

# Stevens Park Conservation District

Neighborhood Meeting

June 19, 2018

6:00 p.m.

Turner House

401 N Rosemont Ave

Andrew Ruegg

Senior Planner

Sustainable Development &

Construction

Current Planning



**City of Dallas**

# Background



- Stevens Park Conservation District (CD #20)
- Adopted by City Council on September 28, 2011
- Zoning that preserves an area's physical attributes by providing additional development and architectural regulations



# Process and timeline

- A neighborhood committee (10 property owners) submitted a request for pre-application meetings to begin the process of potentially amending regulations in the Stevens Park Conservation District (CD).
- Sustainable Development & Construction Department held two pre-application meetings on July 11, 2016 and September 12, 2016 to inform property owners of the process, discuss issues with the CD ordinance, and establish a list of Development Standards the neighborhood would consider amending.
- Note: The process for creating and amending conservation districts was amended in 2015 to encourage more property owner participation.



# Process and timeline

- Following the two pre-application meetings, staff provided the neighborhood committee with petitions containing language about development standards the neighborhood would like to potentially amend
- Neighborhood committee was tasked with gathering signed petitions of at least 58% of residents in the Stevens Park CD to start an application to potentially amend the CD
- Staff received petitions on 12/18/2017 and verified petitions met the criteria for bringing forward a complete application



# Previous neighborhood meetings

- Neighborhood meetings were held on February 22, March 13, and March 27, 2018 to discuss and reach consensus on topics from the petition language

## **Meeting #1 (February 22)**

- Architectural Survey
- Similar Architectural Materials
- Materials for Architectural styles
- Height
- Permitted Uses



# Previous neighborhood meetings

## Meeting #2 (March 13)

- Architectural Styles – for new main structures
- Wrap-Around and Front Facade (Wrap-Around depth)

## Meeting #3 (March 27)

- Wrap-Around and Front Facade
- Lot Coverage
- Setbacks for Main Structures
- Accessory Structures
- Retaining Walls
- Driveways
- Tree Mitigation



# Purpose of this meeting

- Tonight's meeting is being held to present and review the proposed amendments based on neighborhood input and staff analysis
- Draft ordinance is posted on the City of Dallas Stevens Park CD amendment website:  
[http://dallascityhall.com/departments/sustainabledevelopment/planning/Pages/stevens\\_park.aspx](http://dallascityhall.com/departments/sustainabledevelopment/planning/Pages/stevens_park.aspx)



# Accessory Structures

- Amendments may include:
  - Revising the definition of accessory structures to include, “pool houses.”
- Existing definition: **ACCESSORY STRUCTURES** means a structure located on the same lot as the main building that is subordinate in floor area, location, and purpose to the main building and is used for a permitted purpose, including garages, pergolas, arbors, work shops, storage buildings, habitable structures, and carports
- **Discussion item:** add pool houses to definition
- **Neighborhood input:** revise definition to read “including but not limited to” and add pool houses to definition





# Accessory Structures

- Revised definition: ACCESSORY STRUCTURES means a structure located on the same lot as the main building that is subordinate in floor area, location, and purpose to the main building and is used for a permitted purpose, including but not limited to garages, pergolas, arbors, work shops, storage buildings, pool houses, habitable structures, and carports



# Accessory Structures

- Amendments may include:
  - Existing Nonconforming Accessory Structures – applying the language for nonconforming accessory structures in Subarea B to Subarea A; and permitting use of similar architectural materials
- Existing regulations: In Subarea B, if a nonconforming accessory structure **or retaining wall** is destroyed by the intentional act of the owner and if it is not being enlarged, the accessory structure **or retaining wall** may be rebuilt in the same location, with a similar style, materials, and roof slope as the structure being demolished
- **Discussion item:** add nonconforming statement to apply to Subarea A and allow for similar architectural materials
- **Neighborhood input:** add non-conforming statement into Subarea A (same as written into Subarea B), allow similar architectural materials, must keep same height, materials, and footprint. Subarea A and B – no enlarging of non-conforming accessory structure



# Accessory Structures

- Amendments may include:
  - Replacement or Remodel of Accessory Structures – clarifying the architectural styles permitted for a replacement or remodeled accessory structure; establishing the permitted size of rebuilt nonconforming accessory structures
- Existing regulations: In Subarea B, if a nonconforming accessory structure is destroyed by the intentional act of the owner and if it is not being enlarged, the accessory structure may be rebuilt in the same location, with a similar style, materials, and roof slope as the structure being demolished
- **Discussion item:** clarify architectural style and permitted size of rebuilt nonconforming structures
- **Neighborhood input:** may be rebuilt if the structure is not being enlarged. Match statement in Subarea B to Subarea A

11



# Accessory Structures

- Amended regulations: ~~In Subarea B,~~ if a nonconforming accessory structure **or retaining wall** is destroyed by the intentional act of the owner or the owner's agent and if it is not being enlarged by height or structure footprint, the accessory structure **or retaining wall** may be rebuilt in the same location, with ~~a similar style~~ the same style, materials, and roof slope as the structure being demolished,
- ~~In Subarea B,~~ Bb before an accessory structure **or retaining wall** is demolished with intent to rebuild, a permit for the new accessory structure **or retaining wall** must be obtained.
- The property owner must provide documented assurance of the original or existing accessory structure as related to the previous degree of nonconformity.



# Accessory Structures

- New definition: DOCUMENTED ASSURANCE means an architectural drawing or photograph delineating the original or existing appearance of the structure.
- Documented assurance provides additional non-conforming language for accessory structures and retaining walls



# Accessory Structures

- Amendments may include:
  - New Accessory Structures – adding language (to Subareas A and B) that new accessory structures must be built in the architectural style applicable to the main structure on the lot; and permitting use of similar architectural materials
- Existing regulations:
  - Subarea A – The color, style, design, and materials of accessory structures that are visible from the street must be compatible with the color, style, design, and materials of the main structure and must match or be compatible with the roof slope of the main structure
  - Subarea B – Accessory structures must have similar materials, including roofing materials, roof pitch, foundation fascia, and fenestration as the main structure.
- **Discussion item:** clarify that accessory structures must be built in the architectural style applicable to the main structure and allow for similar materials
- **Neighborhood input:** add language that accessory structures must be compliant and have similar architectural style and materials in both Subarea A and B



# Accessory Structures

- Subarea A amendments:
  - Style and materials. Except as provided in Section (d)(4), ~~T~~he color, style, design, and materials of accessory structures that are visible from the street must be compatible with the color, architectural style, design, and materials of the main structure.
  - Roof slope. If an accessory structure is visible from the street, the slope of the roof must either match the roof slope of the main structure or be compatible with the architectural style of the main structure.



# Accessory Structures

- Subarea B amendments:
  - Style and Materials. Except as provided in Section (d)(4), the color, style, design, and materials of accessory structures that are visible from the street must be compatible with the color, architectural style, design, and materials of the main structure.
  - Roof slope. If an accessory structure is visible from the street, the slope of the roof must either match the roof slope of the main structure or be compatible with the architectural style of the main structure.
  - This language replaces similar language in Subarea B which references similar materials, roof pitch, ect. for the purposes of clarity and consistency





# Accessory Structures

- Amendments may include:
  - Small Accessory Structures – exempting small accessory structures from compliance with the architectural styles
- Existing regulations:
  - Subarea A – all accessory structures must meet style and materials requirements if visible from the street
  - Subarea B – Material requirements do not apply to accessory structures with a floor area of 200 square feet or less
- **Discussion item:** Exempting small accessory structures from style and materials regulations with floor area of 150 square feet or less in Subarea A
- **Neighborhood input:** In Subarea A and B, accessory structures that are visible from the street and are 100 square feet or more must meet architectural style and materials



# Accessory Structures

- Subarea A amendments:
  - The requirements in this Paragraph (2) apply to accessory structures that are visible from the street and have a floor area of 100 square feet or more.
- Subarea B amendments:
  - The requirements in this Paragraph (B) ~~do not~~ apply to accessory structures that are visible from the street and have ~~with~~ a floor area of ~~200~~ 100 square feet or ~~less~~ more.



# Driveways

- Amendments may include:
  - Increasing the maximum driveway width in Subarea A and B
- Existing regulations:
  - Subarea A – Driveways in front of main structure may not exceed 12 feet in width
  - Subarea B – Driveways in front of main structure may not exceed 14 feet in width
- **Discussion item:** Increase driveway width in both Subareas to 18 feet and add nonconforming statement
- **Neighborhood input:** Subarea A and B – 14 feet, nonconforming statement for driveways already exists



# Driveways

- Subarea A amendments:
  - Driveways in front of the main structure may not exceed ~~12~~ 14 feet in width.
- Subarea B (no change):
  - Driveways in front of the main structure may not exceed 14 feet in width.
- Nonconforming statement for driveways (existing):
  - If a nonconforming driveway is destroyed by the intentional act of the owner or the owner's agent, the driveway may be rebuilt if it is not enlarged.



# Height

- Amendments may include:
  - **Modifying how height is measured**
- Existing definition: the vertical distance measured from grade to the highest peak of the structure, or top of the flat structure
  - In Subarea A - maximum height for structures with sloped roofs is 32 feet to the peak
  - In Subarea A - maximum height for structures with a flat roof is 24 feet
- **Neighborhood input:** Subarea B to be measured like R-7.5(A) District



# Height

- Deleted definition: ~~HEIGHT means the vertical distance measured from the grade to the highest peak of the structure, or top of the flat structure.~~
- In Subarea A, height means the vertical distance measured from the grade to the highest peak of the structure, or top of the flat surface.
- Subarea B height refers back to the R-7.5(A) standards (grade to midpoint of lowest eaves and highest ridge of structure)



# Height

- Amendments may include:
  - **Height of Structures in Subarea B** – establishing the maximum allowed height for structures
- Existing requirements in Subarea B: height refers back to the R-7.5(A) Single Family District maximum height of 30 feet but is measured with the existing definition of HEIGHT in the ordinance (grade to highest peak)
- **Neighborhood input:** Subarea B to be measured like R-7.5(A) District



# Height

- Subarea B height refers back to the R-7.5(A) standards (grade to midpoint of lowest eaves and highest ridge of structure)
- Maximum structure height is 30 feet.
- This is the same standards for the R-7.5(A) regulations.





# Tree Mitigation

- Amendments may include:
  - Clarifying the size and number of trees that may replace protected trees
- Existing regulations:
  - Subarea A – Tree mitigation applies to new construction for the front and side yards and parkway
  - Total caliper of replacement trees must meet or exceed half the caliper of the protected trees that were removed or seriously injured
  - Replacement trees must have a minimum caliper of three inches
- Subarea B – Reverts back to Article X
- **Discussion item:** Clarify tree replacement requirement
- **Neighborhood input:** Staff review to provide flexibility/relief from existing requirements



# Tree Mitigation

- Amendments to Tree Mitigation in Subarea A:
  - If the building official determines that, due to inhospitable soil conditions or inadequate space, it would be impracticable or imprudent for the responsible party to plant a replacement tree on the lot where the protected tree was removed or seriously injured (the “tree removal property”), the responsible party shall comply with the provisions stated in SEC. 51A-10.135 for alternative methods of compliance with tree replacement requirements.



# Lot Coverage

- Amendments may include:
  - Clarifying the maximum lot coverage for a lot with a new main structure in Subarea A is 35% and in Subarea B is 45%
- Existing requirements in Subarea A:
  - Maximum lot coverage for a new main structure is 30% except that lot coverage is 35% if the front porch of the new main structure has a minimum depth of six feet and is at least 25% of the width of the front facade. Incentive for large porches on new main structure
  - Maximum lot coverage for existing structure is 40%. The purpose of this provision is to provide an incentive for the retention of existing main structures
- **Neighborhood input:** no change



# Lot Coverage

- Amendments may include:
  - Clarifying the maximum lot coverage for a lot with a new main structure in Subarea A is 35% and in Subarea B is 45%
- Existing requirements in Subarea B:
  - Maximum lot coverage for a new main structure is 40% except that lot coverage is 45% if the front porch of the new main structure has a minimum depth of six feet and is at least 25% of the width of the front facade. Incentive for large porches on new main structure
  - Maximum lot coverage for existing structure is 45%. The purpose of this provision is to provide an incentive for the retention of existing main structures
- **Neighborhood input:** no change



# Retaining Walls

- Amendments may include:
  - Clarifying the materials that may be used to construct retaining walls; and permitting use of similar materials
- Existing regulations:
  - Subarea A – retaining walls must be constructed of materials that are compatible with the materials and color of the main structure
  - Subarea B – retaining walls located in front of the main structure must be constructed of natural stone, brick, reinforced concrete materials that resemble stone or brick, or a combination of these materials
- **Discussion item:** match materials requirement from Subarea B to Subarea A
  - add wood and steel as acceptable materials
  - add requirements that retaining wall must be clad with a living wall, stucco, or similar materials
- **Neighborhood input:** may be clad in wood or living wall. Material and style regulations apply to retaining walls in front of the main structure or visible from the street in Subarea A and B. Must be compatible with style within the district.



# Retaining Walls

- Subarea A amendments:

- Retaining walls. Except as provided in Section (d)(4), Retainin walls located in front of a main structure or visible from the street must be constructed of materials that are compatible with the materials and color of the main structure or compatible with the style of retaining walls within the Stevens Park Conservation District. Retaining walls may be clad in wood or a living wall. Retaining walls may be constructed of natural stone, materials that look like natural stone, brick, materials that look like brick, reinforced concrete, or a combination of these materials.

- Subarea B amendments:

- Retaining walls. Except as provided in Section (d)(4), Rretainin walls located in front of a main structure or visible from the street must be constructed of ~~natural stone, brick, reinforced concrete~~ materials that ~~resemble stone or brick, or a combination of these materials~~ are compatible with the materials and color of the main structure or compatible with the style of retaining walls within the Stevens Park Conservation District. Retaining walls may be clad in wood or a living wall. Retaining walls may be constructed of natural stone, materials that look like natural stone, brick, materials that look like brick, reinforced concrete, or a combination of these materials.



# Setbacks for Main Structures

- Amendments may include:
  - Front Yard Setback Subarea A – making the front yard setback consistent for both existing and new main structures
- Existing regulations:
  - For existing main structures, the minimum front yard setback is 25 feet
  - For new main structures, the minimum front yard setback is the average of the blockface
  - The purpose of above provisions is to provide an incentive for the retention of existing main structures
- Neighborhood input: setback is average of two adjacent lots. Staff to look into special cases as discussed



# Setbacks for Main Structures

- Subarea A amendments:
  - For existing main structures, the minimum front yard setback is 25 feet
  - For new main structures, the minimum front yard setback is the average of the two contiguous lots along the blockface.
  - For new main structures on corner lots, the minimum front yard setback is the average of the two closest lots along the blockface.
  - For new main structures on lots adjacent to the property at 1931 Marydale, the minimum front yard setback is the average of the two closest lots along the blockface not including the property at 1931 Marydale.
  - The purpose of above provisions is to provide an incentive for the retention of existing main structures





# Setbacks for Main Structures

- Amendments may include:
  - Side Yard Setback Subarea A – modify the language to address additions or remodels to existing main structures with nonconforming side yard setbacks
- Existing regulations:
  - For main structures, the minimum side yard setback is five feet on one side, 10 feet on the other side
  - **Side and rear additions to an existing main structure that do not increase the structure's height may maintain the existing side yard setback**
- **Discussion item:** proposal to keep one side at 10 foot setback and the other side the lesser of the distance between an existing main structure and the property line and 5 feet to address nonconforming side yard setbacks
- **Neighborhood input:** no change



# Setbacks for Main Structures

- Amendments may include:
  - Setbacks for Main Structures (Subarea B) – modifying the language to address additions or remodels to existing main structures with nonconforming side yard setbacks
- Existing regulations:
  - Minimum front yard setback is 25 feet
  - Minimum side yard setback is 5 feet
- **Discussion item:** proposal to modify side yard setback as the lesser of the distance between an existing main structure and the property line and 5 feet to address nonconforming side yard setbacks
- **Neighborhood input:** no change, clarify with statement from Subarea A



# Setbacks for Main Structures

- Subarea B amendments:
  - Side and rear additions to an existing main structure that do not increase the structure's height may maintain the existing side yard setback



# Setbacks for Accessory Structures

- Amendments may include:
  - Subarea A – establishing setbacks for accessory structures greater than 16 feet in height, less than 16 feet in height; and establishing rules for accessory structures that are nonconforming as to setbacks
- Existing regulations: Subarea A – accessory structures must comply with the setback regulations for main structures
- **Discussion item:** establish setbacks for existing accessory structures greater than 16 feet in height as the lesser of five feet and the existing side yard distance between the structure and the property line for the side yard and the lesser of ten feet and the existing rear yard distance between the structure and the property line for the rear yard
- **Discussion item:** For accessory structures 16 feet in height or less, no minimum side or rear yard setbacks are required
- **Neighborhood input:** Yes to second discussion item, add clarifying language from staff



# Setbacks for Accessory Structures

- Subarea A amendments:
  - For accessory structures more than 16 feet in height, measured at the highest point of the structure, minimum setbacks must comply with the setback regulations for main structures.
  - For accessory structures 16 feet in height or less, measured at the highest point of the structure, no minimum side or rear yard setbacks are required.
  - Accessory structures may not overhang on adjacent property.



# Setbacks for Accessory Structures

- Amendments may include:
  - Subarea B – amending the side and rear yard setbacks, height, and how height is measured
- Existing regulations: Subarea B – Accessory structures more than 26 feet in height, measured at the highest point of the structure, minimum setbacks must comply with the setback regulations for main structures. Structures 26 feet in height or less, no minimum side and rear yard setbacks are required
- **Discussion item:** Amend/clarify existing regulations?
  - **Staff note:** CH. 51A does not allow the height of an accessory structure to exceed the height of the main
- **Neighborhood input:** no change



# Permitted Uses

- Amendments may include:
  - Modifying the permitted uses in Subareas A and B
- Existing uses allowed in Subarea A and Subarea B: church, handicap group dwelling units (SUP may be required), local utilities (SUP may be required), and single family
- **Neighborhood input/staff recommendation:** no change



# Wrap-Around and Front Facade

- Amendments may include:
  - Reducing the depth of the wrap-around
- Existing definition: WRAP-AROUND means that portion of a side facade of a main structure 25 feet behind the corner of the front facade, excluding the front porch
- Discussion item: proposal to reduce depth of wrap-around from 25 feet to 10 feet behind the corner of the front facade, excluding the front porch
- **Neighborhood input:** no change





# Wrap-Around and Front Facade

- Amendments may include:
  - Revising the definition of New Main Structure to mean a main structure that does not incorporate an existing structure's "Wrap-around" and "Front facade"
- Existing definition: NEW MAIN STRUCTURE means a main structure built after August 24, 2011 that does not incorporate the front facade and at least 50 percent of the side facade of an existing main structure
- **Discussion item:** modify definition of New Main Structure (25 feet for wrap around **or** 50 percent of side facade)
- **Neighborhood input:** Revise definition for clarity



# Wrap-Around and Front Facade

- Revised definition: NEW MAIN STRUCTURE means a main structure built after August 24, 2011 that does not incorporate the front facade and at least the front 50 percent of the side facade of an existing main structure.



# Wrap-Around and Front Facade

- Amendments may include:
  - Revising the definition of Remodel to apply to a change to a main structure's "Wrap-around" and Front facade;" and the exterior of other structures
- Existing definition: REMODEL means alterations, improvements, or repairs that change the appearance of the structure or replace materials of the structure with other materials. In the case of a main structure, remodel means alterations, improvements, or repairs that change the appearance of the main structure or replace materials of the main structure with other materials to an extent less than what would constitute a new main structure
- **Discussion item:** clarify alterations, improvements, or repairs to exterior appearance of front facade and wrap around
- **Neighborhood input:** Revise definition to clarify exterior of structure



# Wrap-Around and Front Facade

- Revised definition: REMODEL means alterations, improvements, or repairs that change the exterior appearance of the accessory structure or replace materials of the accessory structure with other materials. In the case of a main structure, remodel means alterations, improvements, or repairs that change the exterior appearance of the front facade and wrap around of a main structure or replace materials of the front facade and wrap around of a main structure with other materials to an extent less than what would constitute a new main structure



# Architectural Styles – for new main structures

- Proposed amendments may include:
  - **Clarifying required architectural styles for new main structures**
- Existing requirements: new main structure may only be built in one of the ten architectural styles in compliance with the architectural standards
- **Discussion item:** new main structure does not need to be built in the same architectural style as the main structure being replaced
- **Neighborhood input:** Yes to discussion item



# Architectural Styles – for new main structures

- Amendments to architectural standards for Subareas A and B:
- New main structures are not required to be built in the same architectural style as the structure being replaced.



# Similar Architectural Materials

- Amendments may include, defining similar architectural materials to mean similar in terms of physical appearance and function and not material composition
- Existing requirements: for each architectural style, structures must be clad in the materials listed
  - Example for Colonial Revival architectural style: structures must be clad in brick, stone, clapboard, siding, or a combination of these materials
- **Neighborhood input:** similar materials acceptable. Example: materials that look like stone



# Materials for Architectural Styles

- Amendments may include:
  - Clarifying the use of “similar materials” and amending the allowable materials for some architectural styles in Subareas A and B
  - Modifying the requirements for replacement windows and clarifying that similar architectural materials can be used for replacement windows
- **Neighborhood input:** similar materials acceptable. Revising materials for each style, as necessary
- **Neighborhood input:** add language for nonconforming windows, appearance of divided light, typical of style but allow similar architectural materials





# Architectural Styles – for new main structures

- Proposed amendments may include:
  - Modifying the roof form and material requirements, the porch requirement, and the architectural features requirement for some architectural styles
- For consideration in each architectural style
  - Art Deco
  - Colonial Revival
  - French Eclectic
  - Georgian
  - Mid-Century Modern
  - Minimal Traditional
  - Monterey Colonial
  - Spanish Eclectic
  - Texas Regional
  - Tudor



# Architectural Styles – for new main structures

## Art Deco

- Architectural features
  - Asymmetrical front facade
- Front porches
  - No front porch is required, if constructed must be small portico
- Materials
  - Must be clad in stucco, concrete block, or brick laid with smooth mortar joints to appear monolithic
  - **Neighborhood input:** allow similar materials
    - Exclude certain materials as similar materials\* (for all architectural styles)
- Roof form
  - Must have a flat or low-pitched roof hidden behind ledge or parapet
- Windows
  - Must have single windows with distinctive-shaped accent windows such as round, hexagonal, or glass block
  - **Neighborhood input:** typical of style, typical of neighborhood, similar in appearance for replacement windows, features that pre-date this may be replaced in kind (non-conforming statement), and muttons and mullions must be located on the exterior face of the glass\* (for all architectural styles)
    - Allow single light windows on casement windows and optional distinctive-shaped accent windows

50



# Architectural Styles – for new main structures

## Art Deco

- **Building** Materials

- Structures must be clad in stucco, materials that look like stucco, concrete block, materials that look like concrete block, or brick laid with smooth mortar joints to appear monolithic
- Any materials used for remodeling must be appropriate to the Art Deco style within the Stevens Park Conservation District in terms of type, size, color, coursing, texture, and joint detailing.



# Architectural Styles – for new main structures

## Art Deco

- Windows
  - Structures must have single-light windows or single-light casement windows with optional distinctive-shaped accent windows such as round, hexagonal, or glass block.
  - Muntins and mullions must be located on the exterior face of the glass and must project from the outside face of the glass by at least ¼ inch.
  - Windows must be typical or look typical of the style and period of Art Deco structures within the Stevens Park Conservation District.
  - Windows that pre-date August 22, 2018 may be replaced in-kind.
- Added definition: IN-KIND REPLACEMENT means to replace the existing materials on a structure with the same material type, design, dimension, texture, detailing, and exterior appearance.



# Art Deco

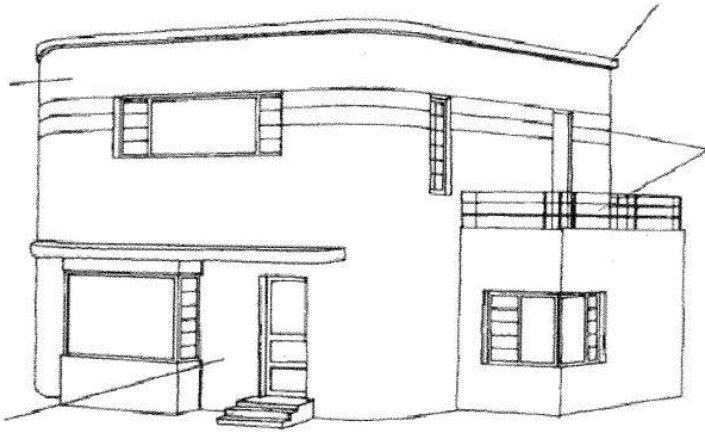


Illustration courtesy of A Field Guide to American Houses, May not be reused by others without permission.

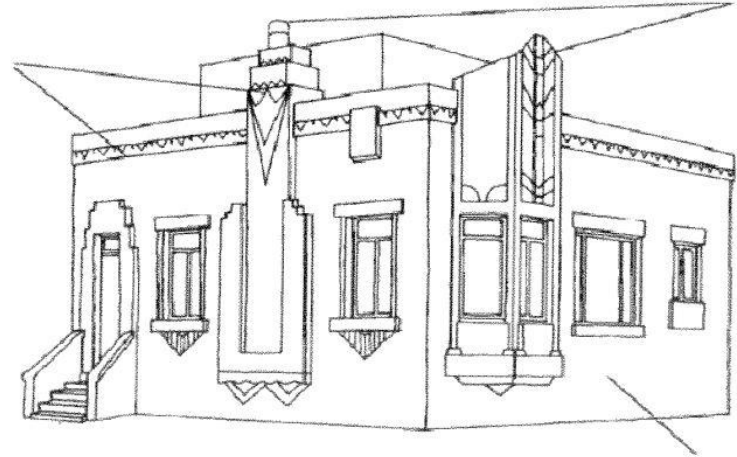


Illustration courtesy of A Field Guide to American Houses, May not be reused by others without permission.



# Architectural Styles – for new main structures

## Colonial Revival

- Architectural features
  - Symmetrical front facade
  - One and one-half or two story box with optional one-story, flat roof appendages
  - **Neighborhood input:** Move optional one-story, appendages to roof form section and allow dormers
- Front porches
  - Structure must have an accentuated front door with an entry porch, decorative crown and pilasters, or a full-width porch
- Materials
  - Must be clad in brick, stone, clapboard, siding, or a combination of these materials
  - **Neighborhood input:** allow similar materials
    - Exclude certain materials as similar materials\* (for all architectural styles)
- Roof form
  - Side-gabled roof with a slope between 25 and 45 degrees
  - **Neighborhood input:** Move optional one-story, appendages to roof form section and allow dormers
- Windows
  - Must be symmetrically balanced, located on both sides of a centered door
  - Must have double-hung sashes, typically with six-over-six divided-pane windows
  - **Neighborhood input:** appearance of single or double-hung sashes, typical of style, and allow similar materials



# Architectural Styles – for new main structures

## Colonial Revival

- **Building** Materials

- Structures must be clad in brick, materials that look like brick, stone, materials that look like stone, wood clapboard siding, materials that look like wood clapboard siding, or a combination of these materials. Vinyl siding is not permitted.
- Any materials used for remodeling must be appropriate to the Colonial Revival style within the Stevens Park Conservation District in terms of type, size, color, coursing, texture, and joint detailing.



# Architectural Styles – for new main structures

## Colonial Revival

- Roof form
  - Side-gabled roof with a slope between 25 degrees and 45 degrees with optional dormers.
  - If provided, one-story appendages must have flat roof or side-gabled roof with a slope between 25 and 45 degrees.





# Architectural Styles – for new main structures

## Colonial Revival

- Windows
  - Windows must **have** be single-hung or double-hung sashes, typically with six-over-six divided-panes ~~windows.~~
  - Muntins and mullions must be located on the exterior face of the glass and must project from the outside face of the glass by at least ¼ inch.
  - Windows must be typical or look typical of the style and period of Colonial Revival structures within the Stevens Park Conservation District.
  - Windows that pre-date August 22, 2018 may be replaced in-kind.
- Added definition: IN-KIND REPLACEMENT means to replace the existing materials on a structure with the same material type, design, dimension, texture, detailing, and exterior appearance.



# Architectural Styles – for new main structures

## Colonial Revival

- Windows
  - Windows must **have** be single-hung or double-hung sashes, typically with six-over-six divided-panes ~~windows.~~
  - Muntins and mullions must be located on the exterior face of the glass and must project from the outside face of the glass by at least ¼ inch.
  - Windows must be typical or look typical of the style and period of Colonial Revival structures within the Stevens Park Conservation District.
  - Windows that pre-date August 22, 2018 may be replaced in-kind.
- Added definition: IN-KIND REPLACEMENT means to replace the existing materials on a structure with the same material type, design, dimension, texture, detailing, and exterior appearance.



# Colonial Revival



Illustration courtesy of *A Field Guide to American Houses*, May not be reused by others without permission.

### Common Structure Configurations:

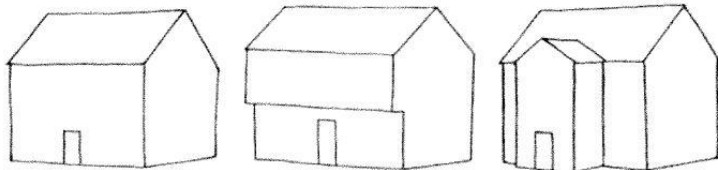


Illustration courtesy of *A Field Guide to American Houses*, May not be reused by others without permission.

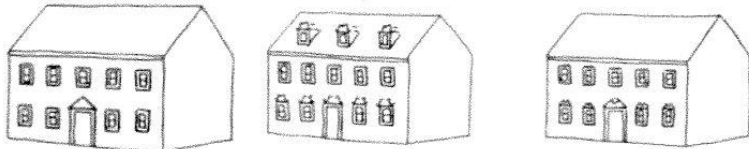


Illustration courtesy of *A Field Guide to American Houses*, May not be reused by others without permission.

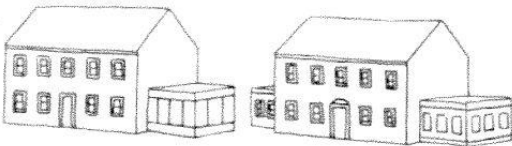


Illustration courtesy of *A Field Guide to American Houses*, May not be reused by others without permission.





# Colonial Revival



# Architectural Styles – for new main structures

## French Eclectic

- Architectural features
  - Symmetrical or asymmetrical front facade
  - One and one-half or two story block with optional one-story appendages. Third story block is permitted within a mansard roof
  - **Neighborhood input:** change third story to additional half-story
  - Entry turret feature
  - **Neighborhood input:** make turret feature optional
  - Predominant massive chimney on front roofline
  - **Neighborhood input:** remove requirement for front roofline
- Front porches
  - No front porch is required
  - Courtyards are permitted in the front and side yard
- Materials
  - Must be clad in brick, stone, stucco, or a combination of these materials
  - **Neighborhood input:** allow similar materials
- Roof form
  - Structures may have tall, steeply-pitched hipped or mansard roofs with flared eaves at the roof-wall junction
- Windows
  - Must have casement windows or double-hung sashes with true divided panes
  - **Neighborhood input:** aesthetic of casement windows single or double-hung sashes, aesthetic of true divided panes, typical of style, allow similar materials



# Architectural Styles – for new main structures

## French Eclectic

- Architectural features
  - Symmetrical or asymmetrical front facade
  - One and one-half or two story block with optional one-story appendages. An additional half-story ~~third-story~~ block is permitted within a mansard roof
  - Optional entry turret feature
  - Predominant massive chimney ~~on front roofline~~



# Architectural Styles – for new main structures

## French Eclectic

- **Building** Materials
  - Structures must be clad in brick, materials that look like brick, stone, materials that look like stone, stucco, or a combination of these materials
  - Any materials used for remodeling must be appropriate to the French Eclectic style within the Stevens Park Conservation District in terms of type, size, color, coursing, texture, and joint detailing.





# Architectural Styles – for new main structures

## French Eclectic

- Windows
  - Structures must have casement windows, single-hung, or double-hung sashes with ~~true divided panes~~ multi-pane sashes.
  - Muntins and mullions must be located on the exterior face of the glass and must project from the outside face of the glass by at least ¼ inch.
  - Windows must be typical or look typical of the style and period of French Eclectic structures within the Stevens Park Conservation District.
  - Windows that pre-date August 22, 2018 may be replaced in-kind.
- Added definition: IN-KIND REPLACEMENT means to replace the existing materials on a structure with the same material type, design, dimension, texture, detailing, and exterior appearance.





# French Eclectic



Illustration courtesy of *A Field Guide to American Houses*, May not be reused by others without permission.



# Architectural Styles – for new main structures

## Georgian

- Architectural features
  - Two story with simple side gable
  - **Neighborhood input:** no change
  - Symmetrical front facade with centered entry door
- Front porches
  - (no requirement listed)
  - **Neighborhood input:** front porch or pediment may be added
- Materials
  - Must be clad in brick with optional decorative stone quoins at corners
  - **Neighborhood input:** allow similar materials
- Roof form
  - Structures may have side-gabled roof with a slope between 25 and 45 degrees
  - **Neighborhood input:** no change
- Windows
  - Must have double-hung sashes with true divided panes, typically nine-over-nine
  - **Neighborhood input:** aesthetic of double-hung sashes, aesthetic of true divided panes, typical of style, allow similar materials



# Architectural Styles – for new main structures

## Georgian

- **Building** Materials

- Structures must be clad in brick or materials that look like brick, with optional decorative stone quoins at corners.
- Any materials used for remodeling must be appropriate to the Georgian style within the Stevens Park Conservation District in terms of type, size, color, coursing, texture, and joint detailing.

- Front Porches

- Optional front porch or pediment may be added.



# Architectural Styles – for new main structures

## Georgian

- Windows
  - Structures must have double-hung sashes ~~with true-divided panes~~, typically with nine-over-nine or six-over-six divided-panes.
  - Muntins and mullions must be located on the exterior face of the glass and must project from the outside face of the glass by at least ¼ inch.
  - Windows must be typical or look typical of the style and period of Georgian structures within the Stevens Park Conservation District.
  - Windows that pre-date August 22, 2018 may be replaced in-kind.
- Added definition: IN-KIND REPLACEMENT means to replace the existing materials on a structure with the same material type, design, dimension, texture, detailing, and exterior appearance.





# Georgian

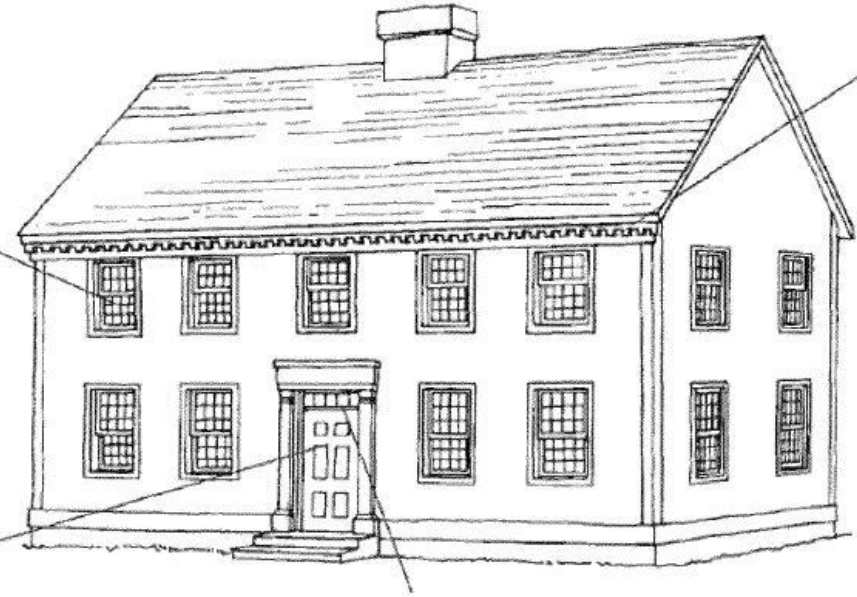


Illustration courtesy of *A Field Guide to American Houses*. May not be reused by others without permission.



# Architectural Styles – for new main structures

## Mid-Century Modern

- Architectural features
  - One story or split level with hipped or side-gabled roof
  - **Neighborhood input:** no change to number of stories. Move end of sentence to roof form section
  - Asymmetrical front facade
- Front porches
  - May have a front entry feature with narrow porch supports that could be either steel posts or decorative wrought iron
  - **Neighborhood input:** porch supports or columns must be typical of the style and district
- Materials
  - Must be clad in brick, stone, wood siding, or a combination of these materials
  - **Neighborhood input:** allow similar materials. Keep materials with Ranch-style Mid-Century Modern style of district
- Roof form
  - Structures may have low-pitched, side-gabled, or hipped roofs with broad overhangs
  - **Neighborhood input:** revise requirements to allow flat, low-pitched or slanted roof with broad overhangs
- Windows
  - Must have ribbon, grouped, plate glass, awning windows, or a combination of these window types
  - **Neighborhood input:** typical of style, allow similar materials, allow hopper window



# Architectural Styles – for new main structures

## Mid-Century Modern

- Architectural features
  - One story or split level ~~with hipped or side-gabled roof~~
- Porches
  - Structures may have a front entry feature with narrow porch supports that could be either steel posts or decorative wrought iron
  - Porch supports or columns must be typical of the Mid-Century Modern style within the Stevens Park Conservations District
- Roofs form
  - Structures may have a flat, low-pitched, or slanted side-gabled, ~~or hipped~~ roofs with broad overhangs



# Architectural Styles – for new main structures

## Mid-Century Modern

- **Building** Materials

- Structures must be clad in brick, materials that look like brick, stone, materials that look like stone, wood siding, materials that look like wood siding, or a combination of these materials. Vinyl siding is not permitted.
- Any materials used for remodeling must be appropriate to the Mid-Century Modern style within the Stevens Park Conservation District in terms of type, size, color, coursing, texture, and joint detailing.





# Architectural Styles – for new main structures

## Mid-Century Modern

- Windows
  - Structures must have ribbon, grouped, plate glass, awning windows, [hopper windows](#), or a combination of these window types.
  - [Muntins and mullions must be located on the exterior face of the glass and must project from the outside face of the glass by at least ¼ inch.](#)
  - [Windows must be typical or look typical of the style and period of Mid-Century Modern structures within the Stevens Park Conservation District.](#)
  - [Windows that pre-date August 22, 2018 may be replaced in-kind.](#)
- Added definition: [IN-KIND REPLACEMENT means to replace the existing materials on a structure with the same material type, design, dimension, texture, detailing, and exterior appearance.](#)



# Mid-Century Modern

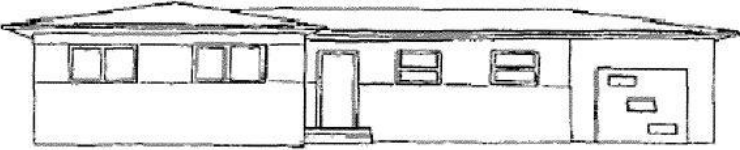


Illustration courtesy of [A Field Guide to American Houses](#). May not be reused by others without permission.



Illustration courtesy of [A Field Guide to American Houses](#). May not be reused by others without permission.

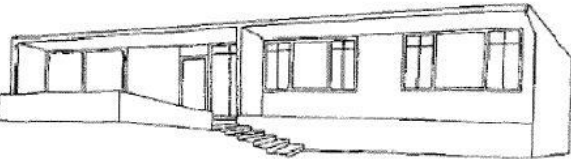


Illustration courtesy of [A Field Guide to American Houses](#). May not be reused by others without permission.



# Architectural Styles – for new main structures

## Minimal Traditional

- Architectural features
  - One story or one and one-half story with front-facing or side-gabled roof
  - **Neighborhood input:** move/clarify last part of sentence to roof form section
  - Symmetrical or asymmetrical front facade
- Front porches
  - May have a front entry feature with narrow porch supports that could be either steel posts or decorative wrought iron
  - **Neighborhood input:** porch supports or columns must be typical of the style and district
- Materials
  - Must be clad in brick, stone, wood siding, or a combination of these materials
  - **Neighborhood input:** allow similar materials
- Roof form
  - Structures may have low-pitched gabled roofs with shallow or no overhangs
- Windows
  - Must have double-hung sashes with true divided panes, typically one-over-one or six-over-six
  - **Neighborhood input:** aesthetic of double-hung sashes, aesthetic of true divided panes, typical of style, allow similar materials



# Architectural Styles – for new main structures

## Minimal Traditional

- Architectural features
  - One story or one and one-half story ~~with front-facing or side-gabled roof~~
- Porches
  - Structures may have a front entry feature with narrow porch supports that could be either steel posts or decorative wrought iron
  - Porch supports or columns must be typical of the Minimal Traditional style within the Stevens Park Conservations District
- Roofs ~~s~~ form
  - Structures may have low-pitched gabled roofs with shallow or no overhangs.



# Architectural Styles – for new main structures

## Minimal Traditional

- **Building** Materials

- Structures must be clad in brick, materials that look like brick, stone, materials that look like stone, wood siding, materials that look like wood siding, or a combination of these materials. Vinyl siding is not permitted.
- Any materials used for remodeling must be appropriate to the Minimal Traditional style within the Stevens Park Conservation District in terms of type, size, color, coursing, texture, and joint detailing.





# Architectural Styles – for new main structures

## Minimal Traditional

- Windows
  - Structures must have double-hung sashes ~~with true divided panes~~, typically with one-over-one or six-over-six divided-pane windows.
  - Muntins and mullions must be located on the exterior face of the glass and must project from the outside face of the glass by at least ¼ inch.
  - Windows must be typical or look typical of the style and period of Minimal Traditional structures within the Stevens Park Conservation District.
  - Windows that pre-date August 22, 2018 may be replaced in-kind.
- Added definition: IN-KIND REPLACEMENT means to replace the existing materials on a structure with the same material type, design, dimension, texture, detailing, and exterior appearance.



# Minimal Traditional

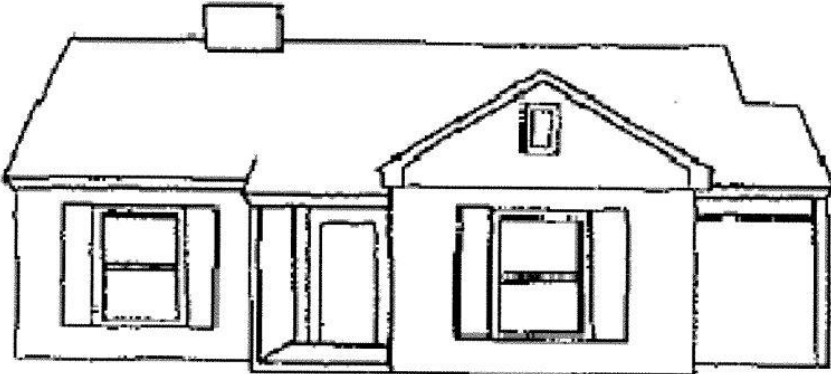


Illustration courtesy of [A Field Guide to American Houses](#), May not be reused by others without permission.



# Architectural Styles – for new main structures

## Monterey Colonial

- Architectural features
  - Two stories with front-facing or side-gabled roof
  - **Neighborhood input:** move/clarify roof requirements to roof form section
  - Symmetrical or asymmetrical front facade
  - Asymmetrical front facade with a cantilevered second-story balcony covered by the principal roof
- Front porches
  - Porches are not required
- Materials
  - Must be clad in brick, stucco, wood siding, or a combination of these materials, with the second story typically a different material than the first story
  - **Neighborhood input:** allow similar materials
- Roof form and materials
  - Structures may have low-pitched gabled roofs with composition shingle, wood, or tile materials
  - **Neighborhood input:** add hipped for roof form and allow similar materials to existing roof materials
- Windows
  - Must have casement windows or double-hung sashes with true divided panes
  - **Neighborhood input:** aesthetic of casement windows or single or double-hung sashes, aesthetic of true divided panes, typical of style, allow similar materials





# Architectural Styles – for new main structures

## Monterey Colonial

- Architectural features
  - Two stories ~~with front-facing or side-gabled roof~~
- Roofs form
  - Structures may have low-pitched gabled or hipped roofs ~~with composition shingle, wood, or tile materials.~~
- Roof materials
  - Structures must have Spanish tile, materials that look like Spanish tile, wood shingle, materials that look like wood shingle, composition shingle, or materials that look like composition shingle.
  - Any roofing materials used for remodeling must be appropriate to the Monterey Colonial style within the Stevens Park Conservation District.



# Architectural Styles – for new main structures

## Monterey Colonial

- **Building** Materials

- Structures must be clad in brick, materials that look like brick, stucco, materials that look like stucco, wood siding, materials that look like wood siding, or a combination of these materials, with the second story typically different material than the first story. Vinyl siding is not permitted.
- Any materials used for remodeling must be appropriate to the Monterey Colonial style within the Stevens Park Conservation District in terms of type, size, color, coursing, texture, and joint detailing.



# Architectural Styles – for new main structures

## Monterey Colonial

- Windows
  - Structures must have casement windows, ~~or~~ single-hung sashes, or double-hung sashes with ~~true divided panes~~ divided-pane windows.
  - Muntins and mullions must be located on the exterior face of the glass and must project from the outside face of the glass by at least ¼ inch.
  - Windows must be typical or look typical of the style and period of Monterey Colonial structures within the Stevens Park Conservation District.
  - Windows that pre-date August 22, 2018 may be replaced in-kind.
- Added definition: IN-KIND REPLACEMENT means to replace the existing materials on a structure with the same material type, design, dimension, texture, detailing, and exterior appearance.



# Monterey Colonial



Illustration courtesy of *A Field Guide to American Houses*, May not be reused by others without permission.



# Architectural Styles – for new main structures

## Spanish Eclectic

- Architectural features
  - Two stories with projecting gable-wing or L-shaped design with front-projecting wing
  - Floor plan layout according to solar orientation and predominant breezes
  - **Neighborhood input:** remove requirement above
  - Asymmetrical facade
- Front porches
  - Front entry porch may have a small pent roof with second floor sleeping porches or one-story side porches
- Materials
  - Must be clad in brick, stone, stucco, or a combination of these materials
  - **Neighborhood input :** allow similar materials
- Roof form
  - Structures may have low-pitched gabled or hip standing seam or wood shingle roofs
  - **Neighborhood input :** add flat roof, remove hip standing seam or wood shingle roofs, and add hipped
  - **Neighborhood input :** specify similar materials
- Windows
  - Must have double-hung sashes with true divided panes, typically six-over-six
  - **Neighborhood input :** aesthetic of double-hung sashes, aesthetic of true divided panes, typical of style, allow similar materials



# Architectural Styles – for new main structures

## Spanish Eclectic

- Architectural features
  - ~~Floor plan layout according to solar orientation and predominant breezes~~
- Roofs form
  - Structures ~~may~~ must have low-pitched gabled, flat, or hipped roofs ~~hip standing seam or wood shingle roofs~~.
- Roof materials
  - Structures must have Spanish tile, materials that look like Spanish tile, wood shingle, materials that look like wood shingle, composition shingle, or materials that look like composition shingle.
  - Any roofing materials used for remodeling must be appropriate to the Spanish Eclectic style within the Stevens Park Conservation District.





# Architectural Styles – for new main structures

## Spanish Eclectic

- **Building** Materials

- Structures must be clad in brick, materials that look like brick, stone, materials that look like stone, stucco, materials that look like stucco, or a combination of these materials.
- Any materials used for remodeling must be appropriate to the Spanish Eclectic style within the Stevens Park Conservation District in terms of type, size, color, coursing, texture, and joint detailing.





# Architectural Styles – for new main structures

## Spanish Eclectic

- Windows
  - Structures must have double-hung sashes ~~with true divided panes~~ typically with six-over-six divided-pane windows.
  - Muntins and mullions must be located on the exterior face of the glass and must project from the outside face of the glass by at least ¼ inch.
  - Windows must be typical or look typical of the style and period of Spanish Eclectic structures within the Stevens Park Conservation District.
  - Windows that pre-date August 22, 2018 may be replaced in-kind.
- Added definition: IN-KIND REPLACEMENT means to replace the existing materials on a structure with the same material type, design, dimension, texture, detailing, and exterior appearance.



# Spanish Eclectic



Illustration courtesy of [A Field Guide to American Houses](#), May not be reused by others without permission.

## Typical Structure and Roof Configurations:

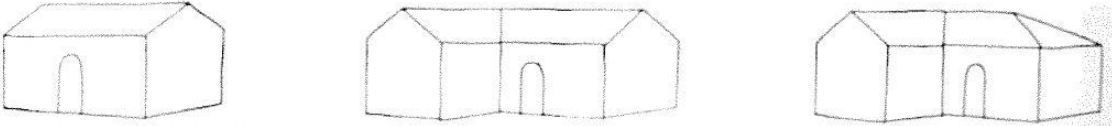


Illustration courtesy of [A Field Guide to American Houses](#), May not be reused by others without permission.



Illustration courtesy of [A Field Guide to American Houses](#), May not be reused by others without permission.

# Architectural Styles – for new main structures

## Texas Regional

- Architectural features
  - Two stories with projecting gable-wing or L-shaped design with front-projecting wing
  - Floor plan layout according to solar orientation and predominant breezes
  - **Neighborhood input:** remove requirement above
  - Asymmetrical facade
- Front porches
  - Front entry porch may have a small pent roof with second floor sleeping porches or one-story side porches
- Materials
  - Must be clad in brick, stone, stucco, or a combination of these materials
  - **Neighborhood input :** allow similar materials
- Roof form and materials
  - Structures may have low-pitched gabled or hip standing seam or wood shingle roofs
  - **Neighborhood input :** remove hip standing seam or wood shingle roofs and add hipped or shed
  - **Neighborhood input :** specify similar materials
- Windows
  - Must have double-hung sashes with true divided panes, typically six-over-six
  - **Neighborhood input :** aesthetic of single or double-hung sashes, aesthetic of true divided panes, typical of style, allow similar materials



# Architectural Styles – for new main structures

## Texas Regional

- Architectural features
  - ~~Floor plan layout according to solar orientation and predominant breezes~~
- Roofs form
  - Structures may have low-pitched gabled, hipped, or shed roof. ~~hip standing seam or wood shingle roofs.~~
- Roof materials
  - Structures must have wood shingle, materials that look like wood shingle, or metal roofs.
  - Any roofing materials used for remodeling must be appropriate to the Texas Regional style within the Stevens Park Conservation District.



# Architectural Styles – for new main structures

## Texas Regional

- **Building** Materials

- Structures must be clad in brick, materials that look like brick, stone, materials that look like stone, stucco, materials that look like stucco, or a combination of these materials.
- Any materials used for remodeling must be appropriate to the Texas Regional style within the Stevens Park Conservation District in terms of type, size, color, coursing, texture, and joint detailing.



# Architectural Styles – for new main structures

## Texas Regional

- Windows
  - Structures must have single-hung or double-hung sashes ~~with true divided panes~~ typically with six-over-six divided-pane windows.
  - Muntins and mullions must be located on the exterior face of the glass and must project from the outside face of the glass by at least ¼ inch.
  - Windows must be typical or look typical of the style and period of Texas Regional structures within the Stevens Park Conservation District.
  - Windows that pre-date August 22, 2018 may be replaced in-kind.
- Added definition: IN-KIND REPLACEMENT means to replace the existing materials on a structure with the same material type, design, dimension, texture, detailing, and exterior appearance.





# Texas Regional

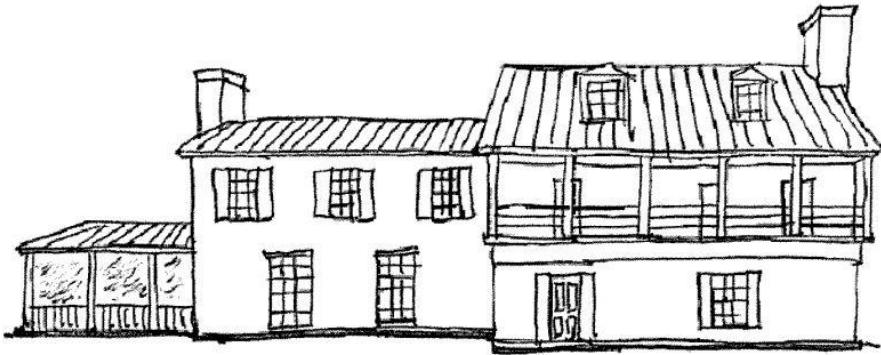


Illustration courtesy of City of Dallas Department of Sustainable Development and Construction, May not be reused by others without permission.





# Architectural Styles – for new main structures

## Tudor

- Architectural features (Subarea A and C)
  - Symmetrical or asymmetrical front facade
  - At least one front-facing gable
  - Massive Tudor style chimney with optional stone accents
- Architectural features (Subarea B)
  - Symmetrical or asymmetrical front facade
  - At least one front-facing gable
  - **Neighborhood input:** match requirements in Subareas and revise “Massive Tudor style chimney with optional stone accents” requirement (Tudor style chimney is typical of the style)
- Front porches
  - May have a front entry feature with either a covered or uncovered front door and an arcaded side porch with arched openings
- Materials
  - Must be clad in brick, stone, and stucco with wood half timbering or a combination of these materials
  - **Neighborhood input :** allow similar materials, clarify combination of materials
- Roof form
  - Structures must have roof that is cross-gabled and steeply pitched with a roof slope of at least 45 degrees but no more than 70 degrees
- Windows
  - Must have some tall, narrow windows, commonly in multiple groups with true divided multi-paned glazing or art glass
  - **Neighborhood input :** aesthetic of true divided multi-paned glazing or art glass, typical of style, allow similar materials



# Architectural Styles – for new main structures

## Tudor

- Architectural features

- ~~Subarea A and C.~~ The following architectural features must be maintained or duplicated. New main structures built in the Tudor architectural style must incorporate the following architectural features:

- Symmetrical or asymmetrical front facade.

- At least one front-facing gable.

- ~~A massive~~ Tudor style chimney with optional stone accents.

- ~~Subarea B. The following architectural features must be maintained or duplicated. New main structures built in the Tudor architectural style must incorporate the following architectural features:~~

- ~~Symmetrical or asymmetrical front facade.~~

- ~~At least one front-facing gable.~~



# Architectural Styles – for new main structures

## Tudor

- **Building** Materials

- Structures must be clad in brick, materials that look like brick, stone, materials that look like stone, stucco, or materials that look like stucco, with wood half timbering or a combination of these materials.
- Any materials used for remodeling must be appropriate to the Tudor style within the Stevens Park Conservation District in terms of type, size, color, coursing, texture, and joint detailing.



# Architectural Styles – for new main structures

## Tudor

- Windows
  - Structures must have some tall, narrow windows, commonly in multiple groups with ~~true-divided~~ multi-pane sashes ~~glazing~~ or art glass.
  - Muntins and mullions must be located on the exterior face of the glass and must project from the outside face of the glass by at least ¼ inch.
  - Windows must be typical or look typical of the style and period of Tudor structures within the Stevens Park Conservation District.
  - Windows that pre-date August 22, 2018 may be replaced in-kind.
- Added definition: IN-KIND REPLACEMENT means to replace the existing materials on a structure with the same material type, design, dimension, texture, detailing, and exterior appearance.





# Tudor



Illustration courtesy of [A Field Guide to American Houses](#), may not be reused by others without permission.



# Architectural Survey

- Amendments may include: correcting errors in the architectural survey in the CD ordinance
- Existing architectural survey (Exhibit C) lists each address in the CD with the associated architectural style: Art Deco, Colonial Revival, French Eclectic, Georgian, Mid-Century Modern, Minimal Traditional, Monterey Colonial, Spanish Eclectic, Texas Regional, and Tudor
- **Neighborhood input:** owner's who think they are not classified in the correct architectural style may notify staff to determine the correct architectural style for their property



# Architectural Survey

- 2015 W Colorado      ~~Art Deco~~      Colonial Revival
- 1803 Marydale      ~~Texas Regional (modified)~~      Minimal Traditional





# Next steps

- The CD amendment request will be scheduled for public hearings for approval/denial
  - City Plan Commission (CPC)
    - July 19, 2018
  - City Council
    - August 22, 2018



# Questions?

Andrew Ruegg

Senior Planner

[andrew.ruegg@dallascityhall.com](mailto:andrew.ruegg@dallascityhall.com)

214-671-7931

## Neighborhood Committee Members

John Cox	Walter Buchanan	Jill Juncker	Carole Somers-Clark	Dodie Butler
Katherine McMahon	Amy Lambert Lee	Kenda North	John Eric Mustin	Mike Gaudet

City of Dallas Conservation District website:

<http://dallascityhall.com/departments/sustainabledevelopment/planning/Pages/Conservation-Districts.aspx>

