood input/staff recommendation:** notify staff of address with potential error in architectural style



Review Neighborhood Input Height

- Amendments may include:
 - Modifying how height is measured
 - Height of Structures in Subarea B – establishing the maximum allowed height for structures



Review Neighborhood Input Height

- Amendments may include:
 - **Modifying how height is measured**
- Existing definition: the vertical distance measured from grade to the highest peak of the structure, or top of the flat structure
 - In Subarea A - maximum height for structures with sloped roofs is 32 feet to the peak
 - In Subarea A - maximum height for structures with a flat roof is 24 feet
- **Staff recommendation: no change**

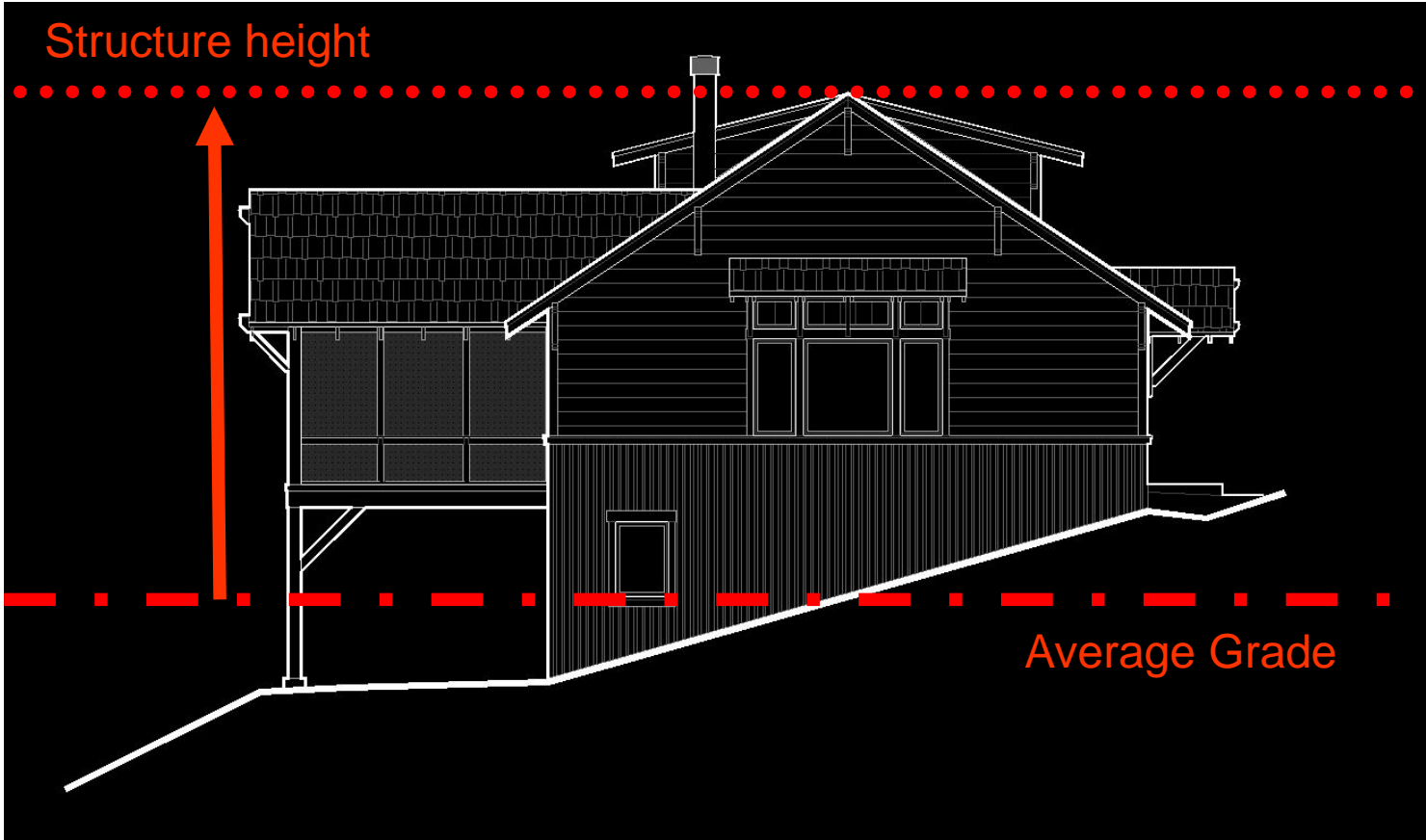


Review Neighborhood Input Height

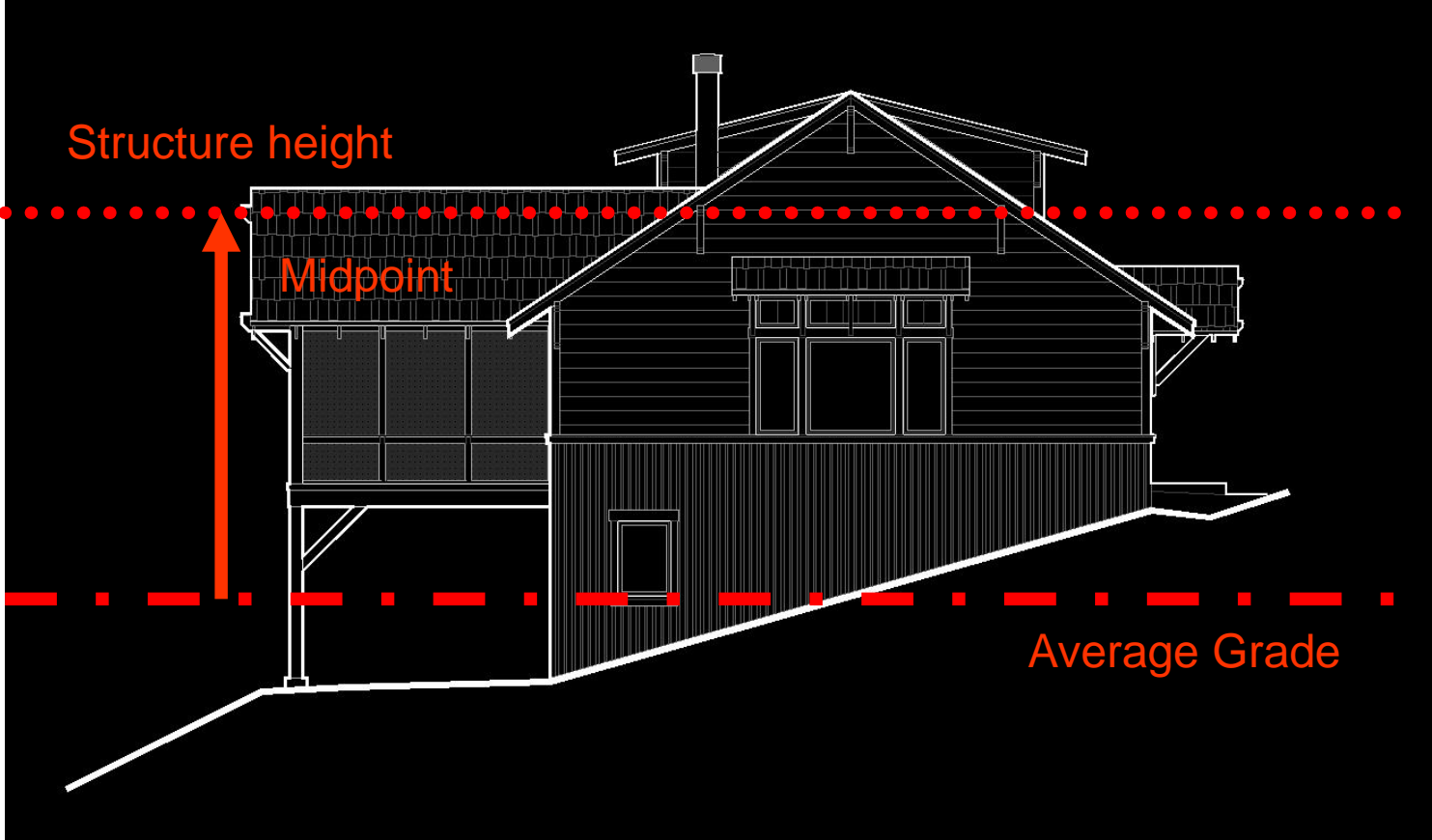
- Amendments may include:
 - **Height of Structures in Subarea B** – establishing the maximum allowed height for structures
- Existing requirements in Subarea B: height refers back to the R-7.5(A) Single Family District standards – Maximum height is 30 feet
- **Staff recommendation:** match height requirements in Subarea A – 32 feet to highest peak or 24 feet to the top of a flat roofed structure



Review Neighborhood Input Height – Subarea A measurement



Review Neighborhood Input Height – Subarea B measurement



Review Neighborhood Input Permitted Uses

- Amendments may include:
 - Modifying the permitted uses in Subareas A and B
- Existing uses allowed in Subarea A and Subarea B: church, handicap group dwelling units (SUP may be required), local utilities (SUP may be required), and single family
- **Neighborhood input/staff recommendation:** no change



Review Neighborhood Input

Similar Architectural Materials

- Amendments may include, defining similar architectural materials to mean similar in terms of physical appearance and function and not material composition
- Existing requirements: for each architectural style, structures must be clad in the materials listed
 - Example for Colonial Revival architectural style: structures must be clad in brick, stone, clapboard, siding, or a combination of these materials



Review Neighborhood Input Materials for Architectural Styles

- Amendments may include:
 - Clarifying the use of “similar materials” and amending the allowable materials for some architectural styles in Subareas A and B
 - Modifying the requirements for replacement windows and clarifying that similar architectural materials can be used for replacement windows



Meeting #2 Discussion items



Architectural Styles – for new main structures

- Amendments may include:
 - Clarifying required architectural styles for new main structures
 - Modifying the roof form and material requirements, the porch requirement, and the architectural features requirement for some architectural styles



Architectural Styles – for new main structures

- Proposed amendments may include:
 - **Clarifying required architectural styles for new main structures**
- Existing requirements: new main structure may only be built in one of the ten architectural styles in compliance with the architectural standards
- Discussion item: new main structure does not need to be built in the same architectural style as the main structure being replaced



Architectural Styles – for new main structures

- Proposed amendments may include:
 - Modifying the roof form and material requirements, the porch requirement, and the architectural features requirement for some architectural styles
- For consideration in each architectural style
 - Art Deco
 - Colonial Revival
 - French Eclectic
 - Georgian
 - Mid-Century Modern
 - Minimal Traditional
 - Monterey Colonial
 - Spanish Eclectic
 - Texas Regional
 - Tudor



Architectural Styles – for new main structures

Art Deco

- Architectural features
 - Asymmetrical front facade
- Front porches
 - No front porch is required, if constructed must be small portico
- Materials
 - Must be clad in stucco, concrete block, or brick laid with smooth mortar joints to appear monolithic
 - **Discussion item:** allow similar materials
 - Exclude certain materials as similar materials* (for all architectural styles)
- Roof form
 - Must have a flat or low-pitched roof hidden behind ledge or parapet
- Windows
 - Must have single windows with distinctive-shaped accent windows such as round, hexagonal, or glass block
 - **Discussion item:** typical of style, similar in appearance for replacement windows, features that pre-date this may be replaced in kind (non-conforming statement), and muttons and mullions must be located on the exterior face of the glass* (for all architectural styles)
 - Allow single light windows on casement windows and optional distinctive-shaped accent windows



Art Deco

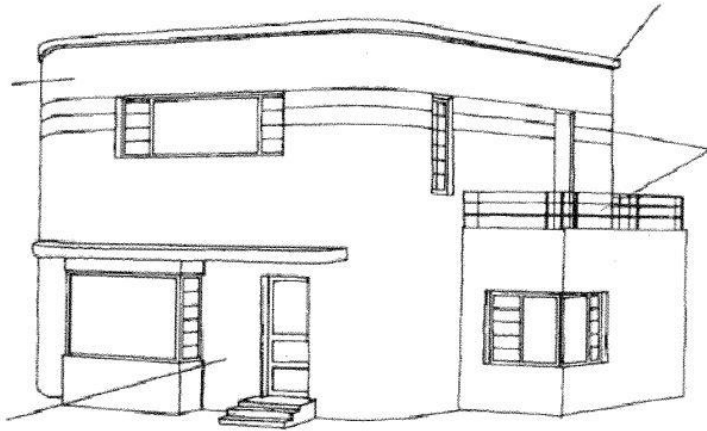


Illustration courtesy of A Field Guide to American Houses, May not be reused by others without permission.

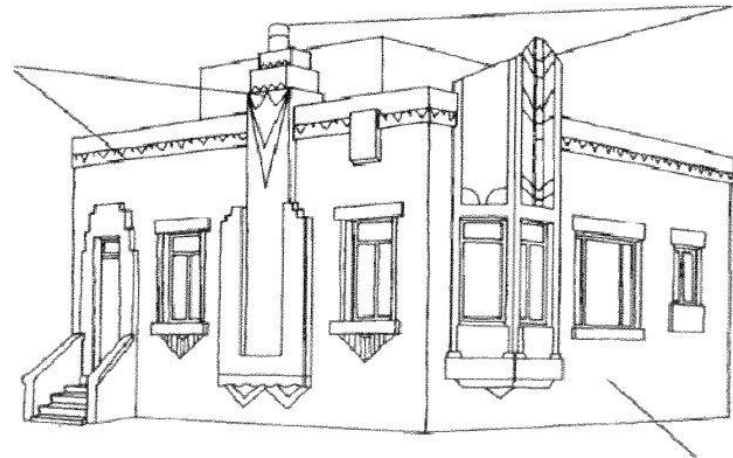


Illustration courtesy of A Field Guide to American Houses, May not be reused by others without permission.



Architectural Styles – for new main structures

Colonial Revival

- Architectural features
 - Symmetrical front facade
 - One and one-half or two story box with optional one-story, flat roof appendages
 - **Discussion item:** Remove optional one-story, appendages
- Front porches
 - Structure must have an accentuated front door with an entry porch, decorative crown and pilasters, or a full-width porch
- Materials
 - Must be clad in brick, stone, clapboard, siding, or a combination of these materials
 - **Discussion item:** allow similar materials
- Roof form
 - Side-gabled roof with a slope between 25 and 45 degrees
 - **Discussion item:** Allow/clarify side-facing gabled roofs, flat or side-gabled appendages, and secondary front gabled sections
- Windows
 - Must be symmetrically balanced, located on both sides of a centered door
 - Must have double-hung sashes, typically with six-over-six divided-pane windows
 - **Discussion item:** appearance of single or double-hung sashes, typical of style, and allow similar materials



Colonial Revival



Illustration courtesy of A Field Guide to American Houses, May not be reused by others without permission.

Common Structure Configurations:

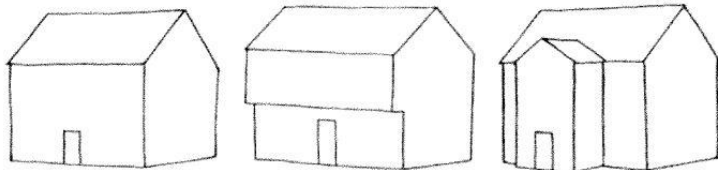


Illustration courtesy of A Field Guide to American Houses, May not be reused by others without permission.

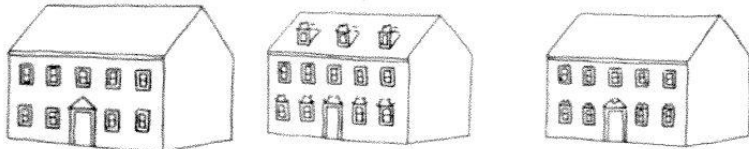


Illustration courtesy of A Field Guide to American Houses, May not be reused by others without permission.

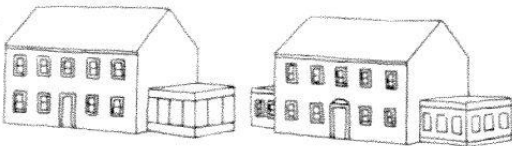


Illustration courtesy of A Field Guide to American Houses, May not be reused by others without permission.



Colonial Revival



Architectural Styles – for new main structures

French Eclectic

- Architectural features
 - Symmetrical or asymmetrical front facade
 - One and one-half or two story block with optional one-story appendages. Third story block is permitted within a mansard roof
 - **Discussion item:** change third story to additional half-story
 - Entry turret feature
 - **Discussion item:** make turret feature optional
 - Predominant massive chimney on front roofline
 - **Discussion item:** remove requirement for front roofline
- Front porches
 - No front porch is required
 - Courtyards are permitted in the front and side yard
- Materials
 - Must be clad in brick, stone, stucco, or a combination of these materials
 - **Discussion item:** allow similar materials
- Roof form
 - Structures may have tall, steeply-pitched hipped or mansard roofs with flared eaves at the roof-wall junction
- Windows
 - Must have casement windows or double-hung sashes with true divided panes
 - **Discussion item:** aesthetic of casement windows single or double-hung sashes, aesthetic of true divided panes, typical of style, allow similar materials



French Eclectic



Illustration courtesy of *A Field Guide to American Houses*, May not be reused by others without permission.



Architectural Styles – for new main structures

Georgian

- Architectural features
 - Two story with simple side gable
 - **Discussion item:** remove with simple side gable (removal would not be typical of style)
 - Symmetrical front facade with centered entry door
- Front porches
 - (no requirement listed)
 - **Discussion item:** front porch or pediment may be added
- Materials
 - Must be clad in brick with optional decorative stone quoins at corners
 - **Discussion item:** allow similar materials
- Roof form
 - Structures may have side-gabled roof with a slope between 25 and 45 degrees
 - **Discussion item:** may have front or side-facing gabled roof or front gabled porch may be added
- Windows
 - Must have double-hung sashes with true divided panes, typically nine-over-nine
 - **Discussion item:** aesthetic of double-hung sashes, aesthetic of true divided panes, typical of style, allow similar materials



Georgian

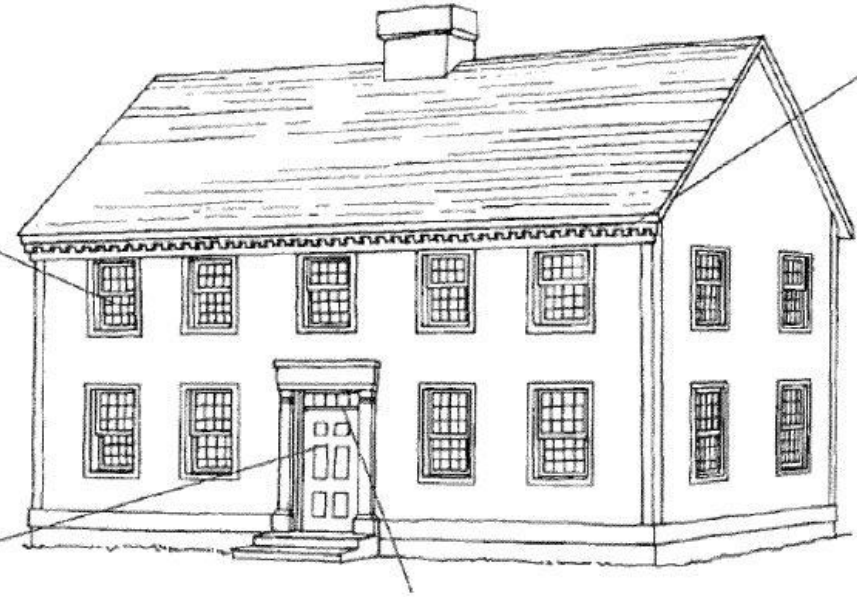


Illustration courtesy of *A Field Guide to American Houses*. May not be reused by others without permission.



Architectural Styles – for new main structures

Mid-Century Modern

- Architectural features
 - One story or split level with hipped or side-gabled roof
 - **Discussion item:** add two story (not typical of style)
 - Asymmetrical front facade
- Front porches
 - May have a front entry feature with narrow porch supports that could be either steel posts or decorative wrought iron
 - **Discussion item:** provide aesthetic or visual appearance to being steel posts or decorative wrought iron
- Materials
 - Must be clad in brick, stone, wood siding, or a combination of these materials
 - **Discussion item:** allow similar materials and add steel, glass, and stained concrete to allowable materials
- Roof form
 - Structures may have low-pitched, side-gabled, or hipped roofs with broad overhangs
 - **Discussion item:** revise requirements to allow flat, low-pitched or slanted roof with broad overhangs
- Windows
 - Must have ribbon, grouped, plate glass, awning windows, or a combination of these window types
 - **Discussion item:** typical of style, allow similar materials, allow hopper window



Mid-Century Modern

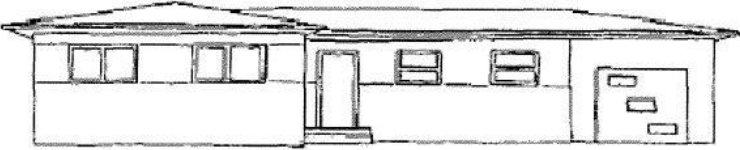


Illustration courtesy of [A Field Guide to American Houses](#). May not be reused by others without permission.



Illustration courtesy of [A Field Guide to American Houses](#). May not be reused by others without permission.

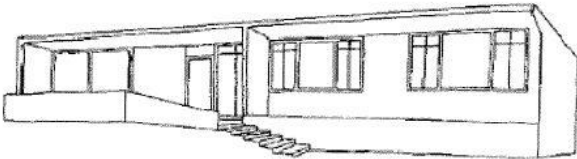


Illustration courtesy of [A Field Guide to American Houses](#). May not be reused by others without permission.



Architectural Styles – for new main structures

Minimal Traditional

- Architectural features
 - One story or one and one-half story with front-facing or side-gabled roof
 - **Discussion item:** move and/or duplicate roof requirements to roof form section
 - Symmetrical or asymmetrical front facade
- Front porches
 - May have a front entry feature with narrow porch supports that could be either steel posts or decorative wrought iron
 - **Discussion item:** provide aesthetic or visual appearance to being steel posts or decorative wrought iron
- Materials
 - Must be clad in brick, stone, wood siding, or a combination of these materials
 - **Discussion item:** allow similar materials
- Roof form
 - Structures may have low-pitched gabled roofs with shallow or no overhangs
- Windows
 - Must have double-hung sashes with true divided panes, typically one-over-one or six-over-six
 - **Discussion item:** aesthetic of double-hung sashes, aesthetic of true divided panes, typical of style, allow similar materials



Minimal Traditional

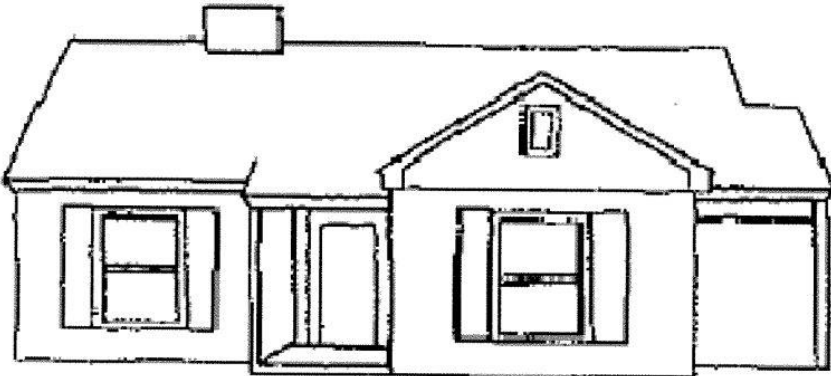


Illustration courtesy of [A Field Guide to American Houses](#), May not be reused by others without permission.



Architectural Styles – for new main structures

Monterey Colonial

- Architectural features
 - Two stories with front-facing or side-gabled roof
 - **Discussion item:** move and/or duplicate roof requirements to roof form section
 - Symmetrical or asymmetrical front facade
 - Asymmetrical front facade with a cantilevered second-story balcony covered by the principal roof
- Front porches
 - Porches are not required
- Materials
 - Must be clad in brick, stucco, wood siding, or a combination of these materials, with the second story typically a different material than the first story
 - **Discussion item:** allow similar materials
- Roof form
 - Structures may have low-pitched gabled roofs with composition shingle, wood, or tile materials
 - **Discussion item:** add hipped for roof form and allow similar materials to Spanish tile and wood shingle
- Windows
 - Must have casement windows or double-hung sashes with true divided panes
 - **Discussion item:** aesthetic of casement windows or single or double-hung sashes, aesthetic of true divided panes, typical of style, allow similar materials



Monterey Colonial



Illustration courtesy of *A Field Guide to American Houses*, May not be reused by others without permission.



Architectural Styles – for new main structures

Spanish Eclectic

- Architectural features
 - Two stories with projecting gable-wing or L-shaped design with front-projecting wing
 - Floor plan layout according to solar orientation and predominant breezes
 - **Discussion item:** remove requirement above
 - Asymmetrical facade
- Front porches
 - Front entry porch may have a small pent roof with second floor sleeping porches or one-story side porches
- Materials
 - Must be clad in brick, stone, stucco, or a combination of these materials
 - **Discussion item:** allow similar materials
- Roof form
 - Structures may have low-pitched gabled or hip standing seam or wood shingle roofs
 - **Discussion item:** add flat roof, remove hip standing seam or wood shingle roofs, and add hipped
 - **Discussion item:** specify similar materials
- Windows
 - Must have double-hung sashes with true divided panes, typically six-over-six
 - **Discussion item:** aesthetic of double-hung sashes, aesthetic of true divided panes, typical of style, allow similar materials



Spanish Eclectic



Illustration courtesy of [A Field Guide to American Houses](#), May not be reused by others without permission.

Typical Structure and Roof Configurations:

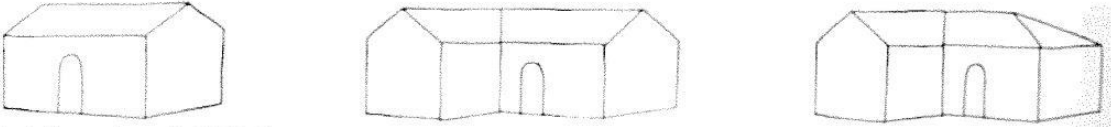


Illustration courtesy of [A Field Guide to American Houses](#), May not be reused by others without permission.



Illustration courtesy of [A Field Guide to American Houses](#), May not be reused by others without permission.

Architectural Styles – for new main structures

Texas Regional

- Architectural features
 - Two stories with projecting gable-wing or L-shaped design with front-projecting wing
 - Floor plan layout according to solar orientation and predominant breezes
 - **Discussion item:** remove requirement above
 - Asymmetrical facade
- Front porches
 - Front entry porch may have a small pent roof with second floor sleeping porches or one-story side porches
- Materials
 - Must be clad in brick, stone, stucco, or a combination of these materials
 - **Discussion item:** allow similar materials
- Roof form
 - Structures may have low-pitched gabled or hip standing seam or wood shingle roofs
 - **Discussion item:** remove hip standing seam or wood shingle roofs and add hipped or shed
 - **Discussion item:** specify similar materials
- Windows
 - Must have double-hung sashes with true divided panes, typically six-over-six
 - **Discussion item:** aesthetic of single or double-hung sashes, aesthetic of true divided panes, typical of style, allow similar materials



Texas Regional

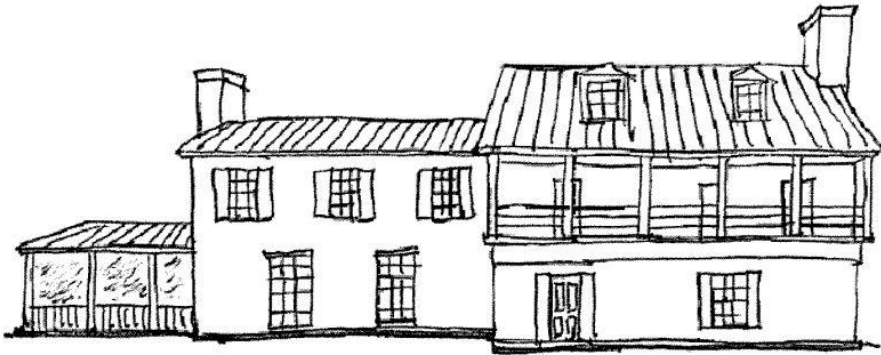


Illustration courtesy of City of Dallas Department of Sustainable Development and Construction, May not be reused by others without permission.



Architectural Styles – for new main structures

Tudor

- Architectural features (Subarea A and C)
 - Symmetrical or asymmetrical front facade
 - At least one front-facing gable
 - Massive Tudor style chimney with optional stone accents
- Architectural features (Subarea B)
 - Symmetrical or asymmetrical front facade
 - At least one front-facing gable
 - **Discussion item:** match requirements in Subareas and remove “Massive Tudor style chimney with optional stone accents” requirement (Tudor style chimney is typical of the style)
- Front porches
 - May have a front entry feature with either a covered or uncovered front door and an arcaded side porch with arched openings
- Materials
 - Must be clad in brick, stone, and stucco with wood half timbering or a combination of these materials
 - **Discussion item:** allow similar materials, clarify combination of materials
- Roof form
 - Structures must have roof that is cross-gabled and steeply pitched with a roof slope of at least 45 degrees but no more than 70 degrees
- Windows
 - Must have some tall, narrow windows, commonly in multiple groups with true divided multi-paned glazing or art glass
 - **Discussion item:** aesthetic of true divided multi-paned glazing or art glass, typical of style, allow similar materials



Tudor



Illustration courtesy of [A Field Guide to American Houses](#), may not be reused by others without permission.



Tudor

Roof Forms and Shapes:

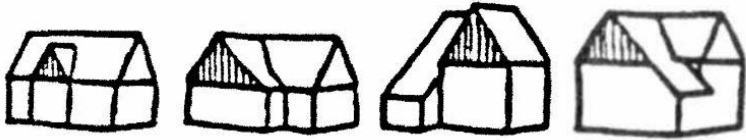


Illustration courtesy of [A Field Guide to American Houses](#), may not be reused by others without permission.

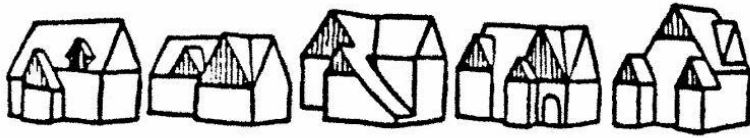


Illustration courtesy of [A Field Guide to American Houses](#), may not be reused by others without permission.

Typical Door Configurations:

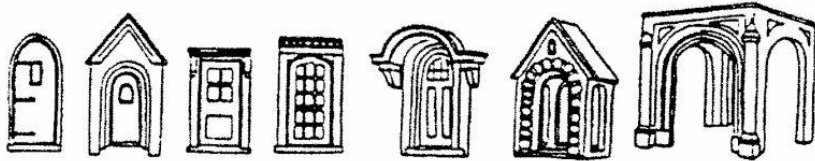
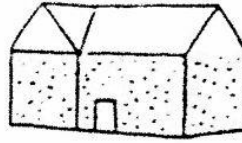


Illustration courtesy of [A Field Guide to American Houses](#), may not be reused by others without permission.

Building Cladding Materials:



Stucco

Illustration courtesy of [A Field Guide to American Houses](#), may not be reused by others without permission.



Brick



Stone

Half Timbering Patterns:

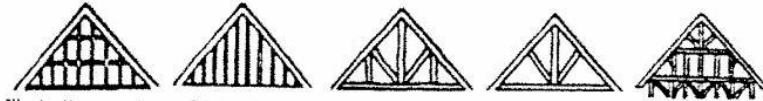


Illustration courtesy of [A Field Guide to American Houses](#), may not be reused by others without permission.

Typical Windows:

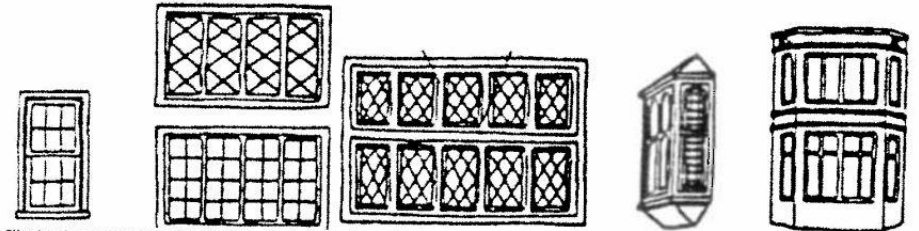


Illustration courtesy of [A Field Guide to American Houses](#), may not be reused by others without permission.

Tudor

Chimney Placement:

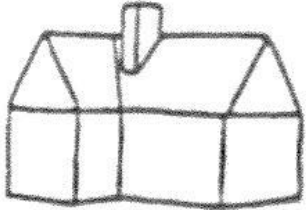


Illustration courtesy of [A Field Guide to American Houses](#), may not be reused by others without permission

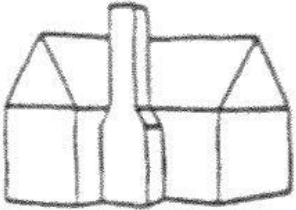


Illustration courtesy of [A Field Guide to American Houses](#), may not be reused by others without permission

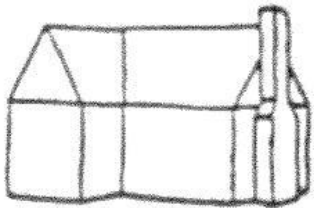


Illustration courtesy of [A Field Guide to American Houses](#), may not be reused by others without permission

Chimney Design:

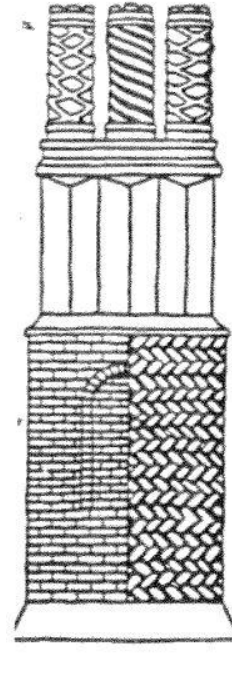


Illustration courtesy of [A Field Guide to American Houses](#), may not be reused by others without permission



Wrap-Around and Front Facade

- Amendments may include:
 - Reducing the depth of the wrap-around
 - Revising the definition of New Main Structure to mean a main structure that does not incorporate an existing structure's "Wrap-around" and "Front facade"
 - Revising the definition of Remodel to apply to a change to a main structure's "Wrap-around" and Front facade;" and the exterior of other structures



Wrap-Around and Front Facade

- Amendments may include:
 - Reducing the depth of the wrap-around
- Existing definition: WRAP-AROUND means that portion of a side facade of a main structure 25 feet behind the corner of the front facade, excluding the front porch
- Discussion item: proposal to reduce depth of wrap-around from 25 feet to 10 feet behind the corner of the front facade, excluding the front porch



Wrap-Around and Front Facade

- Amendments may include:
 - Revising the definition of New Main Structure to mean a main structure that does not incorporate an existing structure's "Wrap-around" and "Front facade"
- Existing definition: NEW MAIN STRUCTURE means a main structure built after August 24, 2011 that does not incorporate the front facade and at least 50 percent of the side facade of an existing main structure
- Discussion item: modify definition of New Main Structure



Wrap-Around and Front Facade

- Amendments may include:
 - Revising the definition of Remodel to apply to a change to a main structure's "Wrap-around" and Front facade;" and the exterior of other structures
- Existing definition: REMODEL means alterations, improvements, or repairs that change the appearance of the structure or replace materials of the structure with other materials. In the case of a main structure, remodel means alterations, improvements, or repairs that change the appearance of the main structure or replace materials of the main structure with other materials to an extent less than what would constitute a new main structure
- Discussion item: clarify alterations, improvements, or repairs to exterior appearance of front facade and wrap around



Setbacks for Main Structures

- Amendments may include:
 - Front Yard Setback Subarea A – making the front yard setback consistent for both existing and new main structures
 - Side Yard Setback Subarea A – modify the language to address additions or remodels to existing main structures with nonconforming side yard setbacks
 - Setbacks for Main Structures (Subarea B) – modifying the language to address additions or remodels to existing main structures with nonconforming side yard setbacks



Setbacks for Main Structures

- Amendments may include:
 - Front Yard Setback Subarea A – making the front yard setback consistent for both existing and new main structures
- Existing regulations:
 - For existing main structures, the minimum front yard setback is 25 feet
 - For new main structures, the minimum front yard setback is the average of the blockface
 - The purpose of above provisions is to provide an incentive for the retention of existing main structures



Setbacks for Main Structures

- Amendments may include:
 - Side Yard Setback Subarea A – modify the language to address additions or remodels to existing main structures with nonconforming side yard setbacks
- Existing regulations:
 - For main structures, the minimum side yard setback is five feet on one side, 10 feet on the other side
 - Side and rear additions to an existing main structure that do not increase the structure's height may maintain the existing side yard setback
- Discussion item: proposal to keep one side at 10 foot setback and the other side the lesser of the distance between an existing main structure and the property line and 5 feet to address nonconforming side yard setbacks



Setbacks for Main Structures

- Amendments may include:
 - Setbacks for Main Structures (Subarea B) – modifying the language to address additions or remodels to existing main structures with nonconforming side yard setbacks
- Existing regulations:
 - Minimum front yard setback is 25 feet
 - Minimum side yard setback is 5 feet
- Discussion item: proposal to modify side yard setback as the lesser of the distance between an existing main structure and the property line and 5 feet to address nonconforming side yard setbacks



Lot Coverage

- Amendments may include:
 - Clarifying the maximum lot coverage for a lot with a new main structure in Subarea A is 35% and in Subarea B is 45%
- Existing requirements in Subarea A:
- Maximum lot coverage for a new main structure is 30% except that lot coverage is 35% if the front porch of the new main structure has a minimum depth of six feet and is at least 25% of the width of the front facade.
Incentive for large porches on new main structure
- Maximum lot coverage for existing structure is 40%.
The purpose of this provision is to provide an incentive for the retention of existing main structures



Lot Coverage

- Amendments may include:
 - Clarifying the maximum lot coverage for a lot with a new main structure in Subarea A is 35% and in Subarea B is 45%
- Existing requirements in Subarea B:
- Maximum lot coverage for a new main structure is 40% except that lot coverage is 45% if the front porch of the new main structure has a minimum depth of six feet and is at least 25% of the width of the front facade.
Incentive for large porches on new main structure
- Maximum lot coverage for existing structure is 45%.
The purpose of this provision is to provide an incentive for the retention of existing main structures



Next steps

- Meeting #3 (March 27, 2018 – 7:00 PM at Turner House)
 - Accessory Structures
 - Retaining Walls
 - Driveways
 - Tree Mitigation
- Meeting #4 (If necessary) to review and/or complete all petition items (April 10, 2018 – 7:00 PM at Turner House)
- Final neighborhood meeting (additional meetings as needed)
 - Review draft ordinance
- Public hearing process (CPC & City Council)



Questions?

Andrew Ruegg

Senior Planner

andrew.ruegg@dallascityhall.com

214-671-7931

Neighborhood Committee Members

John Cox	Walter Buchanan	Jill Juncker	Carole Somers-Clark	Dodie Butler
Katherine McMahon	Amy Lambert Lee	Kenda North	John Eric Mustin	Mike Gaudet

City of Dallas Conservation District website:

<http://dallascityhall.com/departments/sustainabledevelopment/planning/Pages/Conservation-Districts.aspx>

