

ZONING BOARD OF ADJUSTMENT, PANEL A
TUESDAY, JUNE 20, 2017
AGENDA

BRIEFING	ROOM 5ES 1500 MARILLA STREET DALLAS CITY HALL	11:00 A.M.
PUBLIC HEARING	COUNCIL CHAMBERS 1500 MARILLA STREET DALLAS CITY HALL	1:00 P.M.

Donna Moorman, Chief Planner
Steve Long, Board Administrator

MISCELLANEOUS ITEMS

	Approval of the May 16, 2017 Panel A Public Hearing Minutes	M1
BDA167-072(SL)	7103 Mumford Court REQUEST: Of Grant Schmidt to reimburse the filing fee for a variance to the off-street parking regulations	M2

UNCONTESTED CASES

BDA167-068(SL)	2201 Kings Road REQUEST: Application of Robert Baldwin, represented by Rob Baldwin of Baldwin and Associates, for a variance to the front yard setback regulations	1
BDA167-069(SL)	4701 Bengal Street REQUEST: Application of Robert Baldwin, represented by Rob Baldwin of Baldwin and Associates, for a variance to the front yard setback regulations	2

REGULAR CASES

BDA167-061(SL)	5446 N. Dentwood Drive REQUEST: Application of Donald J. Carry for a special exception to the visual obstruction regulations	3
BDA167-070(SL)	2815 Greenville Avenue REQUEST: Application of Jeannie Terilli, represented by J. Prabha Cinclair and Robert Miklos, for a variance to the front yard setback regulations	4
BDA167-072(SL)	7103 Mumford Court REQUEST: Application of Grant Schmidt for a variance to the off-street parking regulations	5

EXECUTIVE SESSION NOTICE

The Commission/Board may hold a closed executive session regarding any item on this agenda when:

1. seeking the advice of its attorney about pending or contemplated litigation, settlement offers, or any matter in which the duty of the attorney to the Commission/Board under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with the Texas Open Meetings Act. [Tex. Govt. Code §551.071]
2. deliberating the purchase, exchange, lease, or value of real property if deliberation in an open meeting would have a detrimental effect on the position of the city in negotiations with a third person. [Tex. Govt. Code §551.072]
3. deliberating a negotiated contract for a prospective gift or donation to the city if deliberation in an open meeting would have a detrimental effect on the position of the city in negotiations with a third person. [Tex. Govt. Code §551.073]
4. deliberating the appointment, employment, evaluation, reassignment, duties, discipline, or dismissal of a public officer or employee; or to hear a complaint or charge against an officer or employee unless the officer or employee who is the subject of the deliberation or hearing requests a public hearing. [Tex. Govt. Code §551.074]
5. deliberating the deployment, or specific occasions for implementation, of security personnel or devices.. [Tex. Govt. Code §551.076]
6. discussing or deliberating commercial or financial information that the city has received from a business prospect that the city seeks to have locate, stay, or expand in or near the city and with which the city is conducting economic development negotiations; or deliberating the offer of a financial or other incentive to a business prospect. [Tex. Govt. Code §551.086]

(Rev. 6-24-02)

MISCELLANEOUS ITEM NO. 2

FILE NUMBER: BDA167-072(SL)

REQUEST: To reimburse the filing fee submitted in conjunction with a request variance to the off-street parking regulations.

LOCATION: 7103 Mumford Court

APPLICANT: Grant Schmidt

STANDARD FOR A FEE WAIVER OR A FEE REIMBURSEMENT:

The Dallas Development Code states that the board may waive the filing fee for a board of adjustment application if the board finds that payment of the fee would result in substantial financial hardship to the applicant.

The Dallas Development Code further states:

- The applicant may either pay the fee and request reimbursement at the hearing on the matter or request that the issue of financial hardship be placed on the board's miscellaneous docket for predetermination.
- In making this determination, the board may require the production of financial documents.

Timeline:

February 24, 2017: The applicant submitted an "Application/Appeal to the Board of Adjustment" and related documents which have been included as part of this case report.

May 9, 2017: The Board of Adjustment Secretary randomly assigned this case to Board of Adjustment Panel B.

May 9, 2017: The Board Administrator emailed the applicant the following information:

- a copy of the application materials including the Building Official's report on the application;
- an attachment that provided the public hearing date and panel that will consider the application; the May 31st deadline to submit additional evidence for staff to factor into their analysis; and the June 9th deadline to submit additional evidence to be incorporated into the Board's docket materials;
- the criteria/standard that the board will use in their decision to approve or deny the request; and

- the Board of Adjustment Working Rules of Procedure pertaining to “documentary evidence.”

May 22, 2017: The Board Administrator emailed the applicant the following information regarding his request for reimbursement of the filing fee: the code provision as it relates to fee waivers/reimbursements (Sec 51A-1.105(b)(6)) to the applicant, and informed him that typically when this type of request is made, the applicant will submit documentation that shows how payment of the filing fee results in substantial financial hardship to the applicant (i.e. additional financial documents as in but not limited to copies of 1040's, W-4's, bank statements - *all with account numbers redacted*).

The Board Administrator also resent the applicant that the deadline to submit information to be included in the Board's docket, and the Board of Adjustment Working Rules of Procedure pertaining to “documentary evidence”.

June 9, 2017: The applicant submitted additional documentation on this fee reimbursement request to the Board Administrator beyond what was submitted with the original application (see Attachment A).

Long, Steve

Misc 2
request materials

From: Long, Steve
Sent: Thursday, May 25, 2017 6:17 AM
To: 'gschmidt@winston.com'
Subject: FW: BDA167-072, Property at 7103 Mumford Court
Attachments: Galbraith.pdf

pg 1

Another one, FYI.

Steve

From: Long, Steve
Sent: Tuesday, May 23, 2017 9:41 AM
To: gschmidt@winston.com
Subject: FW: BDA167-072, Property at 7103 Mumford Court

More letters, FYI.

Steve

From: Long, Steve
Sent: Monday, May 22, 2017 2:55 PM
To: 'gschmidt@winston.com'
Cc: Moorman, Donna; Duerksen, Todd; Williams, Kanesia
Subject: FW: BDA167-072, Property at 7103 Mumford Court

Dear Mr. Schmidt,

I just discovered upon further review of your attached application materials that you have requested for a reimbursement of the filing fee made in conjunction with your application to the board of adjustment at the address referenced above for a variance to the off-street parking regulations. This fee reimbursement request will be put on the Tuesday, Board of Adjustment Panel A June 20th Miscellaneous Docket agenda.

Attached is the code provision as it relates to requests for the board of adjustment to consider reimbursements of filing fees made in conjunction with submitted board of adjustment applications: Sec 51A-1.105(b)(6). Please be advised that typically when an applicant makes a request for the board to consider reimbursing the filing fee, the applicant will submit documentation that shows how payment of the filing fee results in substantial financial hardship to them (i.e. additional financial documents as in but not limited to copies of 1040's, W-4's, bank statements - *all with account numbers redacted*)).

I will call to your attention the attachments the I sent to you earlier this month - a document that provides your public hearing date and other deadlines for submittal of additional information to staff/the board, and the board's rule on documentary evidence.

Please write or call me at 214/670-4666 if I can assist you in any other way on your fee reimbursement request.

Thank you,

Steve

Misc 2 request materials pg 2

PS: if there is anything that you want to submit to the board beyond what you have included in your attached application materials, please feel free to email it to steve.long@dallascityhall.com or mail it to me at the following address by the deadlines attached in this email:

Steve Long, Board of Adjustment Administrator
City of Dallas Sustainable Development and Construction
1500 Marilla Street, Room 5BN
Dallas, Texas 75201

From: Long, Steve
Sent: Monday, May 22, 2017 12:05 PM
To: 'gschmidt@winston.com'
Subject: FW: BDA167-072, Property at 7103 Mumford Court

More, FYI.

Steve

From: Long, Steve
Sent: Friday, May 19, 2017 1:13 PM
To: 'gschmidt@winston.com'
Subject: FW: BDA167-072, Property at 7103 Mumford Court

Another one, FYI.

S.

From: Long, Steve
Sent: Friday, May 19, 2017 9:39 AM
To: 'gschmidt@winston.com'
Subject: FW: BDA167-072, Property at 7103 Mumford Court

Dear Mr. Schmidt,

Attached FYI are emails sent to me regarding your application. These emails and any other email/fax/letter/petition that I receive before your June 20th public hearing will be forwarded to the board members for their consideration on your application.

Please write or call me at 214/670-4666 if I can assist you in any way on this application.

Thank you,

Steve

From: Long, Steve
Sent: Tuesday, May 09, 2017 10:08 AM
To: 'gschmidt@winston.com'

Cc: Duerksen, Todd; Law, Trena; Denman, Lloyd
Subject: BDA167-072, Property at 7103 Mumford Court

M2
request materials
pg 3

Dear Mr. Schmidt,

Here is information regarding your application to the board of adjustment referenced above:

1. The submitted application materials - all of which will be emailed to you, city staff, and the board members in a docket report about a week ahead of your tentatively scheduled June 20th Board of Adjustment Panel A public hearing.
2. The provision from the Dallas Development Code allowing the board to grant a variance to the off-street parking regulations (51A-3.102(d)(10)).
3. A document that provides your public hearing date and other deadlines for submittal of additional information to staff/the board.
4. The board's rule pertaining to documentary evidence.

Please carefully review the attached application materials to make sure they are complete, and within these materials, the Building Official's Report/second page of the application (page 2 of 10 in these attached materials). Contact Todd Duerksen at 214/948-4475 or at todd.duerksen@dallascityhall.com no later than 1 p.m., Wednesday, May 31st with regard to any information you feel is missing from your submittal or with regard to any amendment that you feel is necessary to address the issue at hand, specifically if for any reason you feel that the statement in his Building Official's report stating that the applicant proposes to construct/maintain a structure for a church use and provide 0 of the required 27 off-street parking spaces which will require a 27 space variance to the off-street parking regulations, or any other part of this report is incorrect. (Note that the discovery of any additional appeal needed beyond your requested off-street parking variance will result in postponement of the appeal until the panel's next regularly scheduled public hearing).

You may want to contact Lloyd Denman, City of Dallas Sustainable Development Department Assistant Director Engineering at 214/948-4354 or at Lloyd.Denman@DallasCityHall.com to determine if there is any additional information that may be needed from you in making a favorable recommendation to the board on your request.

Please write or call me at 214/670-4666 if I can be of any additional assistance to you on this application.

Thank you,

Steve

PS: If there is anything that you want to submit to the board beyond what you have included in your attached application materials, please feel free to email it to steve.long@dallascityhall.com or mail it to me at the following address by the deadlines attached in this email:

Steve Long, Board of Adjustment Administrator
City of Dallas Sustainable Development and Construction
1500 Marilla Street, Room 5BN
Dallas, Texas 75201



Misc 2
request materials
pg 4

Fish & Richardson P.C.
1717 Main Street
Suite 5000
Dallas, TX 75201
214 747 5070 main
214 747 2091 fax

February 24, 2017

Grant K. Schmidt
Associate
gschmidt@fr.com
214 760 6128 direct

Steve Long
Administrator – Board of Adjustment
City Hall
1500 Marilla St., 5BN
Dallas, TX 75201

Todd Duerksen
320 E. Jefferson Blvd., Room 105
Dallas, TX 75203

Re: *City of Dallas v. Mark B. Gothelf, Judith D. Gothelf and Congregation Toras Chaim, Inc. dba Congregation Toras Chaim*

Dear Mr. Long and Mr. Duerksen:

I represent Congregation Toras Chaim (“CTC”) in the above-referenced action brought by the City of Dallas (the “City”). CTC is a small Orthodox Jewish congregation that meets at 7103 Mumford Court, Dallas, TX 75252 (the “Property”), where about twenty-five neighborhood congregants walk to gather for worship on Saturdays, and a smaller number of congregants gather throughout the week. CTC is pursuing a variance regarding parking requirements for the Property. In particular, CTC intends to seek a variance on all 27 required off street parking spaces. This is a cover letter for the variance application. This packet includes (a) 2 Application forms; (b) 2 Affidavit forms; (c) 1 Warranty Deed; (d) a copy of the certified subdivision plot; (e) 1 lien statement; (f) 4 copies of the site plan; (g) 4 copies of the elevation drawings; (h) 4 copies of the floor plan; (i) a check for \$3630.00 in this application ($\$900 + (27 \times \$100) + (3 \times \$10)$); and (j) a smaller copy of each drawing as requested.

Regarding the parking analysis and/or traffic study, CTC does not have any parking analysis or traffic study to offer because CTC members generally do not drive to worship. Orthodox Jews are prohibited from driving on the Sabbath; these families therefore must live within walking distance of a synagogue to attend prayer services on the Sabbath. Therefore, CTC would be unable to provide a parking analysis or traffic study. This is consistent with CTC’s request to reduce the 27 parking space requirement.

CTC is pursuing a variance because the area, shape, and slope prevents CTC from developing the land in a manner commensurate with the development upon other parcels of land in the district with the same zoning classification. Second, there are essentially three front yards given the location of CTC’s property. Third, there are two brick walls owned by the Homeowners’ Association on two


February 24, 2017

sides of the property. Furthermore, CTC has been instructed by the City that no car could enter the back of the home due to the alley screening issues. For these reasons, CTC requires a reduction in the required off street parking requirements (27 spaces). The implementation of this variance would not be contrary to the public interest (in fact, it would be consistent with the public interest) and would otherwise result in an unnecessary hardship for CTC. This variance is not being pursued to relieve a self-created or personal hardship.

CTC intends to seek a fee reimbursement as the filing fee has resulted in a substantial financial hardship for CTC. CTC is a non-profit religious organization. CTC generates no profit, and any money that CTC spends must come from donations or fundraising efforts. Furthermore, the application fee constitutes a significant percentage of CTC's monthly operating expenses, and it already struggles to meet those obligations, often failing to pay the salary of its one full-time employee, Rabbi Rich.

Please contact me if you have any questions or if I may provide any additional information regarding the variance application.

Respectfully,



Grant K. Schmidt

cc: Andrew Gilbert, Assistant City Attorney

Justin Butterfield, First Liberty

Chad Walker, Fish & Richardson

Misc 2
request materials
PS 6



AFFIDAVIT

Appeal number: BDA 167-072

I, Judith Gohelf, Owner of the subject property
(Owner or "Grantee" of property as it appears on the Warranty Deed)

at: 7103 Mumford Court, Dallas, TX 75252
(Address of property as stated on application)

Authorize: Grant Schmidt
(Applicant's name as stated on application)

To pursue an appeal to the City of Dallas Zoning Board of Adjustment for the following request(s)

- Variance (specify below)
- Special Exception (specify below)
- Other Appeal (specify below)

Specify: A variance to reduce the number of required off street parking

Judith Gohelf
Print name of property owner or registered agent

[Signature]
Signature of property owner or registered agent

Date 3/21/17

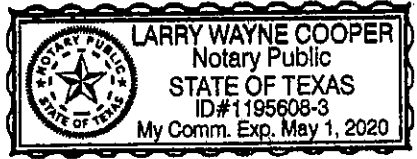
Before me, the undersigned, on this day personally appeared Judith Gohelf

Who on his/her oath certifies that the above statements are true and correct to his/her best knowledge.

Subscribed and sworn to before me this 21th day of March, 2017

[Signature]
Notary Public for Dallas County, Texas

Commission expires on 05-01-2020



Misc 2
request materials

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CITY OF DALLAS

AFFIDAVIT

Appeal number: BDA 167-072

I, Mark Gothelf, Owner of the subject property
(Owner or "Grantee" of property as it appears on the Warranty Deed)

at: 7103 Mumford Court, Dallas, TX 75252
(Address of property as stated on application)

Authorize: Grant Schmidt
(Applicant's name as stated on application)

To pursue an appeal to the City of Dallas Zoning Board of Adjustment for the following request(s)

- Variance (specify below)
- Special Exception (specify below)
- Other Appeal (specify below)

Specify: A variance to reduce the number of required off street parking spaces

Mark Gothelf
Print name of property owner or registered agent

Mark B Gothelf
Signature of property owner or registered agent

Date 2/23/17

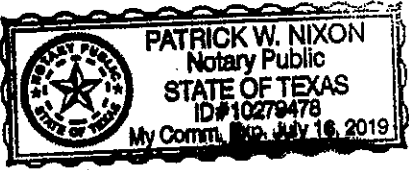
Before me, the undersigned, on this day personally appeared MARK B Gothelf

Who on his/her oath certifies that the above statements are true and correct to his/her best knowledge.

Subscribed and sworn to before me this 23 day of February, 2017

Patrick Nixon
Notary Public for Dallas County, Texas

Commission expires on 7-16-2019



Long, Steve

From: Schmidt, Grant K. <GSchmidt@winston.com>
Sent: Friday, June 09, 2017 11:22 AM
To: Long, Steve
Cc: Duerksen, Todd; Law, Trena; Denman, Lloyd; Gilbert, Andrew; Monkhouse, Kristen; Walker, Chad B.; 'Justin Butterfield'; 'Chelsey Youman'
Subject: RE: BDA167-072, Property at 7103 Mumford Court
Attachments: Ex D - CTC Chase Bank Statement April 2017_Redacted.pdf; Ex E - CTC Chase Bank Statement May 2017_Redacted.pdf; Ex F - Congregation Toras Chaim P & L June 2016 to May 2017.xlsx; Ex A - CTC Chase Bank Statement January 2017_Redacted.pdf; Ex B - CTC Chase Bank Statement February 2017_Redacted.pdf; Ex C - CTC Chase Bank Statement March 2017_Redacted.pdf; 2017-06-09 CTC Letter to Board of Adjustment re Filing Fee.pdf

Steve –

Attached is a letter on behalf of Congregation Toras Chaim for the Board's docket. Specifically, this letter provides additional detail for the request for reimbursement of the variance application filing fee. I've also attached Exhibits A – F (supporting financial records). The account numbers in these financial records are redacted, and we request that these documents be treated as confidential.

Thank you for your consideration. Please let us know if we can provide any additional information.

Grant

Grant K. Schmidt

Winston & Strawn LLP
D: +1 214-453-6469
M: +1 214-507-5042
winston.com



From: Schmidt, Grant K.
Sent: Wednesday, May 31, 2017 11:47 AM
To: Long, Steve <steve.long@dallascityhall.com>
Cc: Duerksen, Todd <todd.duerksen@dallascityhall.com>; Law, Trena <trena.law@dallascityhall.com>; Denman, Lloyd <lloyd.denman@dallascityhall.com>; Gilbert, Andrew <andrew.gilbert@dallascityhall.com>; Monkhouse, Kristen <kristen.monkhouse@dallascityhall.com>; Walker, Chad B. <CBWalker@winston.com>; Justin Butterfield <jbutterfield@firstliberty.org>; Chelsey Youman <cyouman@firstliberty.org>
Subject: RE: BDA167-072, Property at 7103 Mumford Court

Steve –

Attached is a letter on behalf of Congregation Toras Chaim, Rabbi Rich, Mark Gothelf, and Judith Gothelf for the Board's consideration at the staff meeting. (I also attached the February 24 letter for reference).

Thank you for your consideration. Please let us know if we can provide any additional information.

Grant

Misc 2
Attach A
Pg 2

Grant K. Schmidt

Winston & Strawn LLP

D: +1 214-453-6469

M: +1 214-507-5042

winston.com



From: Long, Steve [<mailto:steve.long@dallascityhall.com>]

Sent: Tuesday, May 09, 2017 10:09 AM

To: Schmidt, Grant K. <GSchmidt@winston.com>

Cc: Duerksen, Todd <todd.duerksen@dallascityhall.com>; Law, Trena <trena.law@dallascityhall.com>; Denman, Lloyd <lloyd.denman@dallascityhall.com>

Subject: BDA167-072, Property at 7103 Mumford Court

Dear Mr. Schmidt,

Here is information regarding your application to the board of adjustment referenced above:

1. The submitted application materials - all of which will be emailed to you, city staff, and the board members in a docket report about a week ahead of your tentatively scheduled June 20th Board of Adjustment Panel A public hearing.
2. The provision from the Dallas Development Code allowing the board to grant a variance to the off-street parking regulations (51A-3.102(d)(10)).
3. A document that provides your public hearing date and other deadlines for submittal of additional information to staff/the board.
4. The board's rule pertaining to documentary evidence.

Please carefully review the attached application materials to make sure they are complete, and within these materials, the Building Official's Report/second page of the application (page 2 of 10 in these attached materials). Contact Todd Duerksen at 214/948-4475 or at todd.duerksen@dallascityhall.com no later than 1 p.m., Wednesday, May 31st with regard to any information you feel is missing from your submittal or with regard to any amendment that you feel is necessary to address the issue at hand, specifically if for any reason you feel that the statement in his Building Official's report stating that the applicant proposes to construct/maintain a structure for a church use and provide 0 of the required 27 off-street parking spaces which will require a 27 space variance to the off-street parking regulations, or any other part of this report is incorrect. (Note that the discovery of any additional appeal needed beyond your requested off-street parking variance will result in postponement of the appeal until the panel's next regularly scheduled public hearing).

You may want to contact Lloyd Denman, City of Dallas Sustainable Development Department Assistant Director Engineering at 214/948-4354 or at Lloyd.Denman@DallasCityHall.com to determine if there is any additional information that may be needed from you in making a favorable recommendation to the board on your request.

Please write or call me at 214/670-4666 if I can be of any additional assistance to you on this application.

Thank you,

Steve

PS: If there is anything that you want to submit to the board beyond what you have included in your attached application materials, please feel free to email it to steve.long@dallascityhall.com or mail it to me at the following address by the deadlines attached in this email:

Steve Long, Board of Adjustment Administrator
City of Dallas Sustainable Development and Construction
1500 Marilla Street, Room 5BN
Dallas, Texas 75201

The contents of this message may be privileged and confidential. If this message has been received in error, please delete it without reading it. Your receipt of this message is not intended to waive any applicable privilege. Please do not disseminate this message without the permission of the author. Any tax advice contained in this email was not intended to be used, and cannot be used, by you (or any other taxpayer) to avoid penalties under applicable tax laws and regulations.



North America Europe Asia

Misc 2
Attach A
Pg 4

2501 N. Harwood Street
17th Floor
Dallas, TX 75201
T +1 214 453 6500
F +1 214 453 6400

GRANT SCHMIDT
Associate
214-453-6469
gschmidt@winston.com

June 9, 2017

Steve Long
Administrator – Board of Adjustment
City Hall
1500 Marilla St., 5BN
Dallas, TX 75201

Re: BDA167-072 – 7103 Mumford Court - Congregation Toras Chaim’s Filing Fee

Dear Mr. Long:

As the Board of Adjustment is aware, Congregation Toras Chaim (“CTC”) has applied for a variance to the off-street parking requirements related to the property at 7103 Mumford Court. Pursuant to Section 51A-1.105(b)(6) of the Dallas Development Code, I respectfully write today (and send the attached financial information) on behalf of CTC to request a reimbursement of the **\$3,630.00** variance application fee, as the filing fee would result in a substantial financial hardship for CTC.

CTC is not a business. It is a small group of families with limited financial resources. The tenets of their faith require that they live in close proximity to their synagogue so that they can walk to worship on their Sabbath. CTC generates no income, and any money that CTC spends must come from donations or fundraising efforts. You will find the Congregation’s financial statements attached to this letter (Exhibits A through F). CTC asks that you recognize the great financial strain that this application fee would place on it and that you reimburse the variance application fee so that CTC may seek the appropriate variance without substantial financial hardship.

The attached information includes CTC’s P&L statement for the period of June 2016 to May 2017, as well as a set of bank statements. Please note the following balances at the end of the first five months of this year:

January 2017 – **\$8,252.47**
February 2017 – **\$7,293.02**
March 2017 – **\$4,105.32**
April 2017 – **\$3,676.19**
May 2017 – **\$3,668.04**

Thanks for your consideration of this request, and please let us know if any additional information would be helpful.

WINSTON
& STRAWN
LLP

Respectfully,



Grant Schmidt



JPMorgan Chase Bank, N.A.
 P O Box 659754
 San Antonio, TX 78265 - 9754

Misc 2
 Attach A
 Pg 6

April 01, 2017 through April 28, 2017

Primary Account: [REDACTED]

CUSTOMER SERVICE INFORMATION

Web site: **Chase.com**
 Service Center: **1-800-242-7338**
 Deaf and Hard of Hearing: **1-800-242-7383**
 Para Espanol: **1-888-622-4273**
 International Calls: **1-713-262-1679**

00155087 DRE 201 219 11917 NNNNNNNNNN 1 000000000 69 0000

CONGREGATION TORAS CHAIM
 OPERATING ACCOUNT
 7119 BREMERTON CT
 DALLAS TX 75252-6128



01550870301600000023

CONSOLIDATED BALANCE SUMMARY

ASSETS

Checking & Savings	ACCOUNT	BEGINNING BALANCE THIS PERIOD	ENDING BALANCE THIS PERIOD
Chase BusinessClassic	000000770848711	\$3,219.11	\$2,518.97
Chase BusinessClassic	000000752341776	176.81	447.81
Chase Business Select High Yield Savings	000002748392483	109.29	109.29
Chase Business Select High Yield Savings	000002904855596	600.11	600.12
Total		\$4,105.32	\$3,676.19
TOTAL ASSETS		\$4,105.32	\$3,676.19

All Summary Balances shown are as of April 28, 2017 unless otherwise stated. For details of your retirement accounts, credit accounts or securities accounts, you will receive separate statements. Balance summary information for annuities is provided by the issuing insurance companies and believed to be reliable without guarantee of its completeness or accuracy.

CHASE BUSINESSCLASSIC

CONGREGATION TORAS CHAIM
 OPERATING ACCOUNT

Account Number: [REDACTED]

CHECKING SUMMARY

	INSTANCES	AMOUNT
Beginning Balance		\$3,219.11
Deposits and Additions	20	7,239.19
Checks Paid	5	-4,996.65
ATM & Debit Card Withdrawals	13	-524.54
Electronic Withdrawals	6	-2,418.14
Ending Balance	44	\$2,518.97

Your account ending in 5596 is linked to this account for overdraft protection.

Your monthly service fee was waived because you had at least 5 debit card purchases during the statement period.

DEPOSITS AND ADDITIONS

DATE	DESCRIPTION	AMOUNT
04/03	Chase Quickpay Electronic Transfer 6124005476 From Joshua S Rothstein	\$1,500.00
04/03	Bankcard Mtot Dep 518993320322886 CCD ID: 5921267939	150.00
04/03	Bankcard Mtot Dep 518993320322886 CCD ID: 5921267939	39.88
04/05	Chase Quickpay Electronic Transfer 6127882806 From Joshua S Rothstein	76.00
04/05	Chase Quickpay Electronic Transfer 6127884528 From Joshua S Rothstein	36.00
04/05	Bankcard Mtot Dep 518993320322886 CCD ID: 5921267939	8.00
04/06	ATM Check Deposit 04/06 18320 Preston Rd Dallas TX Card 9133	2,372.56
04/06	Bankcard Mtot Dep 518993320322886 CCD ID: 5921267939	44.00
04/07	Card Purchase Return 04/07 Amazon Mktplace Pmts Amzn.Com/Bill WA Card 1885	29.22
04/07	Bankcard Mtot Dep 518993320322886 CCD ID: 5921267939	134.00
04/10	ATM Check Deposit 04/09 16831 Coit Rd Dallas TX Card 9133	2,000.00
04/10	Bankcard Mtot Dep 518993320322886 CCD ID: 5921267939	100.00
04/10	Bankcard Mtot Dep 518993320322886 CCD ID: 5921267939	10.50
04/17	Bankcard Mtot Dep 518993320322886 CCD ID: 5921267939	258.48
04/18	Bankcard Mtot Dep 518993320322886 CCD ID: 5921267939	50.00
04/19	Bankcard Mtot Dep 518993320322886 CCD ID: 5921267939	140.00
04/20	Bankcard Mtot Dep 518993320322886 CCD ID: 5921267939	36.00
04/24	Bankcard Mtot Dep 518993320322886 CCD ID: 5921267939	100.00
04/24	Bankcard Mtot Dep 518993320322886 CCD ID: 5921267939	4.55
04/27	Bankcard Mtot Dep 518993320322886 CCD ID: 5921267939	150.00
Total Deposits and Additions		\$7,239.19

CHECKS PAID

CHECK NO.	DESCRIPTION	DATE PAID	AMOUNT
1629 ^		04/07	\$1,300.00
1630 ^		04/10	333.00
1631 ^		04/17	100.00
1632 ^		04/10	1,000.00
1633 ^		04/14	2,263.65
Total Checks Paid			\$4,996.65

If you see a description in the Checks Paid section, it means that we received only electronic information about the check, not the original or an image of the check. As a result, we're not able to return the check to you or show you an image.

^ An image of this check may be available for you to view on Chase.com.

ATM & DEBIT CARD WITHDRAWALS

DATE	DESCRIPTION	AMOUNT
04/03	Card Purchase 04/02 Google *Svcapps_Tor G.CO/Payhelp# On Card 1885 CA Dollar 10.00 X 0.7530000 (Exchg Rte) + 0.22 (Exchg Rte ADJ)	\$7.75
04/03	Card Purchase 04/02 Amazon Mktplace Pmts Amzn.Com/Bill WA Card 1885	38.48
04/05	Card Purchase 04/05 Amazon Mktplace Pmts Amzn.Com/Bill WA Card 1885	29.22
04/06	Card Purchase 04/04 Aai Trophies And Awards Plano TX Card 1885	19.00
04/06	Card Purchase 04/05 Amazon.Com Amzn.Com/Bill WA Card 1885	126.27



April 01, 2017 through April 28, 2017

Primary Account: [REDACTED]

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ATM & DEBIT CARD WITHDRAWALS (continued)

DATE	DESCRIPTION	AMOUNT
04/07	Card Purchase 04/06 Amazon Mktpplace Prmts Amzn.Com/Bill WA Card 1885	61.98
04/14	Card Purchase 04/14 Usr-Electric Bill 855-600-3859 TX Card 7720	111.02
04/14	Card Purchase With Pin 04/14 The Home Depot #6504 Richardson TX Card 1885	3.22
04/17	Card Purchase 04/15 Amazon.Com Amzn.Com/Bill WA Card 1885	32.32
04/24	Card Purchase 04/23 Intuit *Qb Online 800-286-6800 CA Card 7720	42.59
04/25	Card Purchase 04/24 Amazon Mktpplace Prmts Amzn.Com/Bill WA Card 1885	19.13
04/26	Card Purchase 04/26 Amazon.Com Amzn.Com/Bill WA Card 1885	14.85
04/26	Card Purchase 04/25 Amazon.Com Amzn.Com/Bill WA Card 1885	18.71
Total ATM & Debit Card Withdrawals		\$524.54



ATM & DEBIT CARD SUMMARY

Jordan Rich Card 1885

Total ATM Withdrawals & Debits	\$0.00
Total Card Purchases	\$370.93
Total Card Deposits & Credits	\$29.22

Michael Bodenheimer Card 7720

Total ATM Withdrawals & Debits	\$0.00
Total Card Purchases	\$153.61
Total Card Deposits & Credits	\$0.00

Benjamin E Nise Card 9133

Total ATM Withdrawals & Debits	\$0.00
Total Card Purchases	\$0.00
Total Card Deposits & Credits	\$4,372.56

ATM & Debit Card Totals

Total ATM Withdrawals & Debits	\$0.00
Total Card Purchases	\$524.54
Total Card Deposits & Credits	\$4,401.78

ELECTRONIC WITHDRAWALS

DATE	DESCRIPTION	AMOUNT
04/03	04/03 Online Transfer To Chk ...1776 Transaction#: 6124269105	\$1,000.00
04/03	Bankcard Mtot Disc 518993320322886 CCD ID: 4518088069	64.47
04/06	04/06 Online Payment 6131549241 To Zerach	976.50
04/07	04/07 Online Payment 6061310220 To Norman J. Hoppenstein	166.67
04/13	04/13 Online Payment 6072665922 To Torah Day School of Dallas	200.00
04/20	Fp Gateway Fee Sigonfile PPD ID: 9000036136	10.50
Total Electronic Withdrawals		\$2,418.14



April 01, 2017 through April 28, 2017

Primary Account: [REDACTED]

DAILY ENDING BALANCE

DATE	AMOUNT	DATE	AMOUNT	DATE	AMOUNT
04/03	\$3,798.29	04/13	4,395.93	04/20	2,359.70
04/05	3,889.07	04/14	2,018.04	04/24	2,421.66
04/06	5,183.86	04/17	2,144.20	04/25	2,402.53
04/07	3,818.43	04/18	2,194.20	04/26	2,368.97
04/10	4,595.93	04/19	2,334.20	04/27	2,518.97

SERVICE CHARGE SUMMARY

TRANSACTIONS FOR SERVICE FEE CALCULATION	NUMBER OF TRANSACTIONS
Checks Paid / Debits	20
Deposits / Credits	16
Deposited Items	9
Transaction Total	45

SERVICE FEE CALCULATION	AMOUNT
Service Fee	\$0.00
Service Fee Credit	\$0.00
Net Service Fee	\$0.00
Excessive Transaction Fees (Above 0)	\$0.00
Total Service Fees	\$0.00

CHASE BUSINESSCLASSIC

CONGREGATION TORAS CHAIM

Account Number: [REDACTED]

CHECKING SUMMARY

	INSTANCES	AMOUNT
Beginning Balance		\$176.81
Deposits and Additions	1	1,000.00
Checks Paid	2	-729.00
Ending Balance	3	\$447.81

The monthly service fee for this account was waived as an added feature of Chase Premier Checking account.

DEPOSITS AND ADDITIONS

DATE	DESCRIPTION	AMOUNT
04/03	Online Transfer From Chk ...8711 Transaction#: 6124269105	\$1,000.00
Total Deposits and Additions		\$1,000.00



April 01, 2017 through April 28, 2017

Primary Account: [REDACTED]

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CHECKS PAID

CHECK NO.	DESCRIPTION	DATE PAID	AMOUNT
1121 ^		04/03	\$679.00
1122 ^		04/24	50.00
Total Checks Paid			\$729.00

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^ An image of this check may be available for you to view on Chase.com.

DAILY ENDING BALANCE

DATE	AMOUNT
04/03	\$497.81
04/24	447.81

SERVICE CHARGE SUMMARY

TRANSACTIONS FOR SERVICE FEE CALCULATION	NUMBER OF TRANSACTIONS
Checks Paid / Debits	2
Deposits / Credits	0
Deposited Items	0
Transaction Total	2

SERVICE FEE CALCULATION	AMOUNT
Service Fee	\$0.00
Service Fee Credit	\$0.00
Net Service Fee	\$0.00
Excessive Transaction Fees (Above 0)	\$0.00
Total Service Fees	\$0.00

CHASE BUSINESS SELECT HIGH YIELD SAVINGS

CONGREGATION TORAS CHAIM

Account Number: [REDACTED]

SAVINGS SUMMARY

	INSTANCES	AMOUNT
Beginning Balance		\$109.29
Ending Balance	0	\$109.29
Annual Percentage Yield Earned This Period		0.00%

Your monthly service fee was waived because you maintained an average savings balance of \$10,000 or more during the statement period.

You earned a higher interest rate on your Chase Business Select High Yield Savings account during this statement period because you had a qualifying Chase BusinessClassic account.

30 deposited items are provided with your account each month. There is a \$0.20 fee for each additional deposited item.



1155087030300000063



April 01, 2017 through April 28, 2017

Primary Account: [REDACTED]

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CHASE BUSINESS SELECT HIGH YIELD SAVINGS

CONGREGATION TORAS CHAIM

Account Number: [REDACTED]

SAVINGS SUMMARY

	INSTANCES	AMOUNT
Beginning Balance		\$600.11
Deposits and Additions	1	0.01
Ending Balance	1	\$600.12
Annual Percentage Yield Earned This Period		0.02%
Interest Paid This Period		\$0.01
Interest Paid Year-to-Date		\$0.06

The monthly service fee for this account was waived as an added feature of Chase BusinessClassic account.

TRANSACTION DETAIL

DATE	DESCRIPTION	AMOUNT	BALANCE
	Beginning Balance		\$600.11
04/28	Interest Payment	0.01	600.12
	Ending Balance		\$600.12

You earned a higher interest rate on your Chase Business Select High Yield Savings account during this statement period because you had a qualifying Chase BusinessClassic account.

30 deposited items are provided with your account each month. There is a \$0.20 fee for each additional deposited item.

IN CASE OF ERRORS OR QUESTIONS ABOUT YOUR ELECTRONIC FUNDS TRANSFERS: Call or write us at the phone number or address on the front of this statement (non-personal accounts contact Customer Service) if you think your statement or receipt is incorrect or if you need more information about a transfer listed on the statement or receipt. We must hear from you no later than 60 days after we sent you the FIRST statement on which the problem or error appeared. Be prepared to give us the following information:

- Your name and account number
- The dollar amount of the suspected error
- A description of the error or transfer you are unsure of, why you believe it is an error, or why you need more information.

We will investigate your complaint and will correct any error promptly. If we take more than 10 business days (or 20 business days for new accounts) to do this, we will credit your account for the amount you think is in error so that you will have use of the money during the time it takes us to complete our investigation.

IN CASE OF ERRORS OR QUESTIONS ABOUT NON-ELECTRONIC TRANSACTIONS: Contact the bank immediately if your statement is incorrect or if you need more information about any non-electronic transactions (checks or deposits) on this statement. If any such error appears, you must notify the bank in writing no later than 30 days after the statement was made available to you. For more complete details, see the Account Rules and Regulations or other applicable account agreement that governs your account.



JPMorgan Chase Bank, N.A. Member FDIC



JPMorgan Chase Bank, N.A.
 P O Box 659754
 San Antonio, TX 78265 - 9754

April 29, 2017 through May 31, 2017
 Primary Account: [REDACTED]

CUSTOMER SERVICE INFORMATION

Web site: **Chase.com**
 Service Center: **1-800-242-7338**
 Deaf and Hard of Hearing: **1-800-242-7383**
 Para Espanol: **1-888-622-4273**
 International Calls: **1-713-262-1679**

00158809 DRE 201 219 15217 NNNNNNNNNN 1 000000000 69 0000
 CONGREGATION TORAS CHAIM
 OPERATING ACCOUNT
 7119 BREMERTON CT
 DALLAS TX 75252-6128



01588090401000000024

CONSOLIDATED BALANCE SUMMARY

ASSETS

Checking & Savings	ACCOUNT	BEGINNING BALANCE THIS PERIOD	ENDING BALANCE THIS PERIOD
Chase BusinessClassic	000000770848711	\$2,518.97	\$2,630.80
Chase BusinessClassic	000000752341776	447.81	327.81
Chase Business Select High Yield Savings	000002748392483	109.29	109.29
Chase Business Select High Yield Savings	000002904855596	600.12	600.14
Total		\$3,676.19	\$3,668.04
TOTAL ASSETS		\$3,676.19	\$3,668.04

All Summary Balances shown are as of May 31, 2017 unless otherwise stated. For details of your retirement accounts, credit accounts or securities accounts, you will receive separate statements. Balance summary information for annuities is provided by the issuing insurance companies and believed to be reliable without guarantee of its completeness or accuracy.

CHASE BUSINESSCLASSIC

CONGREGATION TORAS CHAIM Account Number: [REDACTED]
 OPERATING ACCOUNT

CHECKING SUMMARY

	INSTANCES	AMOUNT
Beginning Balance		\$2,518.97
Deposits and Additions	30	11,965.37
Checks Paid	5	-8,128.43
ATM & Debit Card Withdrawals	18	-950.42
Electronic Withdrawals	7	-2,774.69
Ending Balance	60	\$2,630.80

Your account ending in 5596 is linked to this account for overdraft protection.

Your monthly service fee was waived because you had at least 5 debit card purchases during the statement period.

DEPOSITS AND ADDITIONS

DATE	DESCRIPTION	AMOUNT
05/01	Bankcard Mtot Dep 518993320322886 CCD ID: 5921267939	\$168.00
05/02	Bankcard Mtot Dep 518993320322886 CCD ID: 5921267939	65.18
05/04	Bankcard Mtot Dep 518993320322886 CCD ID: 5921267939	52.00
05/04	Chase Quickpay Electronic Transfer 6197761174 From Staci Kimmel	36.00
05/08	ATM Check Deposit 05/08 18320 Preston Rd Dallas TX Card 9133	4,469.33
05/08	ATM Cash Deposit 05/08 18320 Preston Rd Dallas TX Card 9133	286.00
05/08	Bankcard Mtot Dep 518993320322886 CCD ID: 5921267939	86.00
05/08	Chase Quickpay Electronic Transfer 6206897621 From Joshua S Rothstein	20.00
05/09	Bankcard Mtot Dep 518993320322886 CCD ID: 5921267939	280.00
05/10	Bankcard Mtot Dep 518993320322886 CCD ID: 5921267939	50.00
05/12	Online Transfer From Chk ...1776 Transaction#: 6218091508	1,000.00
05/12	Amznj2Klo2T4 Amazonsmil Bzywagmjmycwu0 CCD ID: 9215319235	24.30
05/15	Remote Online Deposit 1	400.00
05/15	Bankcard Mtot Dep 518993320322886 CCD ID: 5921267939	1,570.00
05/15	Bankcard Mtot Dep 518993320322886 CCD ID: 5921267939	1,007.18
05/15	Chase Quickpay Electronic Transfer 6224186106 From Joshua S Rothstein	500.00
05/15	Chase Quickpay Electronic Transfer 6224360388 From Joshua S Rothstein	50.00
05/16	Bankcard Mtot Dep 518993320322886 CCD ID: 5921267939	178.00
05/17	Bankcard Mtot Dep 518993320322886 CCD ID: 5921267939	360.00
05/18	Bankcard Mtot Dep 518993320322886 CCD ID: 5921267939	250.00
05/18	Chase Quickpay Electronic Transfer 6231571667 From Staci Kimmel	150.00
05/19	Bankcard Mtot Dep 518993320322886 CCD ID: 5921267939	140.00
05/22	Bankcard Mtot Dep 518993320322886 CCD ID: 5921267939	50.00
05/22	Bankcard Mtot Dep 518993320322886 CCD ID: 5921267939	30.60
05/23	Bankcard Mtot Dep 518993320322886 CCD ID: 5921267939	100.00
05/24	Chase Quickpay Electronic Transfer 6243990179 From Joshua S Rothstein	50.00
05/25	Bankcard Mtot Dep 518993320322886 CCD ID: 5921267939	120.00
05/26	Bankcard Mtot Dep 518993320322886 CCD ID: 5921267939	250.00
05/26	Chase Quickpay Electronic Transfer 6251357193 From David Jonathan Rosenfield	150.00
05/30	Bankcard Mtot Dep 518993320322886 CCD ID: 5921267939	72.78
Total Deposits and Additions		\$11,965.37

CHECKS PAID

CHECK NO.	DESCRIPTION	DATE PAID	AMOUNT
1634 ^		05/10	\$2,320.00
1635 ^		05/12	2,263.65
1636 ^		05/17	400.00
1637 ^		05/16	2,500.00
1638 ^		05/25	644.78
Total Checks Paid			\$8,128.43

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^ An image of this check may be available for you to view on Chase.com.



April 29, 2017 through May 31, 2017

Primary Account: [REDACTED]

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ATM & DEBIT CARD WITHDRAWALS

DATE	DESCRIPTION	AMOUNT
05/01	Card Purchase 04/28 Amazon Mktplace Pmts Amzn.Com/Bill WA Card 1885	\$103.89
05/01	Recurring Card Purchase 04/29 Filterbuy.Com 855-345-8289 AL Card 1885	84.90
05/03	Card Purchase 05/02 Google *Svcsapps_Tor G.CO/Payhelp# On Card 1885 CA Dollar 10.00 X 0.7330000 (Exchg Rte) + 0.21 (Exchg Rte ADJ)	7.54
05/09	Card Purchase With Pin 05/08 Randalls Store 3637 Richardson TX Card 1885	43.49
05/09	Card Purchase With Pin 05/09 Wal-Mart Super Center Plano TX Card 1885	75.59
05/10	Card Purchase 05/09 Amazon Mktplace Pmts Amzn.Com/Bill WA Card 1885	25.00
05/10	Card Purchase 05/10 Amazon Mktplace Pmts Amzn.Com/Bill WA Card 1885	62.58
05/11	Card Purchase With Pin 05/11 Sam's Club Plano TX Card 1885	37.60
05/15	Card Purchase 05/12 Randalls Store00036376 Richardson TX Card 1885	40.74
05/15	Card Purchase 05/12 Aai Trophies And Awards Plano TX Card 1885	81.75
05/15	Card Purchase 05/15 Usr-Electric Bill 855-600-3859 TX Card 7720	151.41
05/15	Card Purchase 05/14 Amazon Mktplace Pmts Amzn.Com/Bill WA Card 1885	59.99
05/15	Card Purchase 05/14 Randalls Store00036376 Richardson TX Card 1885	50.49
05/18	Card Purchase 05/18 Amazon Mktplace Pmts Amzn.Com/Bill WA Card 1885	37.96
05/19	Card Purchase 05/18 Randalls Store00036376 Richardson TX Card 1885	13.49
05/19	Card Purchase With Pin 05/19 Sam's Club Plano TX Card 1885	12.86
05/24	Recurring Card Purchase 05/23 Intuit *Qb Online 800-286-6800 CA Card 7720	42.59
05/30	Card Purchase With Pin 05/30 Randalls Store 3637 Richardson TX Card 1885	18.55
Total ATM & Debit Card Withdrawals		\$950.42



ATM & DEBIT CARD SUMMARY

Jordan Rich Card 1885

Total ATM Withdrawals & Debits	\$0.00
Total Card Purchases	\$756.42
Total Card Deposits & Credits	\$0.00

Michael Bodenheimer Card 7720

Total ATM Withdrawals & Debits	\$0.00
Total Card Purchases	\$194.00
Total Card Deposits & Credits	\$0.00

Benjamin E Nise Card 9133

Total ATM Withdrawals & Debits	\$0.00
Total Card Purchases	\$0.00
Total Card Deposits & Credits	\$4,755.33

ATM & Debit Card Totals

Total ATM Withdrawals & Debits	\$0.00
Total Card Purchases	\$950.42
Total Card Deposits & Credits	\$4,755.33



April 29, 2017 through May 31, 2017

Primary Account: [REDACTED]

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ELECTRONIC WITHDRAWALS

DATE	DESCRIPTION	PPD ID:	AMOUNT
05/02	State Farm Ro 27 Sfpp	9000307001	\$77.50
05/03	Bankcard Mtoi Disc 518993320322886	CCD ID: 4518088069	72.07
05/05	05/05 Online Transfer To Chk ...1776	Transaction#: 6203106908	1,000.00
05/08	05/08 Online Payment 6133377621 To Norman J. Hoppenstein		166.67
05/10	05/10 Online Transfer To Chk ...1776	Transaction#: 6213171427	1,000.00
05/10	Fp Gateway Fee Sigonfile	PPD ID: 9000036136	10.50
05/17	Water Epays Dwu Web 000100674240	Web ID: 3756000508	447.95
Total Electronic Withdrawals			\$2,774.69

DAILY ENDING BALANCE

DATE	AMOUNT	DATE	AMOUNT	DATE	AMOUNT
05/01	\$2,498.18	05/10	2,981.75	05/19	2,513.34
05/02	2,485.86	05/11	2,944.15	05/22	2,593.94
05/03	2,406.25	05/12	1,704.80	05/23	2,693.94
05/04	2,494.25	05/15	4,847.60	05/24	2,701.35
05/05	1,494.25	05/16	2,525.60	05/25	2,176.57
05/08	6,188.91	05/17	2,037.65	05/26	2,576.57
05/09	6,349.83	05/18	2,399.69	05/30	2,630.80

SERVICE CHARGE SUMMARY

TRANSACTIONS FOR SERVICE FEE CALCULATION	NUMBER OF TRANSACTIONS
Checks Paid / Debits	27
Deposits / Credits	20
Deposited Items	30
Transaction Total	77

SERVICE FEE CALCULATION	AMOUNT
Service Fee	\$0.00
Service Fee Credit	\$0.00
Net Service Fee	\$0.00
Excessive Transaction Fees (Above 0)	\$0.00
Total Service Fees	\$0.00



April 29, 2017 through May 31, 2017

Primary Account: [REDACTED]

CHASE BUSINESSCLASSIC

CONGREGATION TORAS CHAIM

Account Number: [REDACTED]

CHECKING SUMMARY

	INSTANCES	AMOUNT
Beginning Balance		\$447.81
Deposits and Additions	3	3,050.00
Checks Paid	3	-2,170.00
Electronic Withdrawals	1	-1,000.00
Ending Balance	7	\$327.81



The monthly service fee for this account was waived as an added feature of Chase Premier Checking account.

DEPOSITS AND ADDITIONS

DATE	DESCRIPTION	AMOUNT
05/05	Online Transfer From Chk ...8711 Transaction#: 6203106908	\$1,000.00
05/10	Deposit 870428992	1,050.00
05/10	Online Transfer From Chk ...8711 Transaction#: 6213171427	1,000.00
Total Deposits and Additions		\$3,050.00

CHECKS PAID

CHECK NO.	DESCRIPTION	DATE PAID	AMOUNT
1123 ^		05/11	\$1,000.00
1125 * ^		05/11	1,050.00
1126 ^		05/15	120.00
Total Checks Paid			\$2,170.00

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* All of your recent checks may not be on this statement, either because they haven't cleared yet or they were listed on one of your previous statements.

^ An image of this check may be available for you to view on Chase.com.

ELECTRONIC WITHDRAWALS

DATE	DESCRIPTION	AMOUNT
05/12	05/12 Online Transfer To Chk ...8711 Transaction#: 6218091508	\$1,000.00
Total Electronic Withdrawals		\$1,000.00

DAILY ENDING BALANCE

DATE	AMOUNT
05/05	\$1,447.81
05/10	3,497.81
05/11	1,447.81
05/12	447.81
05/15	327.81



April 29, 2017 through May 31, 2017

Primary Account: [REDACTED]

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SERVICE CHARGE SUMMARY

TRANSACTIONS FOR SERVICE FEE CALCULATION	NUMBER OF TRANSACTIONS
Checks Paid / Debits	3
Deposits / Credits	1
Deposited Items	1
Transaction Total	5

SERVICE FEE CALCULATION	AMOUNT
Service Fee	\$0.00
Service Fee Credit	\$0.00
Net Service Fee	\$0.00
Excessive Transaction Fees (Above 0)	\$0.00
Total Service Fees	\$0.00

CHASE BUSINESS SELECT HIGH YIELD SAVINGS

CONGREGATION TORAS CHAIM

Account Number: [REDACTED]

SAVINGS SUMMARY

	INSTANCES	AMOUNT
Beginning Balance		\$109.29
Ending Balance	0	\$109.29
Annual Percentage Yield Earned This Period		0.00%

Your monthly service fee was waived because you maintained an average savings balance of \$10,000 or more during the statement period.

You earned a higher interest rate on your Chase Business Select High Yield Savings account during this statement period because you had a qualifying Chase BusinessClassic account.

30 deposited items are provided with your account each month. There is a \$0.20 fee for each additional deposited item.



April 29, 2017 through May 31, 2017

Primary Account: [REDACTED]

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CHASE BUSINESS SELECT HIGH YIELD SAVINGS

CONGREGATION TORAS CHAIM

Account Number: [REDACTED]

SAVINGS SUMMARY

	INSTANCES	AMOUNT
Beginning Balance		\$600.12
Deposits and Additions	1	0.02
Ending Balance	1	\$600.14
Annual Percentage Yield Earned This Period		0.04%
Interest Paid This Period		\$0.02
Interest Paid Year-to-Date		\$0.08



1158806040400000064

The monthly service fee for this account was waived as an added feature of Chase BusinessClassic account.

TRANSACTION DETAIL

DATE	DESCRIPTION	AMOUNT	BALANCE
	Beginning Balance		\$600.12
05/31	Interest Payment	0.02	600.14
	Ending Balance		\$600.14

You earned a higher interest rate on your Chase Business Select High Yield Savings account during this statement period because you had a qualifying Chase BusinessClassic account.

30 deposited items are provided with your account each month. There is a \$0.20 fee for each additional deposited item.

IN CASE OF ERRORS OR QUESTIONS ABOUT YOUR ELECTRONIC FUNDS TRANSFERS: Call or write us at the phone number or address on the front of this statement (non-personal accounts contact Customer Service) if you think your statement or receipt is incorrect or if you need more information about a transfer listed on the statement or receipt. We must hear from you no later than 60 days after we sent you the FIRST statement on which the problem or error appeared. Be prepared to give us the following information:

- Your name and account number
- The dollar amount of the suspected error
- A description of the error or transfer you are unsure of, why you believe it is an error, or why you need more information.

We will investigate your complaint and will correct any error promptly. If we take more than 10 business days (or 20 business days for new accounts) to do this, we will credit your account for the amount you think is in error so that you will have use of the money during the time it takes us to complete our investigation.

IN CASE OF ERRORS OR QUESTIONS ABOUT NON-ELECTRONIC TRANSACTIONS: Contact the bank immediately if your statement is incorrect or if you need more information about any non-electronic transactions (checks or deposits) on this statement. If any such error appears, you must notify the bank in writing no later than 30 days after the statement was made available to you. For more complete details, see the Account Rules and Regulations or other applicable account agreement that governs your account.



JPMorgan Chase Bank, N.A. Member FDIC



April 29, 2017 through May 31, 2017
Primary Account: [REDACTED]

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JPMorgan Chase Bank, N.A.
 P O Box 659754
 San Antonio, TX 78265 - 9754

December 31, 2016 through January 31, 2017

Primary Account: [REDACTED]

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CONGREGATION TORAS CHAIM
 OPERATING ACCOUNT
 7119 BREMERTON CT
 DALLAS TX 75252-6128

CUSTOMER SERVICE INFORMATION

Web site: **Chase.com**
 Service Center: **1-800-242-7338**
 Deaf and Hard of Hearing: **1-800-242-7383**
 Para Espanol: **1-888-622-4273**
 International Calls: **1-713-262-1679**



01416210301000000023

We changed how we explain ATM Withdrawal Limits

We revised the Deposit Account Agreement to change how we explain ATM withdrawal limits.

Below is the explanation provided in the Deposit Account Agreement for business accounts.

Your ATM withdrawal limits may be different depending on which type of ATM you use:

- *When you use a Staffed ATM, the following limitations apply and are separate from all other limits:*

Each cardholder can withdraw up to \$3,000 each day from all linked accounts of each business. This separate limit does not apply to an Associate card.

- *When you use an Enhanced ATM, the following limitations apply:*

All withdrawals made with any cardholder's ATM, debit or prepaid cards for the same business count toward every card's daily withdrawal limit.

- *When you use non-Chase ATMs and Chase ATMs that are not Enhanced, you can withdraw up to the card's daily withdrawal limit. Withdrawals using other cards will not count towards that card's daily withdrawal limit.*

You can get the latest Deposit Account Agreement on chase.com, at a branch or by request when you call us. The parts of the Deposit Account Agreement that changed will be in the Change in Terms section.

If you have questions, please call the number on your statement.

CONSOLIDATED BALANCE SUMMARY

ASSETS

Checking & Savings

ACCOUNT	BEGINNING BALANCE THIS PERIOD	ENDING BALANCE THIS PERIOD
Chase BusinessClassic 000000770848711	\$3,514.82	\$7,148.79
Chase BusinessClassic 000000752341776	4,419.31	394.31
Chase Business Select High Yield Savings 000002748392483	109.29	109.29
Chase Business Select High Yield Savings 000002904855596	600.06	600.08
Total	\$8,643.48	\$8,252.47

TOTAL ASSETS

\$8,643.48 \$8,252.47



December 31, 2016 through January 31, 2017

Primary Account: [REDACTED]

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All Summary Balances shown are as of January 31, 2017 unless otherwise stated. For details of your retirement accounts, credit accounts or securities accounts, you will receive separate statements. Balance summary information for annuities is provided by the issuing insurance companies and believed to be reliable without guarantee of its completeness or accuracy.

CHASE BUSINESSCLASSIC

CONGREGATION TORAS CHAIM
OPERATING ACCOUNT

Account Number: [REDACTED]

CHECKING SUMMARY

	INSTANCES	AMOUNT
Beginning Balance		\$3,514.82
Deposits and Additions	11	7,848.21
Checks Paid	4	-2,756.00
ATM & Debit Card Withdrawals	9	-710.94
Electronic Withdrawals	5	-747.30
Ending Balance	29	\$7,148.79

Your account ending in 5596 is linked to this account for overdraft protection.

Your monthly service fee was waived because you had at least 5 debit card purchases during the statement period.

DEPOSITS AND ADDITIONS

DATE	DESCRIPTION	AMOUNT
01/03	Bankcard Mtot Dep 518993320322886 CCD ID: 5921267939	\$130.00
01/03	Chase Quickpay Electronic Transfer 5911382829 From Joshua S Rothstein	15.00
01/04	Bankcard Mtot Dep 518993320322886 CCD ID: 5921267939	1,188.00
01/20	Bankcard Mtot Dep 518993320322886 CCD ID: 5921267939	140.00
01/23	Chase Quickpay Electronic Transfer 5953355618 From Joshua S Rothstein	100.00
01/24	Bankcard Mtot Dep 518993320322886 CCD ID: 5921267939	200.00
01/26	Chase Quickpay Electronic Transfer 5962567336 From Joshua S Rothstein	100.00
01/30	ATM Check Deposit 01/30 16831 Coit Rd Dallas TX Card 9133	4,339.21
01/30	ATM Cash Deposit 01/30 16831 Coit Rd Dallas TX Card 9133	446.00
01/30	Bankcard Mtot Dep 518993320322886 CCD ID: 5921267939	1,100.00
01/30	Bankcard Mtot Dep 518993320322886 CCD ID: 5921267939	90.00
Total Deposits and Additions		\$7,848.21



December 31, 2016 through January 31, 2017

Primary Account: [REDACTED]

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CHECKS PAID

CHECK NO.	DESCRIPTION	DATE PAID	AMOUNT
1617 ^		01/09	\$2,200.00
1618 ^		01/09	36.00
1619 ^		01/17	120.00
1620 ^		01/05	400.00

Total Checks Paid **\$2,756.00**

If you see a description in the Checks Paid section, it means that we received only electronic information about the check, not the original or an image of the check. As a result, we're not able to return the check to you or show you an image.

^ An image of this check may be available for you to view on Chase.com.



ATM & DEBIT CARD WITHDRAWALS

DATE	DESCRIPTION	AMOUNT
01/03	Card Purchase 01/02 Google *Svcapps_Tor Cc@Google.Com On Card 1885 CA Dollar 10.00 X 0.7460000 (Exchg Rte) + 0.22 (Exchg Rte ADJ)	\$7.68
01/03	Card Purchase 01/02 Amazon.Com Amzn.Com/Bill WA Card 1885	53.60
01/12	Card Purchase 01/12 Amazon.Com Amzn.Com/Bill WA Card 1885	21.32
01/17	Card Purchase 01/14 Usr-Electric Bill 855-600-3859 TX Card 7720	127.55
01/17	Card Purchase 01/13 Fsi*Atmos Energy 866-405-1926 TX Card 9133	137.39
01/18	Card Purchase 01/16 Judaica Plaza 732-942-4500 NY Card 1885	185.25
01/24	Recurring Card Purchase 01/23 Intuit *Qb Online 800-286-6800 CA Card 7720	43.25
01/26	Card Purchase 01/24 Classroom Essentials O 866-4047671 GA Card 1885	50.00
01/31	Recurring Card Purchase 01/30 Filterbuy.Com 855-345-8289 AL Card 1885	84.90

Total ATM & Debit Card Withdrawals **\$710.94**

ATM & DEBIT CARD SUMMARY

Jordan Rich Card 1885

Total ATM Withdrawals & Debits	\$0.00
Total Card Purchases	\$402.75
Total Card Deposits & Credits	\$0.00

Michael Bodenheimer Card 7720

Total ATM Withdrawals & Debits	\$0.00
Total Card Purchases	\$170.80
Total Card Deposits & Credits	\$0.00

Benjamin E Nise Card 9133

Total ATM Withdrawals & Debits	\$0.00
Total Card Purchases	\$137.39
Total Card Deposits & Credits	\$4,785.21

ATM & Debit Card Totals

Total ATM Withdrawals & Debits	\$0.00
Total Card Purchases	\$710.94
Total Card Deposits & Credits	\$4,785.21



December 31, 2016 through January 31, 2017
 Primary Account: [REDACTED]

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ELECTRONIC WITHDRAWALS

DATE	DESCRIPTION	AMOUNT
01/03	Bankcard Mtot Disc 518993320322886 CCD ID: 4518088069	\$63.87
01/06	01/06 Online Payment 5852053546 To Norman J. Hoppenstein	166.67
01/12	01/12 Online Payment 5862988964 To Torah Day School of Dallas	200.00
01/12	Fp Gateway Fee Sigonfile PPD ID: 9000036136	10.50
01/19	Water Epays Dwu Web 000100674240 Web ID: 3756000508	306.26
Total Electronic Withdrawals		\$747.30

DAILY ENDING BALANCE

DATE	AMOUNT	DATE	AMOUNT	DATE	AMOUNT
01/03	\$3,534.67	01/12	1,688.18	01/23	1,051.73
01/04	4,722.67	01/17	1,303.24	01/24	1,208.48
01/05	4,322.67	01/18	1,117.99	01/26	1,258.48
01/06	4,156.00	01/19	811.73	01/30	7,233.69
01/09	1,920.00	01/20	951.73	01/31	7,148.79

SERVICE CHARGE SUMMARY

TRANSACTIONS FOR SERVICE FEE CALCULATION	NUMBER OF TRANSACTIONS
Checks Paid / Debits	16
Deposits / Credits	7
Deposited Items	27
Transaction Total	50

SERVICE FEE CALCULATION	AMOUNT
Service Fee	\$0.00
Service Fee Credit	\$0.00
Net Service Fee	\$0.00
Excessive Transaction Fees (Above 0)	\$0.00
Total Service Fees	\$0.00

CHASE BUSINESSCLASSIC

CONGREGATION TORAS CHAIM

Account Number: [REDACTED]

CHECKING SUMMARY

	INSTANCES	AMOUNT
Beginning Balance		\$4,419.31
Electronic Withdrawals	1	-4,000.00
Fees	1	-25.00
Ending Balance	2	\$394.31

The monthly service fee for this account was waived as an added feature of Chase Premier Checking account.



December 31, 2016 through January 31, 2017

Primary Account: [REDACTED]

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ELECTRONIC WITHDRAWALS

DATE	DESCRIPTION	AMOUNT
01/13	01/13 Online Payment 5935253916 To Zerach	\$4,000.00
Total Electronic Withdrawals		\$4,000.00

FEES

DATE	DESCRIPTION	AMOUNT
01/13	01/13 Online Stop Payment Fee	\$25.00
Total Fees		\$25.00

DAILY ENDING BALANCE

DATE	AMOUNT
01/13	\$394.31

SERVICE CHARGE SUMMARY

TRANSACTIONS FOR SERVICE FEE CALCULATION	NUMBER OF TRANSACTIONS
Checks Paid / Debits	0
Deposits / Credits	0
Deposited Items	0
Transaction Total	0

SERVICE FEE CALCULATION	AMOUNT
Service Fee	\$0.00
Service Fee Credit	\$0.00
Net Service Fee	\$0.00
Excessive Transaction Fees (Above 0)	\$0.00
Total Service Fees	\$0.00

CHASE BUSINESS SELECT HIGH YIELD SAVINGS

CONGREGATION TORAS CHAIM

Account Number: [REDACTED]

SAVINGS SUMMARY

	INSTANCES	AMOUNT
Beginning Balance		\$109.29
Ending Balance	0	\$109.29
Annual Percentage Yield Earned This Period		0.00%

Interest paid in 2016 for account 000002748392483 was \$0.02.

The monthly service fee for this account was waived as an added feature of Chase BusinessClassic account.

You earned a higher interest rate on your Chase Business Select High Yield Savings account during this statement period because you had a qualifying Chase BusinessClassic account.

30 deposited items are provided with your account each month. There is a \$0.20 fee for each additional deposited item.



1141621030300000063



December 31, 2016 through January 31, 2017

Primary Account: [REDACTED]

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CHASE BUSINESS SELECT HIGH YIELD SAVINGS

CONGREGATION TORAS CHAIM

Account Number: [REDACTED]

SAVINGS SUMMARY

	INSTANCES	AMOUNT
Beginning Balance		\$600.06
Deposits and Additions	1	0.02
Ending Balance	1	\$600.08
Annual Percentage Yield Earned This Period		0.04%
Interest Paid This Period		\$0.02
Interest Paid Year-to-Date		\$0.02

Interest paid in 2016 for account 000002904855596 was \$0.05.

The monthly service fee for this account was waived as an added feature of Chase BusinessClassic account.

TRANSACTION DETAIL

DATE	DESCRIPTION	AMOUNT	BALANCE
	Beginning Balance		\$600.06
01/31	Interest Payment	0.02	600.08
	Ending Balance		\$600.08

You earned a higher interest rate on your Chase Business Select High Yield Savings account during this statement period because you had a qualifying Chase BusinessClassic account.

30 deposited items are provided with your account each month. There is a \$0.20 fee for each additional deposited item.

IN CASE OF ERRORS OR QUESTIONS ABOUT YOUR ELECTRONIC FUNDS TRANSFERS: Call or write us at the phone number or address on the front of this statement (non-personal accounts contact Customer Service) if you think your statement or receipt is incorrect or if you need more information about a transfer listed on the statement or receipt. We must hear from you no later than 60 days after we sent you the FIRST statement on which the problem or error appeared. Be prepared to give us the following information:

- Your name and account number
- The dollar amount of the suspected error
- A description of the error or transfer you are unsure of, why you believe it is an error, or why you need more information.

We will investigate your complaint and will correct any error promptly. If we take more than 10 business days (or 20 business days for new accounts) to do this, we will credit your account for the amount you think is in error so that you will have use of the money during the time it takes us to complete our investigation.

IN CASE OF ERRORS OR QUESTIONS ABOUT NON-ELECTRONIC TRANSACTIONS: Contact the bank immediately if your statement is incorrect or if you need more information about any non-electronic transactions (checks or deposits) on this statement. If any such error appears, you must notify the bank in writing no later than 30 days after the statement was made available to you. For more complete details, see the Account Rules and Regulations or other applicable account agreement that governs your account.



JPMorgan Chase Bank, N.A. Member FDIC



JPMorgan Chase Bank, N.A.
 P O Box 659754
 San Antonio, TX 78265 -9754

February 01, 2017 through February 28, 2017
 Primary Account: [REDACTED]

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00150493 DRE 201 219 06017 NNNNNNNNNN 1 00000000 69 0000
 CONGREGATION TORAS CHAIM
 OPERATING ACCOUNT
 7119 BREMERTON CT
 DALLAS TX 75252-6128

CUSTOMER SERVICE INFORMATION

Web site: **Chase.com**
 Service Center: **1-800-242-7338**
 Deaf and Hard of Hearing: **1-800-242-7383**
 Para Espanol: **1-888-622-4273**
 International Calls: **1-713-262-1679**



0150493030100000023

CONSOLIDATED BALANCE SUMMARY

ASSETS

Checking & Savings	ACCOUNT	BEGINNING BALANCE THIS PERIOD	ENDING BALANCE THIS PERIOD
Chase BusinessClassic	000000770848711	\$7,148.79	\$6,189.33
Chase BusinessClassic	000000752341776	394.31	394.31
Chase Business Select High Yield Savings	000002748392483	109.29	109.29
Chase Business Select High Yield Savings	000002904855596	600.08	600.09
Total		\$8,252.47	\$7,293.02
TOTAL ASSETS		\$8,252.47	\$7,293.02

All Summary Balances shown are as of February 28, 2017 unless otherwise stated. For details of your retirement accounts, credit accounts or securities accounts, you will receive separate statements. Balance summary information for annuities is provided by the issuing insurance companies and believed to be reliable without guarantee of its completeness or accuracy.

CHASE BUSINESSCLASSIC

CONGREGATION TORAS CHAIM
 OPERATING ACCOUNT

Account Number: [REDACTED]

CHECKING SUMMARY

	INSTANCES	AMOUNT
Beginning Balance		\$7,148.79
Deposits and Additions	13	12,464.80
Checks Paid	3	-4,100.00
ATM & Debit Card Withdrawals	8	-2,416.66
Electronic Withdrawals	7	-6,907.60
Ending Balance	31	\$6,189.33

Your account ending in 5596 is linked to this account for overdraft protection.



February 01, 2017 through February 28, 2017
 Primary Account: [REDACTED]

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Your monthly service fee was waived because you had at least 5 debit card purchases during the statement period.

DEPOSITS AND ADDITIONS

DATE	DESCRIPTION	AMOUNT
02/06	Bankcard Mtot Dep 518993320322886 CCD ID: 5921267939	\$150.00
02/07	Amzniyshz60B Amazonsmil ljwdfg66Fp7Ftt CCD ID: 9215319235	31.14
02/10	Card Purchase Return 02/10 Intuit *Qb Online 800-286-6800 CA Card 7720	0.66
02/14	ATM Check Deposit 02/14 16831 Coit Rd Dallas TX Card 9133	5,187.00
02/14	ATM Cash Deposit 02/14 16831 Coit Rd Dallas TX Card 9133	40.00
02/15	Chase Quickpay Electronic Transfer 6010870967 From Joshua S Rothstein	100.00
02/21	Bankcard Mtot Dep 518993320322886 CCD ID: 5921267939	2,200.00
02/21	Bankcard Mtot Dep 518993320322886 CCD ID: 5921267939	140.00
02/23	Bankcard Mtot Dep 518993320322886 CCD ID: 5921267939	100.00
02/24	ATM Check Deposit 02/24 16831 Coit Rd Dallas TX Card 1885	4,085.00
02/27	Bankcard Mtot Dep 518993320322886 CCD ID: 5921267939	50.00
02/27	Bankcard Mtot Dep 518993320322886 CCD ID: 5921267939	36.00
02/28	Bankcard Mtot Dep 518993320322886 CCD ID: 5921267939	345.00
Total Deposits and Additions		\$12,464.80

CHECKS PAID

CHECK NO.	DESCRIPTION	DATE PAID	AMOUNT
1622 ^		02/07	\$1,500.00
1623 ^		02/06	400.00
1624 ^		02/22	2,200.00
Total Checks Paid			\$4,100.00

If you see a description in the Checks Paid section, it means that we received only electronic information about the check, not the original or an image of the check. As a result, we're not able to return the check to you or show you an image.
 ^ An image of this check may be available for you to view on Chase.com.

ATM & DEBIT CARD WITHDRAWALS

DATE	DESCRIPTION	AMOUNT
02/01	Card Purchase 01/30 Classroom Essentials O 866-4047671 GA Card 1885	\$2,094.40
02/01	Card Purchase 02/01 Amazon Mktplace Pmts Amzn.Com/Bill WA Card 1885	17.98
02/01	Recurring Card Purchase 01/31 Filterbuy.Com 855-345-8289 AL Card 1885	33.90
02/03	Card Purchase 02/02 Google *Svcsapps_Tor Cc@Google.Com On Card 1885 CA Dollar 10.00 X 0.7710000 (Exchg Rte) + 0.23 (Exchg Rte ADJ)	7.94
02/15	Card Purchase 02/15 Usr-Electric Bill 855-600-3859 TX Card 7720	178.44
02/24	Card Purchase With Pin 02/24 Randalls Store 3637 Richardson TX Card 1885	27.19
02/24	Recurring Card Purchase 02/23 Intuit *Qb Online 800-286-6800 CA Card 7720	42.59
02/27	Card Purchase 02/26 Randalls Store00036376 Richardson TX Card 1885	14.22
Total ATM & Debit Card Withdrawals		\$2,416.66

ATM & DEBIT CARD SUMMARY

Jordan Rich Card 1885



February 01, 2017 through February 28, 2017

Primary Account: [REDACTED]

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Total ATM Withdrawals & Debits	\$0.00
Total Card Purchases	\$2,195.63
Total Card Deposits & Credits	\$4,085.00
Michael Bodenheimer Card 7720	
Total ATM Withdrawals & Debits	\$0.00
Total Card Purchases	\$221.03
Total Card Deposits & Credits	\$0.66
Benjamin E Nise Card 9133	
Total ATM Withdrawals & Debits	\$0.00
Total Card Purchases	\$0.00
Total Card Deposits & Credits	\$5,227.00
ATM & Debit Card Totals	
Total ATM Withdrawals & Debits	\$0.00
Total Card Purchases	\$2,416.66
Total Card Deposits & Credits	\$9,312.66



ELECTRONIC WITHDRAWALS

DATE	DESCRIPTION	AMOUNT
02/01	State Farm Ro 27 Stpp PPD ID: 9000307001	\$76.00
02/02	Bankcard Mtot Disc 518993320322886 CCD ID: 4518088069	105.78
02/03	02/03 Online Payment 5984209956 To Mark Gothelf	2,263.65
02/08	02/08 Online Payment 5918099863 To Norman J. Hoppenstein	166.67
02/10	02/10 Online Payment 5931014414 To Torah Day School of Dallas	200.00
02/14	Fp Gateway Fee Sigonfile PPD ID: 9000036136	10.50
02/22	02/22 Online Payment 6025600328 To Zerach	4,085.00
Total Electronic Withdrawals		\$6,907.60

DAILY ENDING BALANCE

DATE	AMOUNT	DATE	AMOUNT	DATE	AMOUNT
02/01	\$4,926.51	02/08	663.61	02/22	1,657.33
02/02	4,820.73	02/10	464.27	02/23	1,757.33
02/03	2,549.14	02/14	5,680.77	02/24	5,772.55
02/06	2,299.14	02/15	5,602.33	02/27	5,844.33
02/07	830.28	02/21	7,942.33	02/28	6,189.33

SERVICE CHARGE SUMMARY

TRANSACTIONS FOR SERVICE FEE CALCULATION	NUMBER OF TRANSACTIONS
Checks Paid / Debits	14
Deposits / Credits	10
Deposited Items	10
Transaction Total	34

SERVICE FEE CALCULATION	AMOUNT
Service Fee	\$0.00
Service Fee Credit	\$0.00



February 01, 2017 through February 28, 2017
Primary Account: [REDACTED]

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SERVICE CHARGE SUMMARY (continued)

SERVICE FEE CALCULATION	AMOUNT
Net Service Fee	\$0.00
Excessive Transaction Fees (Above 0)	\$0.00
Total Service Fees	\$0.00

CHASE BUSINESSCLASSIC

CONGREGATION TORAS CHAIM

Account Number: [REDACTED]

CHECKING SUMMARY

	INSTANCES	AMOUNT
Beginning Balance		\$394.31
Ending Balance	0	\$394.31

The monthly service fee for this account was waived as an added feature of Chase Premier Checking account.

SERVICE CHARGE SUMMARY

TRANSACTIONS FOR SERVICE FEE CALCULATION	NUMBER OF TRANSACTIONS
Checks Paid / Debits	0
Deposits / Credits	0
Deposited Items	0
Transaction Total	0

SERVICE FEE CALCULATION	AMOUNT
Service Fee	\$0.00
Service Fee Credit	\$0.00
Net Service Fee	\$0.00
Excessive Transaction Fees (Above 0)	\$0.00
Total Service Fees	\$0.00



February 01, 2017 through February 28, 2017

Primary Account: [REDACTED]

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CHASE BUSINESS SELECT HIGH YIELD SAVINGS

CONGREGATION TORAS CHAIM

Account Number: [REDACTED]

SAVINGS SUMMARY

	INSTANCES	AMOUNT
Beginning Balance		\$109.29
Ending Balance	0	\$109.29
Annual Percentage Yield Earned This Period		0.00%

Interest paid in 2016 for account 000002748392483 was \$0.02.

The monthly service fee for this account was waived as an added feature of Chase BusinessClassic account.

You earned a higher interest rate on your Chase Business Select High Yield Savings account during this statement period because you had a qualifying Chase BusinessClassic account.

30 deposited items are provided with your account each month. There is a \$0.20 fee for each additional deposited item.



CHASE BUSINESS SELECT HIGH YIELD SAVINGS

CONGREGATION TORAS CHAIM

Account Number: [REDACTED]

SAVINGS SUMMARY

	INSTANCES	AMOUNT
Beginning Balance		\$600.08
Deposits and Additions	1	0.01
Ending Balance	1	\$600.09
Annual Percentage Yield Earned This Period		0.02%
Interest Paid This Period		\$0.01
Interest Paid Year-to-Date		\$0.03

Interest paid in 2016 for account 000002904855596 was \$0.05.

The monthly service fee for this account was waived as an added feature of Chase BusinessClassic account.

TRANSACTION DETAIL

DATE	DESCRIPTION	AMOUNT	BALANCE
	Beginning Balance		\$600.08
02/28	Interest Payment	0.01	600.09
	Ending Balance		\$600.09

You earned a higher interest rate on your Chase Business Select High Yield Savings account during this statement period because you had a qualifying Chase BusinessClassic account.

30 deposited items are provided with your account each month. There is a \$0.20 fee for each additional deposited item.

IN CASE OF ERRORS OR QUESTIONS ABOUT YOUR ELECTRONIC FUNDS TRANSFERS: Call or write us at the phone number or address on the front of this statement (non-personal accounts contact Customer Service) if you think your statement or receipt is incorrect or if you need more information about a transfer listed on the statement or receipt. We must hear from you no later than 60 days after we sent you the FIRST statement on which the problem or error appeared. Be prepared to give us the following information:

- Your name and account number
- The dollar amount of the suspected error
- A description of the error or transfer you are unsure of, why you believe it is an error, or why you need more information.

We will investigate your complaint and will correct any error promptly. If we take more than 10 business days (or 20 business days for new accounts) to do this, we will credit your account for the amount you think is in error so that you will have use of the money during the time it takes us to complete our investigation.

IN CASE OF ERRORS OR QUESTIONS ABOUT NON-ELECTRONIC TRANSACTIONS: Contact the bank immediately if your statement is incorrect or if you need more information about any non-electronic transactions (checks or deposits) on this statement. If any such error appears, you must notify the bank in writing no later than 30 days after the statement was made available to you. For more complete details, see the Account Rules and Regulations or other applicable account agreement that governs your account.



JPMorgan Chase Bank, N.A. Member FDIC



JPMorgan Chase Bank, N.A.
 P O Box 659754
 San Antonio, TX 78265 - 9754

March 01, 2017 through March 31, 2017

Primary Account: [REDACTED]

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00152344 DRE 201 219 09117 NNNNNNNNNN 1 000000000 69 0000
 CONGREGATION TORAS CHAIM
 OPERATING ACCOUNT
 7119 BREMERTON CT
 DALLAS TX 75252-6128

CUSTOMER SERVICE INFORMATION

Web site: Chase.com
 Service Center: 1-800-242-7338
 Deaf and Hard of Hearing: 1-800-242-7383
 Para Espanol: 1-888-622-4273
 International Calls: 1-713-262-1679



01523440401000000024

CONSOLIDATED BALANCE SUMMARY

ASSETS

Checking & Savings	ACCOUNT	BEGINNING BALANCE THIS PERIOD	ENDING BALANCE THIS PERIOD
Chase BusinessClassic	000000770848711	\$6,189.33	\$3,219.11
Chase BusinessClassic	000000752341776	394.31	176.81
Chase Business Select High Yield Savings	000002748392483	109.29	109.29
Chase Business Select High Yield Savings	000002904855596	600.09	600.11
Total		\$7,293.02	\$4,105.32
TOTAL ASSETS		\$7,293.02	\$4,105.32

All Summary Balances shown are as of March 31, 2017 unless otherwise stated. For details of your retirement accounts, credit accounts or securities accounts, you will receive separate statements. Balance summary information for annuities is provided by the issuing insurance companies and believed to be reliable without guarantee of its completeness or accuracy.

CHASE BUSINESSCLASSIC

CONGREGATION TORAS CHAIM
 OPERATING ACCOUNT

Account Number: [REDACTED]

CHECKING SUMMARY

	INSTANCES	AMOUNT
Beginning Balance		\$6,189.33
Deposits and Additions	23	9,761.97
Checks Paid	4	-5,303.71
ATM & Debit Card Withdrawals	15	-1,687.15
Electronic Withdrawals	8	-5,741.33
Ending Balance	50	\$3,219.11

Your account ending in 5596 is linked to this account for overdraft protection.



March 01, 2017 through March 31, 2017

Primary Account: [REDACTED]

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Your monthly service fee was waived because you had at least 5 debit card purchases during the statement period.

DEPOSITS AND ADDITIONS

DATE	DESCRIPTION	AMOUNT
03/06	Chase Quickpay Electronic Transfer 6056027658 From Joshua S Rothstein	\$1,200.00
03/06	Chase Quickpay Electronic Transfer 6054885992 From Solomon Israel	299.09
03/06	Chase Quickpay Electronic Transfer 6054885901 From Stern Investment Group LLC	299.09
03/06	Chase Quickpay Electronic Transfer 6054900880 From Eduard Khalameizer	299.09
03/06	Chase Quickpay Electronic Transfer 6056040973 From Joshua S Rothstein	180.00
03/06	Bankcard Mitot Dep 518993320322886 CCD ID: 5921267939	54.00
03/06	Chase Quickpay Electronic Transfer 6054938632 From David E Lesh	30.00
03/06	Chase Quickpay Electronic Transfer 6054922818 From Eduard Khalameizer	29.90
03/06	Chase Quickpay Electronic Transfer 6054922041 From Adam M Stern	29.90
03/06	Chase Quickpay Electronic Transfer 6054978783 From Maj Stern Family Investment Group LLC	29.50
03/07	Chase Quickpay Electronic Transfer 6054884357 From David Goldberg	299.00
03/10	ATM Check Deposit 03/10 18320 Preston Rd Dallas TX Card 9133	2,184.94
03/10	ATM Cash Deposit 03/10 18320 Preston Rd Dallas TX Card 9133	143.00
03/13	Bankcard Mitot Dep 518993320322886 CCD ID: 5921267939	50.00
03/20	Bankcard Mitot Dep 518993320322886 CCD ID: 5921267939	319.30
03/20	Bankcard Mitot Dep 518993320322886 CCD ID: 5921267939	54.00
03/23	ATM Check Deposit 03/23 16831 Coit Rd Dallas TX Card 9133	3,456.24
03/23	ATM Cash Deposit 03/23 16831 Coit Rd Dallas TX Card 9133	301.00
03/23	Bankcard Mitot Dep 518993320322886 CCD ID: 5921267939	118.00
03/24	Bankcard Mitot Dep 518993320322886 CCD ID: 5921267939	180.00
03/27	Bankcard Mitot Dep 518993320322886 CCD ID: 5921267939	50.00
03/28	Bankcard Mitot Dep 518993320322886 CCD ID: 5921267939	101.92
03/31	Bankcard Mitot Dep 518993320322886 CCD ID: 5921267939	54.00
Total Deposits and Additions		\$9,761.97

CHECKS PAID

CHECK NO.	DESCRIPTION	DATE PAID	AMOUNT
1625 ^		03/13	\$400.00
1626 ^		03/15	2,263.65
1627 ^		03/27	440.06
1628 ^		03/28	2,200.00
Total Checks Paid			\$5,303.71

If you see a description in the Checks Paid section, it means that we received only electronic information about the check, not the original or an image of the check. As a result, we're not able to return the check to you or show you an image.

^ An image of this check may be available for you to view on Chase.com.



March 01, 2017 through March 31, 2017

Primary Account: [REDACTED]

ATM & DEBIT CARD WITHDRAWALS

DATE	DESCRIPTION	AMOUNT
03/02	Card Purchase 03/01 Oiz Vehudor 718-4370054 NY Card 1885	\$30.00
03/03	Card Purchase 03/02 Google *Svcsapps_Tor Cc@Google.Com On Card 1885 CA Dollar 10.00 X 0.7510000 (Exchg Rte) + 0.22 (Exchg Rte ADJ)	7.73
03/06	Card Purchase 03/04 Sq *Cafe Fino Dallas TX Card 1885	65.99
03/09	Card Purchase 03/08 Fsi*Atmos Energy 866-405-1926 TX Card 9133	228.08
03/10	Card Purchase 03/09 Web*Networksolutions 888-642-9675 FL Card 1885	153.96
03/10	Card Purchase 03/10 Amazon.Com Amzn.Com/Bill WA Card 1885	43.27
03/13	Card Purchase 03/13 Usr-Electric Bill 855-600-3859 TX Card 7720	147.09
03/20	Card Purchase 03/19 Amazon Mktplace Pmts Amzn.Com/Bill WA Card 1885	39.58
03/20	Card Purchase 03/19 Amazon Mktplace Pmts Amzn.Com/Bill WA Card 1885	76.00
03/21	Card Purchase 03/20 Amazon Mktplace Pmts Amazon Mktpla WA Card 1885	12.44
03/23	Card Purchase 03/23 Sq *Elegant Traditions Gosq.Com TX Card 9133	672.00
03/24	Recurring Card Purchase 03/23 Intuit *Qb Online 800-286-6800 CA Card 7720	42.59
03/27	Card Purchase 03/27 Sq *Elegant Traditions Gosq.Com TX Card 9133	36.00
03/27	Card Purchase 03/27 Amazon Mktplace Pmts Amazon Mktpla WA Card 1885	74.95
03/29	Card Purchase 03/29 Amazon Mktplace Pmts Amzn.Com/Bill WA Card 1885	57.47
Total ATM & Debit Card Withdrawals		\$1,687.15



1152344040200000064

ATM & DEBIT CARD SUMMARY

Jordan Rich Card 1885

Total ATM Withdrawals & Debits	\$0.00
Total Card Purchases	\$561.39
Total Card Deposits & Credits	\$0.00

Michael Bodenheimer Card 7720

Total ATM Withdrawals & Debits	\$0.00
Total Card Purchases	\$189.68
Total Card Deposits & Credits	\$0.00

Benjamin E Nise Card 9133

Total ATM Withdrawals & Debits	\$0.00
Total Card Purchases	\$936.08
Total Card Deposits & Credits	\$6,085.18

ATM & Debit Card Totals

Total ATM Withdrawals & Debits	\$0.00
Total Card Purchases	\$1,687.15
Total Card Deposits & Credits	\$6,085.18

ELECTRONIC WITHDRAWALS

DATE	DESCRIPTION	AMOUNT
03/01	03/01 Online Payment 6043415123 To Zerach	\$4,085.00
03/02	Bankcard Mtot Disc 518993320322886 CCD ID: 4518088069	109.09
03/02	State Farm Ro 27 Sfpp PPD ID: 9000307001	76.00
03/06	Chase Quickpay Electronic Transfer 6056034800 To Josh Rothstein	1,016.57
03/08	03/08 Online Payment 5993361606 To Norman J. Hoppenstein	166.67



March 01, 2017 through March 31, 2017

Primary Account: [REDACTED]

Misc 2
Attach A
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ELECTRONIC WITHDRAWALS (continued)

DATE	DESCRIPTION	AMOUNT
03/13	03/13 Online Payment 5998023113 To Torah Day School of Dallas	200.00
03/13	Fp Gateway Fee Sigonfile PPD ID: 9000036136	10.50
03/30	State Farm Ro 27 Sfpp PPD ID: 9000307001	77.50
Total Electronic Withdrawals		\$5,741.33

DAILY ENDING BALANCE

DATE	AMOUNT	DATE	AMOUNT	DATE	AMOUNT
03/01	\$2,104.33	03/10	5,284.48	03/24	5,899.17
03/02	1,889.24	03/13	4,576.89	03/27	5,398.16
03/03	1,881.51	03/15	2,313.24	03/28	3,300.08
03/06	3,249.52	03/20	2,570.96	03/29	3,242.61
03/07	3,548.52	03/21	2,558.52	03/30	3,165.11
03/08	3,381.85	03/23	5,761.76	03/31	3,219.11
03/09	3,153.77				

SERVICE CHARGE SUMMARY

TRANSACTIONS FOR SERVICE FEE CALCULATION	NUMBER OF TRANSACTIONS
Checks Paid / Debits	23
Deposits / Credits	11
Deposited Items	27
Transaction Total	61

SERVICE FEE CALCULATION	AMOUNT
Service Fee	\$0.00
Service Fee Credit	\$0.00
Net Service Fee	\$0.00
Excessive Transaction Fees (Above 0)	\$0.00
Total Service Fees	\$0.00



March 01, 2017 through March 31, 2017

Primary Account: [REDACTED]

Misc 2
Attach A
Pg 37

CHASE BUSINESSCLASSIC

CONGREGATION TORAS CHAIM

Account Number: [REDACTED]

CHECKING SUMMARY

	INSTANCES	AMOUNT
Beginning Balance		\$394.31
Deposits and Additions	2	2,187.00
Checks Paid	4	-1,418.00
Electronic Withdrawals	1	-986.50
Ending Balance	7	\$176.81



11523440403000000064

The monthly service fee for this account was waived as an added feature of Chase Premier Checking account.

DEPOSITS AND ADDITIONS

DATE	DESCRIPTION	AMOUNT
03/10	Deposit 893066044	\$802.00
03/13	Deposit 893066228	1,385.00
Total Deposits and Additions		\$2,187.00

CHECKS PAID

CHECK NO.	DESCRIPTION	DATE PAID	AMOUNT
1118 ^		03/15	\$602.00
1119 ^		03/15	200.00
1120 ^		03/13	490.00
1124 * ^		03/14	126.00
Total Checks Paid			\$1,418.00

If you see a description in the Checks Paid section, it means that we received only electronic information about the check, not the original or an image of the check. As a result, we're not able to return the check to you or show you an image.

* All of your recent checks may not be on this statement, either because they haven't cleared yet or they were listed on one of your previous statements.

^ An image of this check may be available for you to view on Chase.com.

ELECTRONIC WITHDRAWALS

DATE	DESCRIPTION	AMOUNT
03/27	03/26 Online Payment 6104066145 To Zerach	\$986.50
Total Electronic Withdrawals		\$986.50

DAILY ENDING BALANCE

DATE	AMOUNT
03/10	\$1,196.31
03/13	2,091.31
03/14	1,965.31
03/15	1,163.31
03/27	176.81



March 01, 2017 through March 31, 2017

Primary Account: [REDACTED]

SERVICE CHARGE SUMMARY

TRANSACTIONS FOR SERVICE FEE CALCULATION	NUMBER OF TRANSACTIONS
Checks Paid / Debits	4
Deposits / Credits	2
Deposited Items	14
Transaction Total	20

SERVICE FEE CALCULATION	AMOUNT
Service Fee	\$0.00
Service Fee Credit	\$0.00
Net Service Fee	\$0.00
Excessive Transaction Fees (Above 0)	\$0.00
Total Service Fees	\$0.00

CHASE BUSINESS SELECT HIGH YIELD SAVINGS

CONGREGATION TORAS CHAIM

Account Number: [REDACTED]

SAVINGS SUMMARY

	INSTANCES	AMOUNT
Beginning Balance		\$109.29
Ending Balance	0	\$109.29
 Annual Percentage Yield Earned This Period		 0.00%

Interest paid in 2016 for account 000002748392483 was \$0.02.

The monthly service fee for this account was waived as an added feature of Chase BusinessClassic account.

You earned a higher interest rate on your Chase Business Select High Yield Savings account during this statement period because you had a qualifying Chase BusinessClassic account.

30 deposited items are provided with your account each month. There is a \$0.20 fee for each additional deposited item.



March 01, 2017 through March 31, 2017

Primary Account: [REDACTED]

Misc 2
Attach A
Pg 39

CHASE BUSINESS SELECT HIGH YIELD SAVINGS

CONGREGATION TORAS CHAIM

Account Number: [REDACTED]

SAVINGS SUMMARY

	INSTANCES	AMOUNT
Beginning Balance		\$600.09
Deposits and Additions	1	0.02
Ending Balance	1	\$600.11
Annual Percentage Yield Earned This Period		0.04%
Interest Paid This Period		\$0.02
Interest Paid Year-to-Date		\$0.05



115234040400000064

Interest paid in 2016 for account 000002904855596 was \$0.05.

The monthly service fee for this account was waived as an added feature of Chase BusinessClassic account.

TRANSACTION DETAIL

DATE	DESCRIPTION	AMOUNT	BALANCE
	Beginning Balance		\$600.09
03/31	Interest Payment	0.02	600.11
	Ending Balance		\$600.11

You earned a higher interest rate on your Chase Business Select High Yield Savings account during this statement period because you had a qualifying Chase BusinessClassic account.

30 deposited items are provided with your account each month. There is a \$0.20 fee for each additional deposited item.

IN CASE OF ERRORS OR QUESTIONS ABOUT YOUR ELECTRONIC FUNDS TRANSFERS: Call or write us at the phone number or address on the front of this statement (non-personal accounts contact Customer Service) if you think your statement or receipt is incorrect or if you need more information about a transfer listed on the statement or receipt. We must hear from you no later than 60 days after we sent you the FIRST statement on which the problem or error appeared. Be prepared to give us the following information:

- Your name and account number
- The dollar amount of the suspected error
- A description of the error or transfer you are unsure of, why you believe it is an error, or why you need more information.

We will investigate your complaint and will correct any error promptly. If we take more than 10 business days (or 20 business days for new accounts) to do this, we will credit your account for the amount you think is in error so that you will have use of the money during the time it takes us to complete our investigation.

IN CASE OF ERRORS OR QUESTIONS ABOUT NON-ELECTRONIC TRANSACTIONS: Contact the bank immediately if your statement is incorrect or if you need more information about any non-electronic transactions (checks or deposits) on this statement. If any such error appears, you must notify the bank in writing no later than 30 days after the statement was made available to you. For more complete details, see the Account Rules and Regulations or other applicable account agreement that governs your account.



JPMorgan Chase Bank, N.A. Member FDIC



March 01, 2017 through March 31, 2017

Primary Account: [REDACTED]

Misc 2
Attach A
Pg 40

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FILE NUMBER: BDA167-068(SL)

BUILDING OFFICIAL'S REPORT: Application of Robert Baldwin, represented by Rob Baldwin of Baldwin and Associates, for a variance to the front yard setback regulations at 2201 Kings Road. This property is more fully described as Lot 25, Block 5743, and is zoned IR and PD 193, which requires a front yard setback of 15 feet. The applicant proposes to construct and/or maintain a structure and provide a 0 foot front yard setback, which will require a 15 foot variance to the front yard setback regulations.

LOCATION: 2201 Kings Road

APPLICANT: Robert Baldwin
Represented by Rob Baldwin of Baldwin and Associates

REQUEST:

A request for a variance to the front yard setback regulations of 15' is made to maintain an existing auto storage/shed structure, part of which is located in one of the site's two 15' front yard setbacks (Macatee Drive). (No portion of this request is made to construct/maintain any portion of a structure in the site's Kings Road front yard setback).

The applicant had represented that this application was only made because the owner failed to apply for a building permit within 6 months of the previous variance that was granted on this site by Board of Adjustment Panel A in May of 2011 (BDA101-011), and that there was no material change to the conditions that triggered the need for the variance at that time.

However upon further review, staff and the applicant have discussed how the existing structure on the subject site (2201 Kings Road) appears to be different from what is represented on the applicant's submitted site plan; appears to be located in the Macatee Drive public right-of-way; and that the board of adjustment is only able to consider a variance to allow a structure in a required setback and is unable to consider a variance for any structure in public right-of-way; and that the applicant was planning to meet with the owner/client and discuss options to address any structure that is located in public right-of-way on this property.

STANDARD FOR A VARIANCE:

The Dallas Development Code Section 51A-3.102(d)(10) specifies that the board has the power to grant variances from the front yard, side yard, rear yard, lot width, lot depth, lot coverage, floor area for structures accessory to single family uses, height, minimum sidewalks, off-street parking or off-street loading, or landscape regulations provided that the variance is:

- (A) not contrary to the public interest when, owing to special conditions, a literal enforcement of this chapter would result in unnecessary hardship, and so that the spirit of the ordinance will be observed and substantial justice done;
- (B) necessary to permit development of a specific parcel of land that differs from other parcels of land by being of such a restrictive area, shape, or slope, that it cannot be developed in a manner commensurate with the development upon other parcels of land with the same zoning; and
- (C) not granted to relieve a self created or personal hardship, nor for financial reasons only, nor to permit any person a privilege in developing a parcel of land not permitted by this chapter to other parcels of land with the same zoning.

STAFF RECOMMENDATION:

Approval, subject to the following condition:

- Compliance with the submitted site plan is required.

Rationale:

- The applicant has substantiated how the variance is necessary to permit development of the site which is different from other lots by its irregular shape, its slope, and restrictive area caused by the floodplain on property.

BACKGROUND INFORMATION:

Zoning:

Site: IR and PD 193 (Industrial Research and Planned Development)
North: PD 712 (Planned Development)
South: PD 193 (Planned Development)
East: PD 712 (Planned Development)
West: IR (Industrial Research)

Land Use:

The subject site is developed with a commercial storage/shed structure. The areas to the north, east, and south appear to be undeveloped; and the area to the west is developed with commercial/office uses.

Zoning/BDA History:

- | | |
|--|---|
| <ol style="list-style-type: none"> 1. BDA167-069, Property at 4701 Bengal Street (the property to the south and west of the subject site) | <p>On June 20, 2017, the Board of Adjustment Panel A will consider a request for a variance to the front yard setback regulations of 15' in conjunction with a maintaining a structure in the front yard setback. Note that the applicant for BDA167-069 is the same as the applicant for BDA167-068.</p> |
|--|---|

2. BDA101-011, Property at 2201 Kings Road (the subject site)

On May 17, 2011, the Board of Adjustment Panel A granted a request for a variance to the front yard setback regulations of 15' and imposed the submitted site plan as a condition to the request.

The case report stated the request was made to maintain an existing auto storage/shed structure, part of which was located in one of the site's two 15' front yard setbacks (Macatee Drive).

3. BDA 101-040, Property at 4701 Bengal Street (the property to the south and west of the subject site)

On May 17, 2011, the Board of Adjustment Panel A granted a request for a variance to the front yard setback regulations of 15' and imposed the submitted site plan as a condition to the request.

The case report stated the request was made to maintain an existing auto storage/shed structure, part of which was located in the 15' Macatee Drive front yard setback.

GENERAL FACTS /STAFF ANALYSIS:

- The request for a variance to the front yard setback regulations of 15' focuses on maintaining an existing auto storage/shed structure that is located on site's Macatee Drive front property line or 15' into this 15' front yard setback.
- The minimum front yard setback for lots zoned IR is 15 feet.
- The subject site is a lot that runs from one street to another (Macatee Drive on the north and Kings Avenue on the south) and has double frontage.
- A site plan has been submitted denoting an "existing building" located on the Macatee Drive front property line, or 15' into the 15' required front yard setback. (No encroachment is proposed in the site's Kings Road 15' front yard setback).
- According to calculations taken by the Board Administrator from the submitted site plan, the area of the structure footprint to be maintained in the site's Macatee Drive 15' front yard setback is approximately 2,500 square feet in area or approximately 1/2 of the approximately 5,400 square foot building footprint.
- According to DCAD records, the "improvement" for property addressed at 2201 Kings Road is a 5,244 square foot "storage warehouse" structure built in 1980.
- The subject site is somewhat sloped down to what appears to be a creekbed, irregular in shape, and (according to the application) is 1.094 acres in area. A portion of the site appears to be located in floodplain. The site is zoned IR (Industrial Research) and PD 193 (Planned Development).
- The applicant has the burden of proof in establishing the following:

- That granting the variance to the Macatee Drive front yard setback regulation will not be contrary to the public interest when, owing to special conditions, a literal enforcement of this chapter would result in unnecessary hardship, and so that the spirit of the ordinance will be observed and substantial justice done.
- The variance is necessary to permit development of the subject site that differs from other parcels of land by being of such a restrictive area, shape, or slope, that the subject site cannot be developed in a manner commensurate with the development upon other parcels of land in districts with the same IR and PD 193 zoning classifications.
- The variance would not be granted to relieve a self created or personal hardship, nor for financial reasons only, nor to permit any person a privilege in developing this parcel of land (the subject site) not permitted by this chapter to other parcels of land in districts with the same IR and PD 193 zoning classifications.
- If the Board were to grant the variance request, subject to the submitted site plan, the structure in the front yard setback would be limited to what is shown on this document– which in this case is a structure located on the front property line or 15’ into the 15’ Macatee Drive front yard setback.
- Note that the applicant is aware that granting his request for a variance to the front yard setback regulations will not provide any relief to any existing/proposed condition on the site that is/would become in noncompliance with the Code’s visual obstruction regulations, or provide relief to any structure located in public right-of-way.

Timeline:

- March 28, 2017: The applicant submitted an “Application/Appeal to the Board of Adjustment” and related documents which have been included as part of this case report.
- May 9, 2017: The Board of Adjustment Secretary assigned this case to Board of Adjustment Panel A. This assignment was made in order to comply with Section 9 (k) of the Board of Adjustment Working Rule of Procedure that states, “If a subsequent case is filed concerning the same request, that case must be returned to the panel hearing the previously filed case”.
- May 9, 2017: The Board Administrator emailed the applicant the following information:
- an attachment that provided the public hearing date and panel that will consider the application; the May 31st deadline to submit additional evidence for staff to factor into their analysis; and the June 9th deadline to submit additional evidence to be incorporated into the Board’s docket materials;
 - the criteria/standard that the board will use in their decision to approve or deny the request; and
 - the Board of Adjustment Working Rules of Procedure pertaining to documentary evidence.

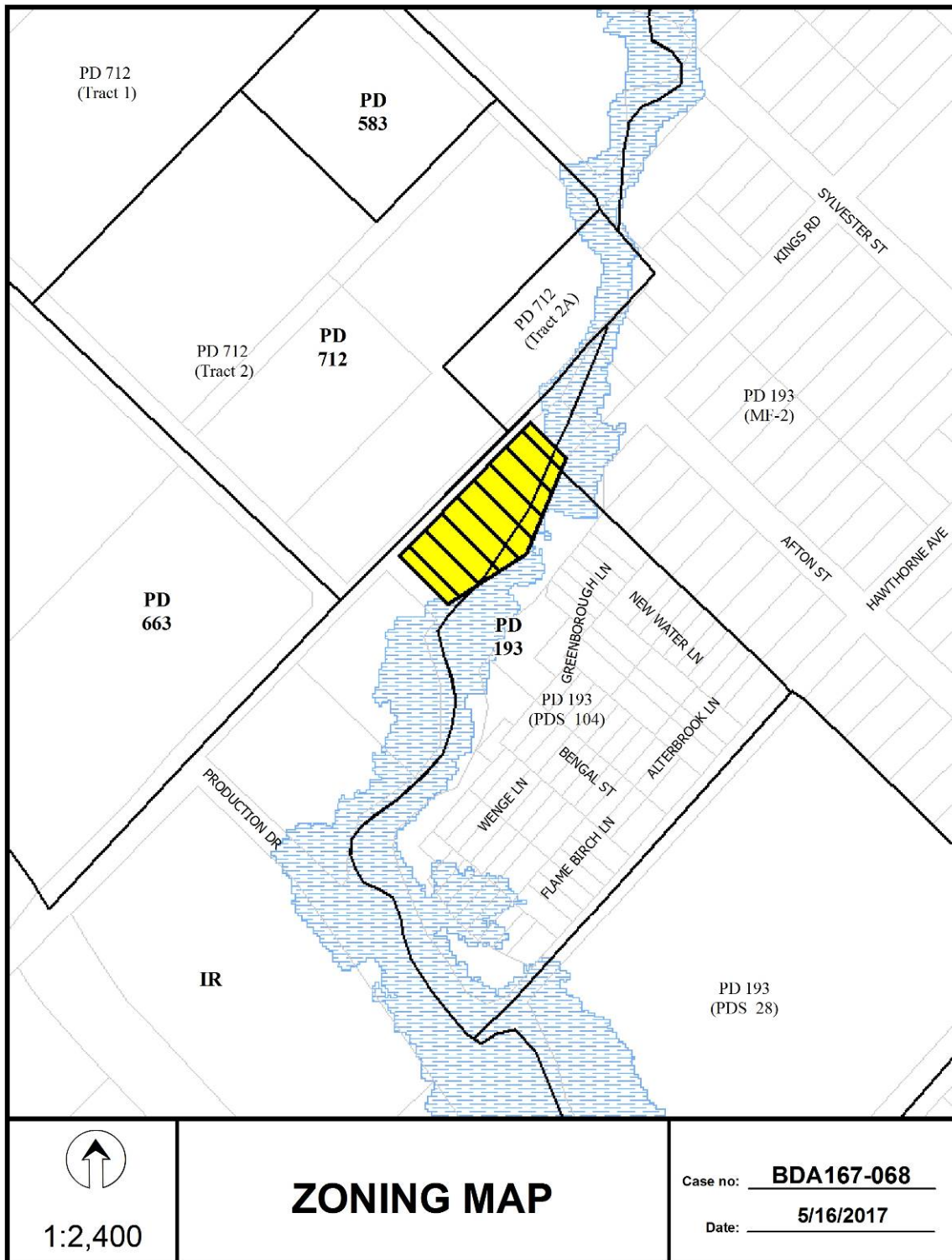
June 5, 2017: The Building Inspection Senior Plans Examiner/Development Code Specialist forwarded a revised Building Official's report to the Board Administrator (see Attachment A).

June 6, 2017: The Board of Adjustment staff review team meeting was held regarding this request and the others scheduled for June public hearings. Review team members in attendance included: the Sustainable Development and Construction Assistant Director of Engineering, the Board of Adjustment Chief Planner, the Board Administrator, the Building Inspection Senior Plans Examiner/Development Code Specialist, the Chief Arborist, the Sustainable Development and Construction Department Senior Planner, and the Assistant City Attorney to the Board.

No review comment sheets were submitted in conjunction with this application.

June 8, 2017: The Board Administrator emailed the applicant the following points discussed at a June 5th meeting:

- the structure on the subject site (2201 Kings Road) appears to be: 1) different from what is represented on your submitted site plan and 2) located in the Macatee Drive public right-of-way;
- the board of adjustment is only able to consider a variance to allow a structure in a required setback and is unable to consider a variance for any structure in public right-of-way; and
- that the applicant would plan to meet with the owner/client and discuss options to address any structure that is located in public right-of-way on this property.




 1:2,400

ZONING MAP

Case no: **BDA167-068**
 Date: **5/16/2017**



1:2,400

AERIAL MAP

Case no: **BDA167-068**

Date: **5/16/2017**

BDA167-068
Attach A

MEMORANDUM OF
ACTION TAKEN BY THE
BOARD OF ADJUSTMENT

Date of Hearing _____

Appeal was--Granted OR Denied

Remarks _____

Chairman

Building Official's Report

I hereby certify that Robert Baldwin

did submit a request for a variance to the front yard setback regulations
at 2201 Kings Road

BDA167-068. Application of Robert Baldwin for a variance to the front yard setback regulations at 2201 Kings Road. This property is more fully described as Lot 25, Block 5743, and is zoned IR and PD 193 (MF-2), which requires a front yard setback of 15 feet. The applicant proposes to construct a nonresidential structure and provide a 0 foot front yard setback, which will require a 15 foot variance to the front yard setback regulation.

Sincerely,

Philip Sikes
Philip Sikes, Building Official



A

APPLICATION/APEAL TO THE BOARD OF ADJUSTMENT

Case No.: BDA 167-068

Data Relative to Subject Property:

Date: March 28, 2017

Location address: 2201 Kings Road Zoning District: IR

Lot No.: 25 Block No.: 5743 Acreage: 1.094 acres Census Tract: 75 4.01

Street Frontage (in Feet): 1) 110ft 2) 461 ft 3) _____ 4) _____ 5) _____

To the Honorable Board of Adjustment :

Owner of Property (per Warranty Deed): Crash, Inc.

Applicant: Rob Baldwin, Baldwin Associates Telephone: 214-824-7949

Mailing Address: 3904 Elm Street Suite B Dallas TX Zip Code: 75226

E-mail Address: rob@baldwinplanning.com

Represented by: Rob Baldwin, Baldwin Associates Telephone: 214-824-7949

Mailing Address: 3904 Elm Street Suite B Dallas TX Zip Code: 75226

E-mail Address: rob@baldwinplanning.com

Affirm that an appeal has been made for a Variance __, or Special Exception __, of 15 feet to the front yard setbacks

Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to grant the described appeal for the following reason: The applicant is seeking permission to maintain an existing structure on the property line. A variance was approved for this property in 2011 (BDA101-011) but the owner did not file for a building permit within 180 days of approval. The shape of the lot and the floodplain create a hardship in maintaining the required setback.

Note to Applicant: If the appeal requested in this application is granted by the Board of Adjustment, a permit must be applied for within 180 days of the date of the final action of the Board, unless the Board specifically grants a longer period.

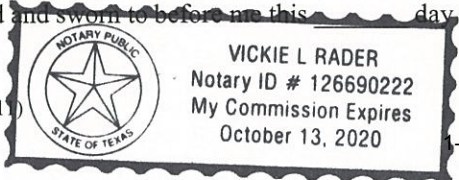
Affidavit

Before me the undersigned on this day personally appeared Robert Baldwin (Affiant/Applicant's name printed)

who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner/or principal/or authorized representative of the subject property.

Respectfully submitted: _____ (Affiant/Applicant's signature)

Subscribed and sworn to before me this 3rd day of April, 2017



Vickie L Rader
Notary Public in and for Dallas County, Texas

MEMORANDUM OF
ACTION TAKEN BY THE
BOARD OF ADJUSTMENT

Date of Hearing _____

Appeal was--Granted OR Denied

Remarks _____

Chairman

Building Official's Report

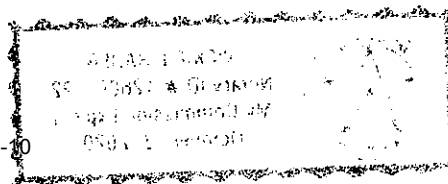
I hereby certify that Robert Baldwin

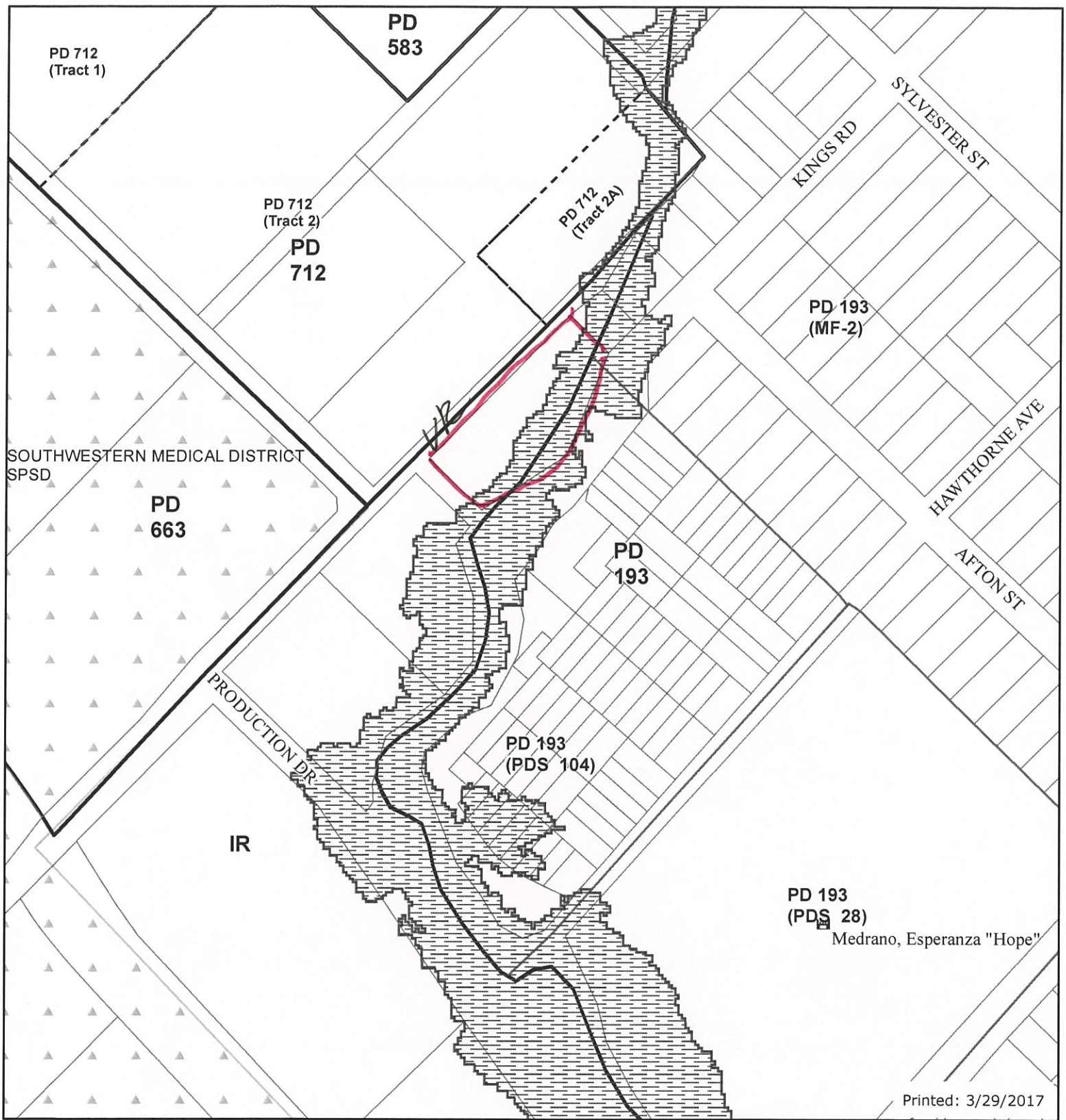
did submit a request for a variance to the front yard setback regulations
at 2201 Kings Road

BDA167-068. Application of Robert Baldwin for a variance to the front yard setback regulations at 2201 Kings Road. This property is more fully described as Lot 25, Block 5743, and is zoned IR, which requires a front yard setback of 15 feet. The applicant proposes to construct a nonresidential structure and provide a 0 foot front yard setback, which will require a 15 foot variance to the front yard setback regulation.

Sincerely,

Philip Sikes
Philip Sikes, Building Official



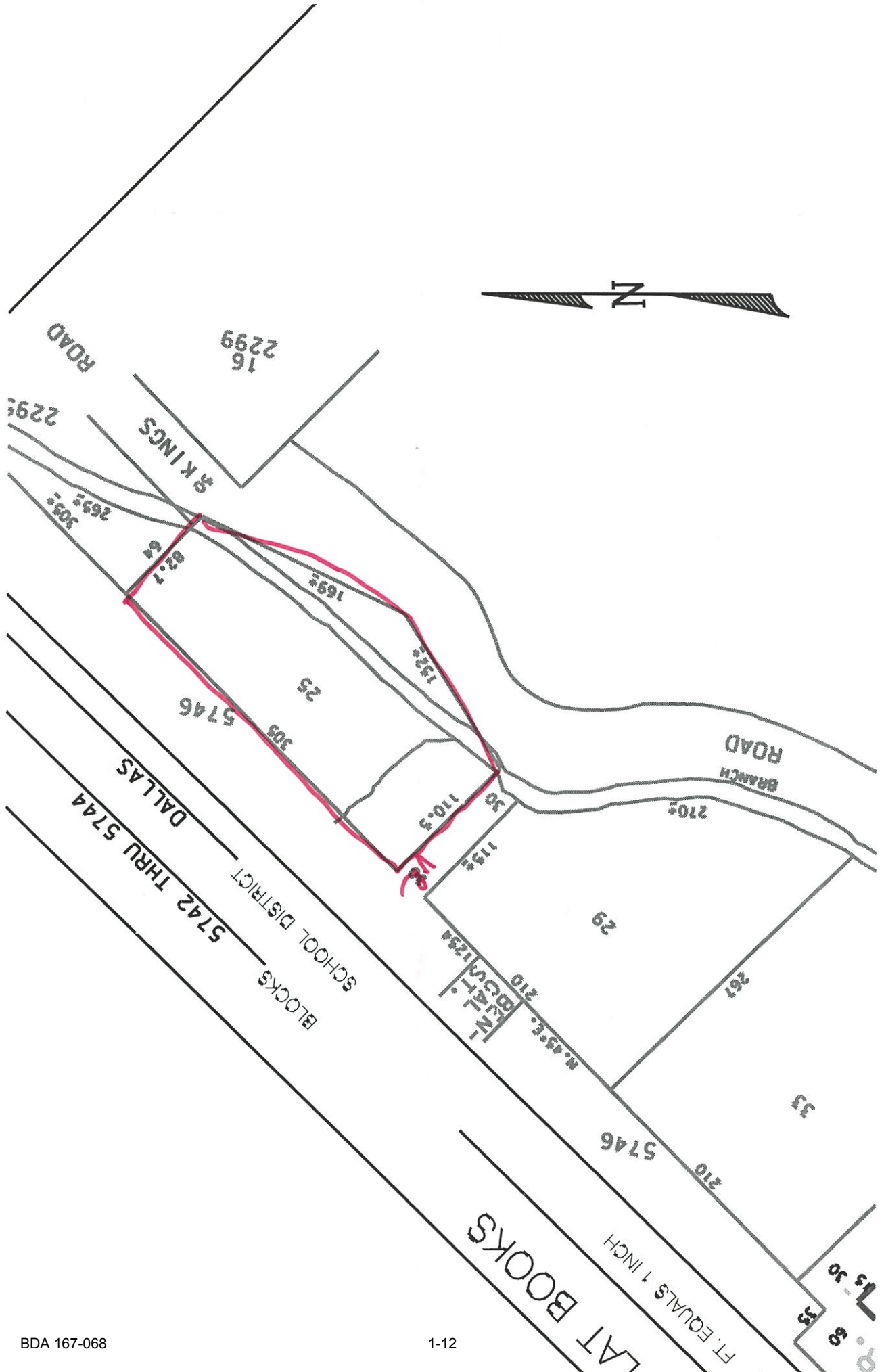


Legend

- | | | | |
|----------------------|--------------------------------|-----------------------|----------------------------|
| City Limits | railroad | Dry Overlay | CD Subdistricts |
| School | Certified Parcels | D | PD Subdistricts |
| Floodplain | Base Zoning | D-1 | PDS Subdistricts |
| 100 Year Flood Zone | PD193 Oak Lawn | CP | NSO Subdistricts |
| Mill's Creek | Dallas Environmental Corridors | SP | NSO_Overlay |
| Peak's Branch | SPSP Overlay | MD Overlay | Escarpment Overlay |
| X Protected by Levee | Deed Restrictions | Historic Subdistricts | Parking Management Overlay |
| Parks | BDA 167-068 SUP | Historic Overlay | 1-11 Shop Front Overlay |
| | | Height Map Overlay | |

This data is to be used for graphical representation only. The accuracy is not to be taken/used as data produced by a Registered Professional Land Surveyor (RPLS) for the State of Texas. 'This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.' (Texas Government Code § 2051.102)





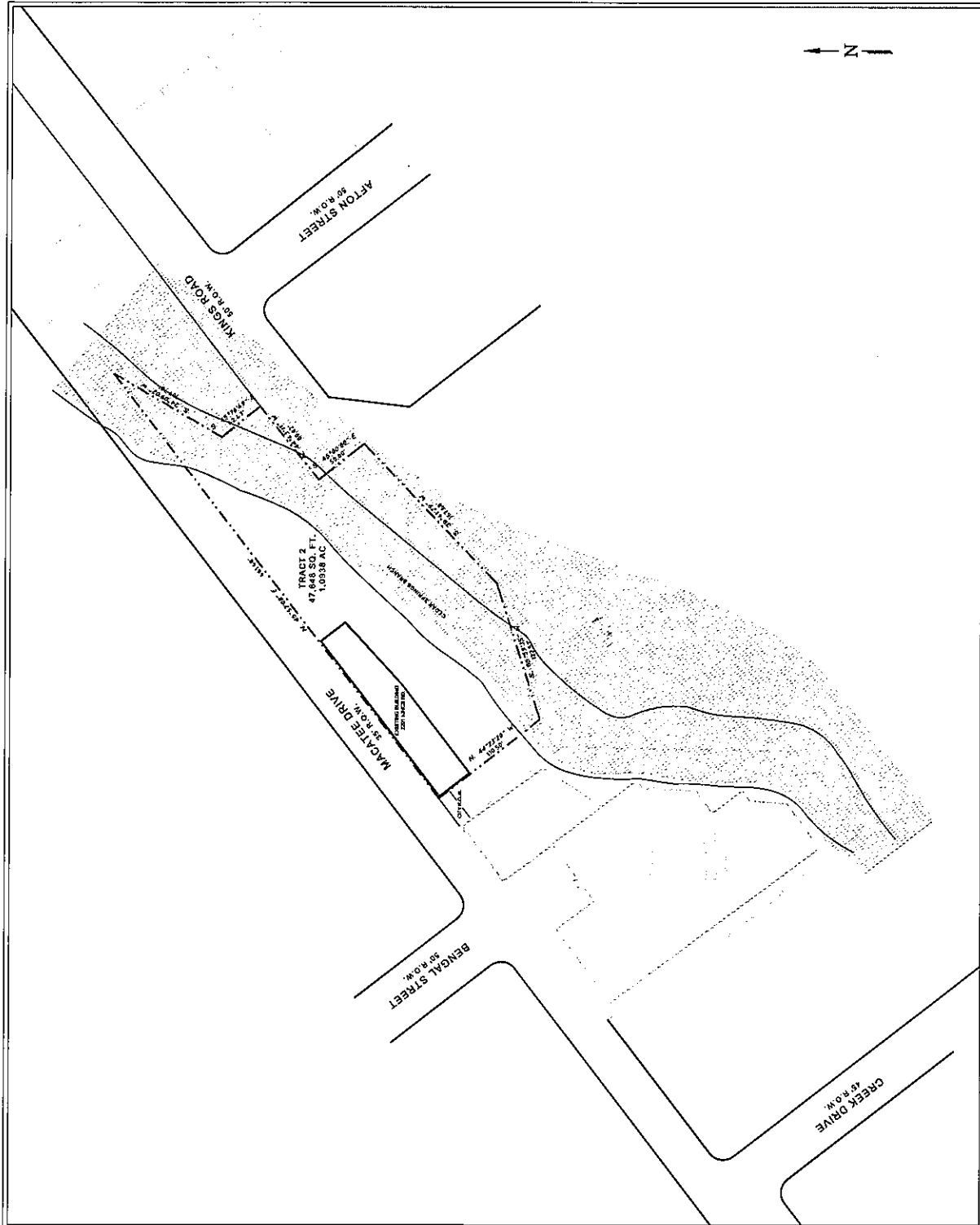
PLAT BOOKS
 FT. EQUALS 1 INCH

SKINGS ROAD
 2295

BRANCH ROAD
 2105

DALLAS SCHOOL DISTRICT
 BLOCKS 5742 THRU 5744

P. 38
 13 30



2201 KINGS ROAD
CITY OF DALLAS, TEXAS

Baldwin Associates 4011 Lyndon B. Johnson Freeway, Suite 2177 Dallas, Texas 75243 Tel: 214-635-1100 Fax: 214-635-1101	DATE: 04/18/11 PROJECT NUMBER: DRAWING NUMBER:
	BALDWIN ASSOCIATES 4011 Lyndon B. Johnson Freeway, Suite 2177 Dallas, Texas 75243 Tel: 214-635-1100 Fax: 214-635-1101



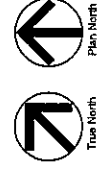
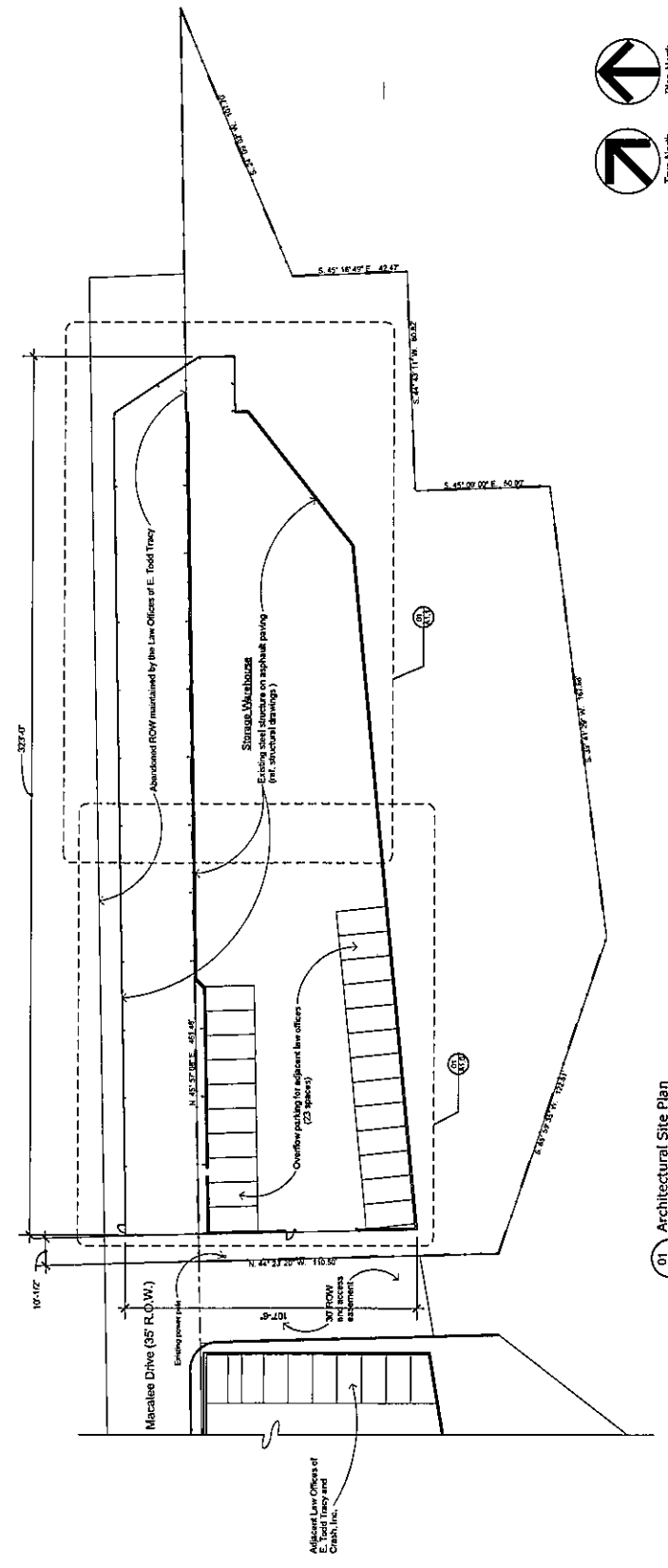
JOHN LEMKE ARCHITECTURE
 P.O. Box 810941
 Richardson, Texas 75083
 214.695.3933

This drawing and the notes are not to be used for any other project or purpose without the written consent of the architect.



ISSUE: 3.17.17
 DRAWN BY: JL
 REVISIONS:

Review Set - Not for Construction



01 Architectural Site Plan
 A0.0 Scale: 1" = 30'-0"

GENERAL NOTES

- All construction shall comply with the current Zoning Ordinance of the City of Dallas, Texas and the 2012 Dallas Building Code.
- The contractor shall examine and become familiar with these drawings and all existing structures and site conditions. All construction shall be based on a thorough knowledge of the zoning ordinance, building codes, materials, and labor required.
- The contractor shall be solely responsible for construction means, methods, techniques, sequences, and procedures required for the safe execution of work, including erecting, setting, maintaining, and supervising all safety precautions and programs in conjunction with the work.
- The contractor shall verify all site dimensions, building setbacks, height restrictions, and all utility locations and easements prior to construction.
- Any errors, omissions, or inconsistencies on these drawings, and any variations or ambiguities between these drawings and existing conditions shall be brought to the attention of the architect immediately.
- The contractor shall verify all dimensions in the field and be responsible for the accuracy and correctness of the same.
- Contractor shall provide material labels/setbacks for all products and materials to be used. Any discrepancy as to what material/product to be used shall be verified with the architect/owner.
- All costs submitted to owner shall represent a thorough understanding of all construction necessary to complete the project to the owner's satisfaction as represented by these plans.
- Contractor assumes all liability, including all costs associated with bringing items to compliance, for all conditions not brought to the attention of the architect prior to construction.

SITE NOTES

- This site plan is for general information and layout only.
- The contractor shall verify site dimensions, building setbacks, height restrictions, and all utility, drainage, landscaping and site easements prior to construction.
- The contractor shall verify the location of existing utilities, and coordinate the installation with the city and all trades involved.
- The contractor shall be responsible for all traps, service connections, and temporary power poles until the final punch list has been completed and a certificate of occupancy has been issued.
- The contractor shall direct all underground and surface drainage and downspout discharge per local code.
- Refer to Structural drawings for all slab structure and foundation modifications and repairs.
- The contractor shall repair and clean any sidewalks, drives, and curbs damaged during construction.
- Fence and gate construction shall be per local code.

PROJECT TEAM

OWNER/CONTRACTOR	ARCHITECT	STRUCTURAL ENGINEER
Law Offices of E. Todd Tracy 1007 Park 630841 Dallas, Texas 75235 T: 817.684.9900 Contact: John Lemke jrl@johnlemke.com	John Lemke Architecture 1007 Park 630841 Dallas, Texas 75235 T: 214.695.3933 Contact: John Lemke jrl@johnlemke.com	BC Structural Engineers, LLC 1007 Park 630841 Dallas, Texas 75235 T: 214.695.1517 Contact: Steven Be sbe@bcstructural.com

ZONING INFORMATION

Zoning: PD 62 (Industrial Research)

BUILDING CODE INFORMATION

Warehouse
 28,871 S.F.
 I-2
 Construction Type: No
 Sprinklered: No

SHEET INDEX

Architectural	
A0.0	Site Plan/General Notes
A1.0	Floor Plan (west side)
A1.1	Floor Plan (east side)
A2.0	Elevations and Roof Plan
Structural	
S-0	General Notes
S-1	Foundation Plan
S-2	As-Built Framing Plan

Site Plan/General Notes

As-Built Plans for the
 Law Offices of E. Todd Tracy
 Back Warehouse
 4701 Bengel Drive
 Dallas, Texas 75235
 Crash, Inc.

A0.0



JOHN LEMKE
ARCHITECTURE
P.O. Box 830941
Richardson, Texas 75083
214.695.3933

The design and drawings are the property of JOHN LEMKE ARCHITECTURE and shall remain the property of JOHN LEMKE ARCHITECTURE unless otherwise indicated on drawings or written permission.



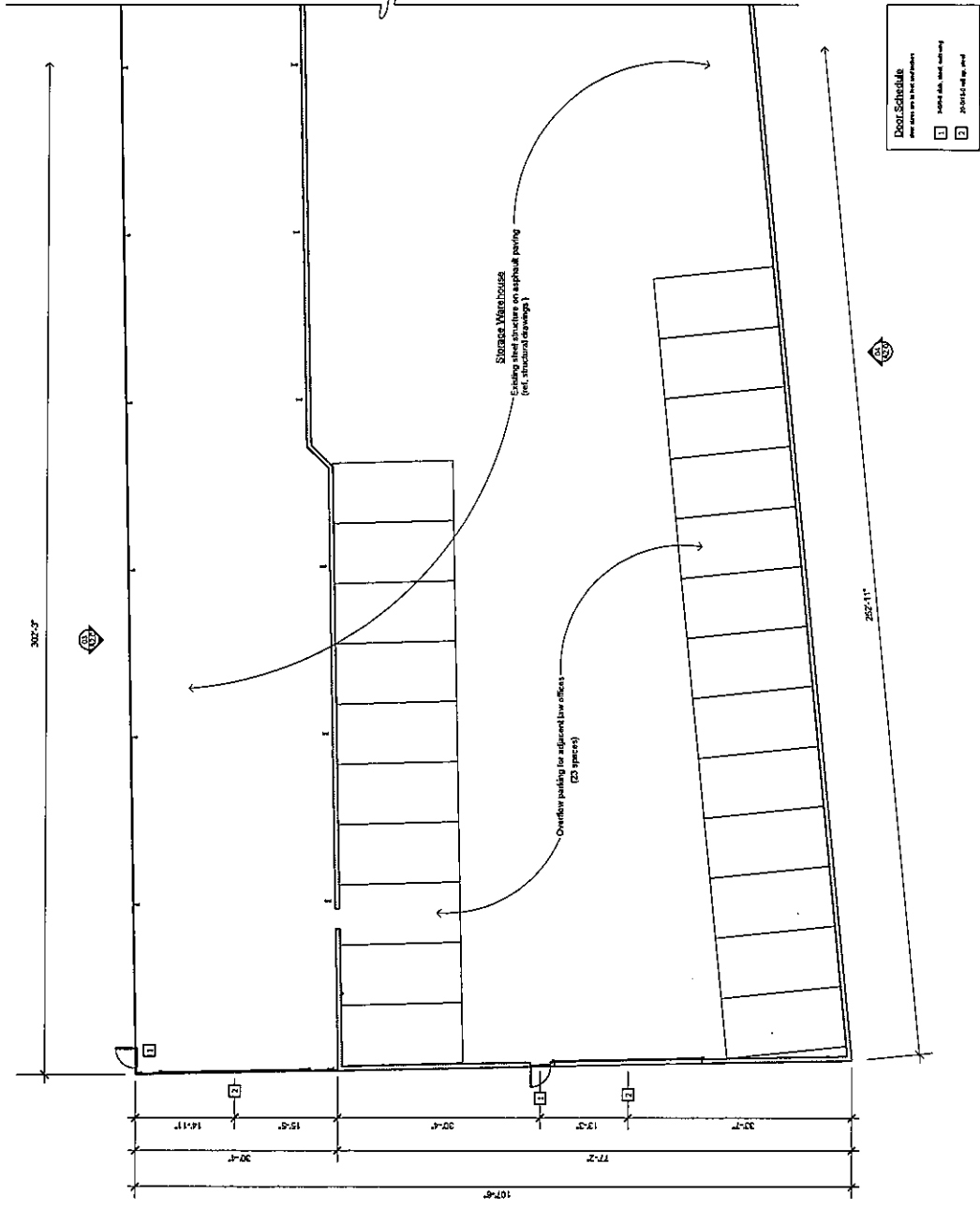
ISSUE: 3.17.17
DRAWN BY: JL
REVISIONS:

As-Built Plans for the
Law Offices of E. Todd Tracy
Crash, Inc.
Back Warehouse
4701 Bengal Drive
Dallas, Texas 75235

Building 1 Floor Plan

A1.0

Review Set - Not for Construction



A1.0 Floor Plan - left side
Scale: 1/8" = 1'-0"



JOHN LEMKE
ARCHITECTURE
P.O. Box 830941
Richardson, Texas 75083
214.695.3933

This is a design and construction document prepared by the architect and is not to be used for any other purpose without the written consent of the architect.



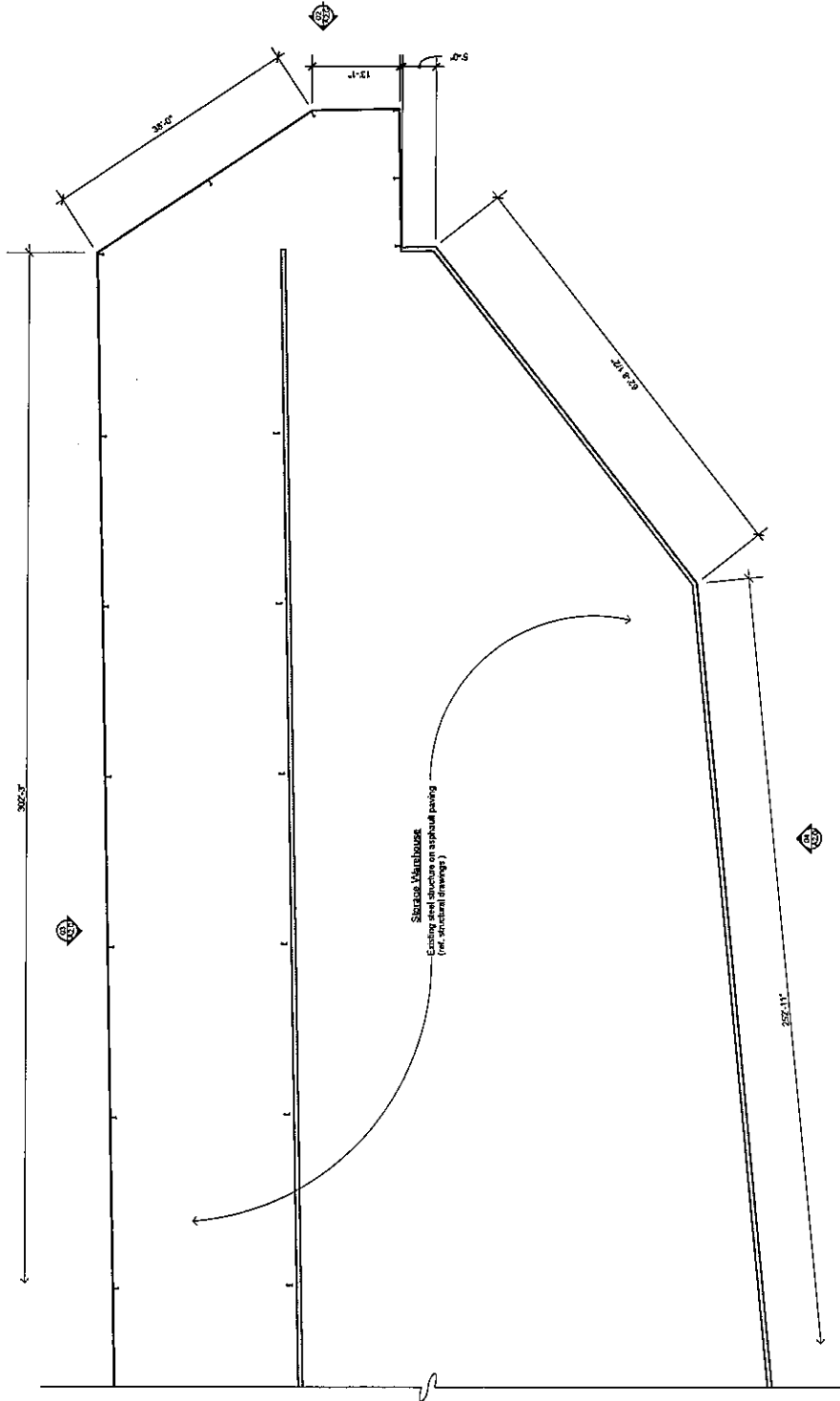
ISSUE: 3.17.17
DRAWN BY: JL
REVISIONS:

As-Built Plans for the
Law Offices of E. Todd Tracy
Crash, Inc.
Back Warehouse
4701 Bengal Drive
Dallas, Texas 75235

Building 2 Floor Plan

A1.1

Review Set - Not for Construction



01 Floor Plan - Building 2
A1.1 Scale: 3/8" = 1'-0"



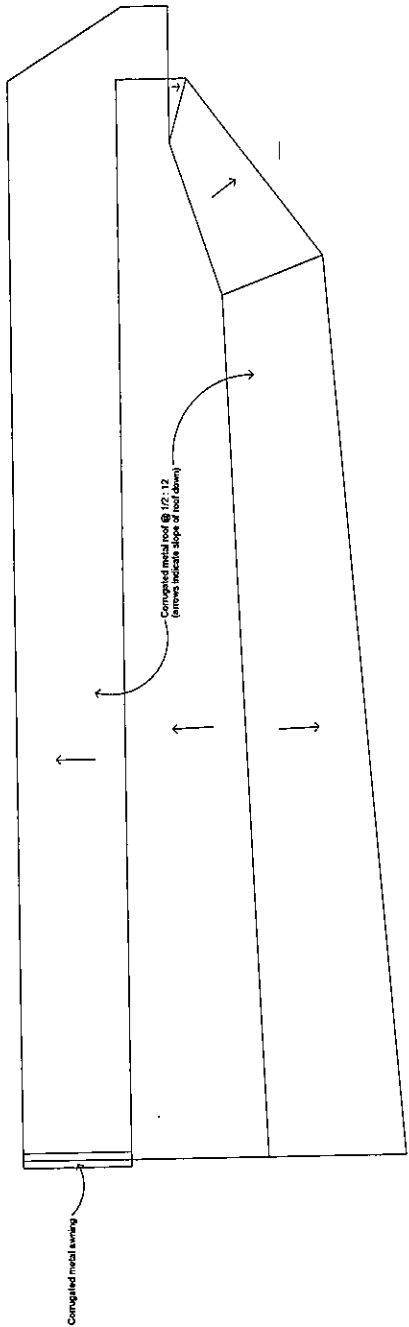
ISSUE: 3.17.17
 DRAWN BY: JL
 REVISIONS:

Crash, Inc.
 As-Built Plans for the
 Law Offices of E. Todd Tracy
 Back Warehouse
 4701 Bengal Drive
 Dallas, Texas 75235

Elevations and Roof Plan

A2.0

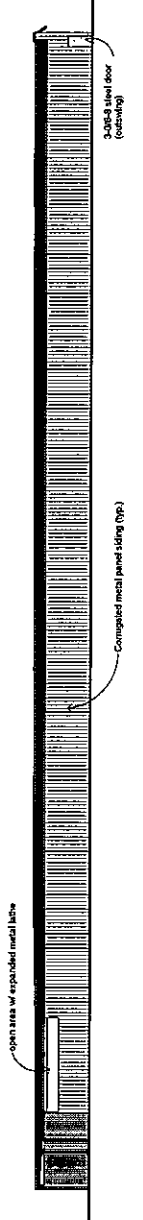
Review Set - Not for Construction



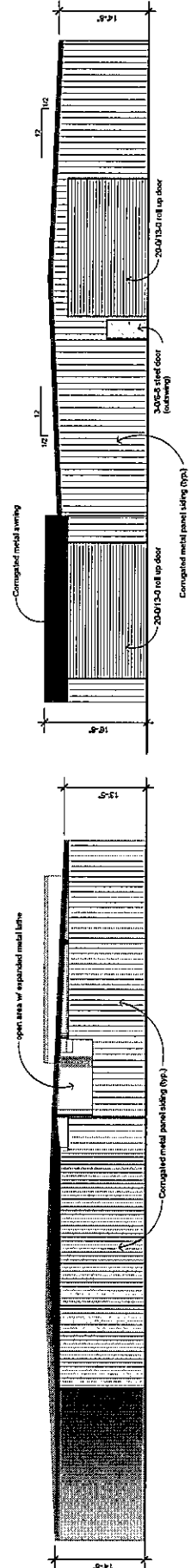
05 Roof Plan
 Scale: 1/16" = 1'-0"



04 South Elevation
 Scale: 1/16" = 1'-0"

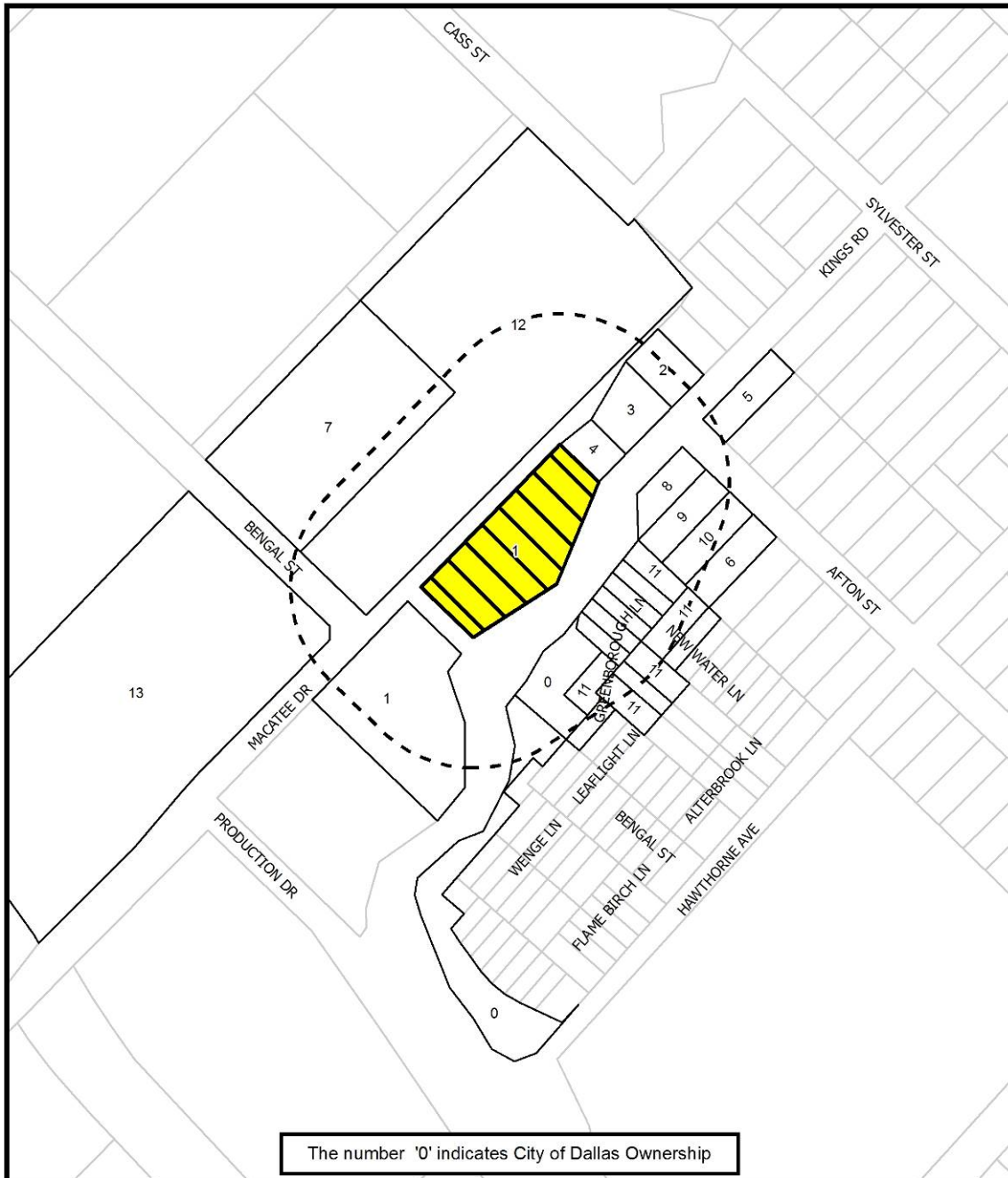


03 North Elevation
 Scale: 1/16" = 1'-0"



02 East Elevation
 Scale: 1/8" = 1'-0"

01 West Elevation
 Scale: 1/8" = 1'-0"



1:2,400

NOTIFICATION

200'

AREA OF NOTIFICATION

13

NUMBER OF PROPERTY OWNERS NOTIFIED

Case no: **BDA167-068**

Date: **5/16/2017**

Notification List of Property Owners

BDA167-068

13 Property Owners Notified

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
1	2201 KINGS RD	CRASH INC
2	2330 KINGS RD	STEIN ALEX
3	2251 KINGS RD	SINGER ARTURO
4	2200 KINGS RD	ODONNELL AUDREY L
5	4634 AFTON ST	KEMP JACK
6	4623 AFTON ST	NGUYEN VAN NGOC
7	4722 BENGAL ST	FOSTER M POOLE JR
8	4637 AFTON ST	NGUYEN DIEM TRANG HOANG
9	4633 AFTON ST	NGO HUNG VI &
10	4629 AFTON ST	NGUYEN MINH & MAILAN PHAM
11	2201 LOST TRL	TEXAS INTOWNHOMES LLC
12	4700 BENGAL ST	TCF INTERESTS PARTNERSHIP LTD
13	4707 BENGAL ST	RONALD MCDONALD HOUSE OF

FILE NUMBER: BDA167-069(SL)

BUILDING OFFICIAL'S REPORT: Application of Robert Baldwin, represented by Rob Baldwin of Baldwin and Associates, for a variance to the front yard setback regulations at 4701 Bengal Street. This property is more fully described as Lot 29, Block 5743, and is zoned IR, which requires a front yard setback of 15 feet. The applicant proposes to construct and/or maintain a structure and provide a 0 foot front yard setback, which will require a 15 foot variance to the front yard setback regulations.

LOCATION: 4701 Bengal Street

APPLICANT: Robert Baldwin
Represented by Rob Baldwin of Baldwin and Associates

REQUEST:

A request for a variance to the front yard setback regulations of 15' is made to maintain an existing auto storage/shed structure, part of which is located in the site's 15' Macatee Drive front yard setback. (Note that although the subject site is developed with two structures in the 15' Macatee Drive front yard setback, the applicant is only making application for variance to what is described as the "new structure to be varied" on the site plan, and not to what is described as the "building not a part of application – existing single story metal building 24,517 SQ. FT." on this plan).

The applicant has represented that this application is only made because the owner failed to apply for a building permit within 6 months of the previous variance that was granted on this site by Board of Adjustment Panel A in May of 2011 (BDA101-040), and that there is no material change to the conditions that triggered the need for the variance at that time.

STANDARD FOR A VARIANCE:

The Dallas Development Code Section 51A-3.102(d)(10) specifies that the board has the power to grant variances from the front yard, side yard, rear yard, lot width, lot depth, lot coverage, floor area for structures accessory to single family uses, height, minimum sidewalks, off-street parking or off-street loading, or landscape regulations provided that the variance is:

- (A) not contrary to the public interest when, owing to special conditions, a literal enforcement of this chapter would result in unnecessary hardship, and so that the spirit of the ordinance will be observed and substantial justice done;
- (B) necessary to permit development of a specific parcel of land that differs from other parcels of land by being of such a restrictive area, shape, or slope, that it cannot be developed in a manner commensurate with the development upon other parcels of land with the same zoning; and

(C) not granted to relieve a self created or personal hardship, nor for financial reasons only, nor to permit any person a privilege in developing a parcel of land not permitted by this chapter to other parcels of land with the same zoning.

STAFF RECOMMENDATION:

Approval, subject to the following condition:

- Compliance with the submitted site plan is required.

Rationale:

- The applicant has substantiated how the variance is necessary to permit development of the site which is different from other lots by its irregular shape, its slope, and restrictive area caused by the floodplain on property.

BACKGROUND INFORMATION:

Zoning:

Site: IR (Industrial Research)
North: PD No. 663 & 712 (Planned Development)
South: PD No. 193 (Planned Development)
East: IR (Industrial Research)
West: IR (Industrial Research)

Land Use:

The subject site is developed with what appears to be an auto storage/shed and a garage/office structure. The area to the north is developed with multifamily use and undeveloped land; the area to the east is developed with commercial use; the area to the south appears to be undeveloped; and the area to the west is developed with commercial/office uses.

Zoning/BDA History:

- | | |
|--|--|
| 1. BDA167-068, Property at 2201 Kings Road (the property to the north and east of the subject site) | On June 20, 2017, the Board of Adjustment Panel A will consider a request for a variance to the front yard setback regulations of 15' in conjunction with a maintaining a structure in one of two front yard setbacks on the site. Note that the applicant for BDA167-068 is the same as the applicant for BDA167-069. |
| 2. BDA101-040, Property at 4701 Bengal Street(the subject site) | On May 17, 2011, the Board of Adjustment Panel A granted a request for a variance to the front yard setback regulations of 15' and |

imposed the submitted site plan as a condition to the request.

The case report stated the request was made to maintain an existing auto storage/shed structure, part of which was located in the 15' Macatee Drive front yard setback

3. BDA 101-011, Property at 2201 Kings Road (the property to the north and east of the subject site)

On May 17, 2011, the Board of Adjustment Panel A granted a request for a variance to the front yard setback regulations of 15' and imposed the submitted site plan as a condition to the request.

The case report stated the request was made to maintain an existing auto storage/shed structure, part of which was located in one of the site's two 15' front yard setbacks (Macatee Drive). (No portion of the request is made in this application to construct/maintain any portion of a structure in the site's Kings Road front yard setback).

GENERAL FACTS /STAFF ANALYSIS:

- The request for a variance to the front yard setback regulations of 15' focuses on maintaining an existing auto storage/shed structure that is located on site's Macatee Drive front property line or 15' into this 15' front yard setback.
- The minimum front yard setback for lots zoned IR is 15 feet.
- A site plan has been submitted denoting two structures located in the site's 15' front yard setback. However, this site plan specifically notes that only one of these two structures is "to be varied" – that being the structure denoted on this plan as "new structure to be varied" that is located on the site's front property line or 15' into the 15' required front yard setback on Macatee Drive. (The site plan denotes the other structure in the Macatee Drive front yard setback as "Building not a part of application – existing single story metal building 24,517 sq.ft").
- According to calculations taken by the Board Administrator from the submitted site plan, the area of the structure footprint to be varied/maintained in the site's 15' Macatee Drive front yard setback is approximately 900 square feet in area or approximately 16 percent of the approximately 5,700 square foot building footprint.
- According to DCAD records, the "improvement" for property addressed at 4701 Bengal Street is a 20,800 square foot "office showroom" structure built in 1964.
- The subject site is somewhat sloped down to what appears to be a creekbed, irregular in shape, and (according to the application) is 39,552 square feet in area. (Note that according to the submitted site plan, the site or "Tract 1" is 47,148 square

feet or 1.082 acres in area). A portion of the site appears to be located in floodplain. The site is zoned IR (Industrial Research).

- The applicant has the burden of proof in establishing the following:
 - That granting the variance to the Macatee Drive front yard setback regulation will not be contrary to the public interest when, owing to special conditions, a literal enforcement of this chapter would result in unnecessary hardship, and so that the spirit of the ordinance will be observed and substantial justice done.
 - The variance is necessary to permit development of the subject site that differs from other parcels of land by being of such a restrictive area, shape, or slope, that the subject site cannot be developed in a manner commensurate with the development upon other parcels of land in districts with the same IR zoning classification.
 - The variance would not be granted to relieve a self created or personal hardship, nor for financial reasons only, nor to permit any person a privilege in developing this parcel of land (the subject site) not permitted by this chapter to other parcels of land in districts with the same IR zoning classification.
- If the Board were to grant the variance request, subject to the submitted site plan, the structure in the front yard setback would be limited to what is shown on this document– which in this case is one of two structures (the structure on this site plan marked “new structure to be varied”) located on the front property line or 15’ into the 15’ Macatee Drive front yard setback.
- Note that the applicant is aware that granting his request for a variance to the front yard setback regulations will not provide any relief to any existing/proposed condition on the site that is/would become in noncompliance with the Code’s visual obstruction regulations.

Timeline:

March 28, 2017: The applicant submitted an “Application/Appeal to the Board of Adjustment” and related documents which have been included as part of this case report.

May 9, 2017: The Board of Adjustment Secretary assigned this case to Board of Adjustment Panel A. This assignment was made in order to comply with Section 9 (k) of the Board of Adjustment Working Rule of Procedure that states, “If a subsequent case is filed concerning the same request, that case must be returned to the panel hearing the previously filed case”.

May 9, 2017: The Board Administrator emailed the applicant the following information:

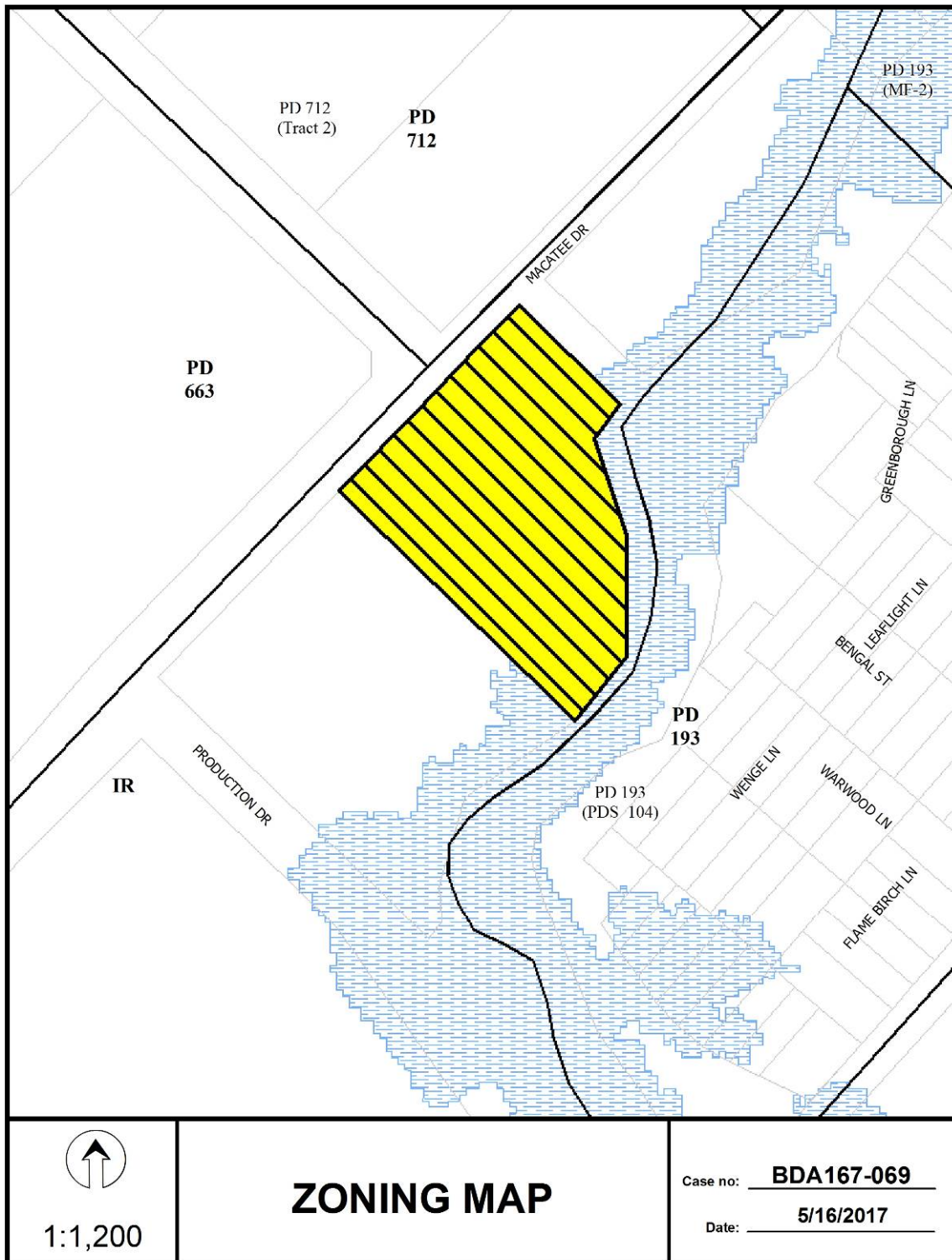
- an attachment that provided the public hearing date and panel that will consider the application; the May 31st deadline to submit additional evidence for staff to factor into their analysis; and the June 9th deadline to submit additional evidence to be incorporated into the Board’s docket materials;

- the criteria/standard that the board will use in their decision to approve or deny the request; and
- the Board of Adjustment Working Rules of Procedure pertaining to documentary evidence.

June 6, 2017:

The Board of Adjustment staff review team meeting was held regarding this request and the others scheduled for June public hearings. Review team members in attendance included: the Sustainable Development and Construction Assistant Director of Engineering, the Board of Adjustment Chief Planner, the Board Administrator, the Building Inspection Senior Plans Examiner/Development Code Specialist, the Chief Arborist, the Sustainable Development and Construction Department Senior Planner, and the Assistant City Attorney to the Board.

No review comment sheets were submitted in conjunction with this application.





1:1,200

AERIAL MAP

Case no: **BDA167-069**

Date: **5/16/2017**



A

APPLICATION/APEAL TO THE BOARD OF ADJUSTMENT

Case No.: BDA 167-069

Data Relative to Subject Property:

Date: March 28, 2017

Location address: 4701 Bengal St. Zoning District: IR

Lot No.: 29 Block No.: 5743 Acreage: 39,552 sf Census Tract: 75 4.01

Street Frontage (in Feet): 1) 113 ft 2) 216 ft 3) 4) 5)

To the Honorable Board of Adjustment :

Owner of Property (per Warranty Deed): Crash, Inc.

Applicant: Rob Baldwin, Baldwin Associates Telephone: 214-824-7949

Mailing Address: 3904 Elm Street Suite B Dallas TX Zip Code: 75226

E-mail Address: rob@baldwinplanning.com

Represented by: Rob Baldwin, Baldwin Associates Telephone: 214-824-7949

Mailing Address: 3904 Elm Street Suite B Dallas TX Zip Code: 75226

E-mail Address: rob@baldwinplanning.com

Affirm that an appeal has been made for a Variance, or Special Exception, of 15 feet to the front yard setbacks

Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to grant the described appeal for the following reason:

The applicant is seeking permission to maintain an existing structure on the property line. A variance was approved for this property in 2011 (BDA101-011) but the owner did not file for a building permit within 180 days of approval. The shape of the lot and the floodplain create a hardship in maintaining the required setback.

Note to Applicant: If the appeal requested in this application is granted by the Board of Adjustment, a permit must be applied for within 180 days of the date of the final action of the Board, unless the Board specifically grants a longer period.

Affidavit

Before me the undersigned on this day personally appeared Robert Baldwin (Affiant/Applicant's name printed)

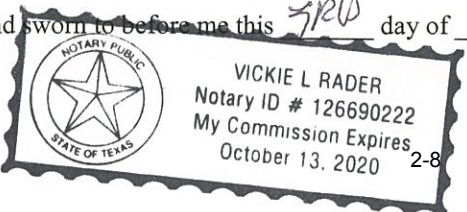
who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner/or principal/or authorized representative of the subject property.

Respectfully submitted: [Signature] (Affiant/Applicant's signature)

Subscribed and sworn to before me this 31st day of April, 2017

(Rev. 08-01-11)

BDA 156-069



[Signature] Notary Public in and for Dallas County, Texas

MEMORANDUM OF
ACTION TAKEN BY THE
BOARD OF ADJUSTMENT

Date of Hearing _____

Appeal was--Granted OR Denied

Remarks _____

Chairman

Building Official's Report

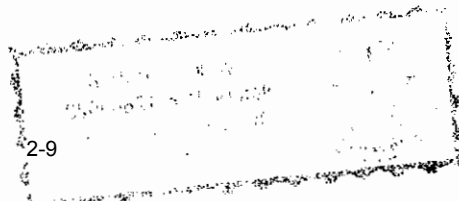
I hereby certify that Robert Baldwin

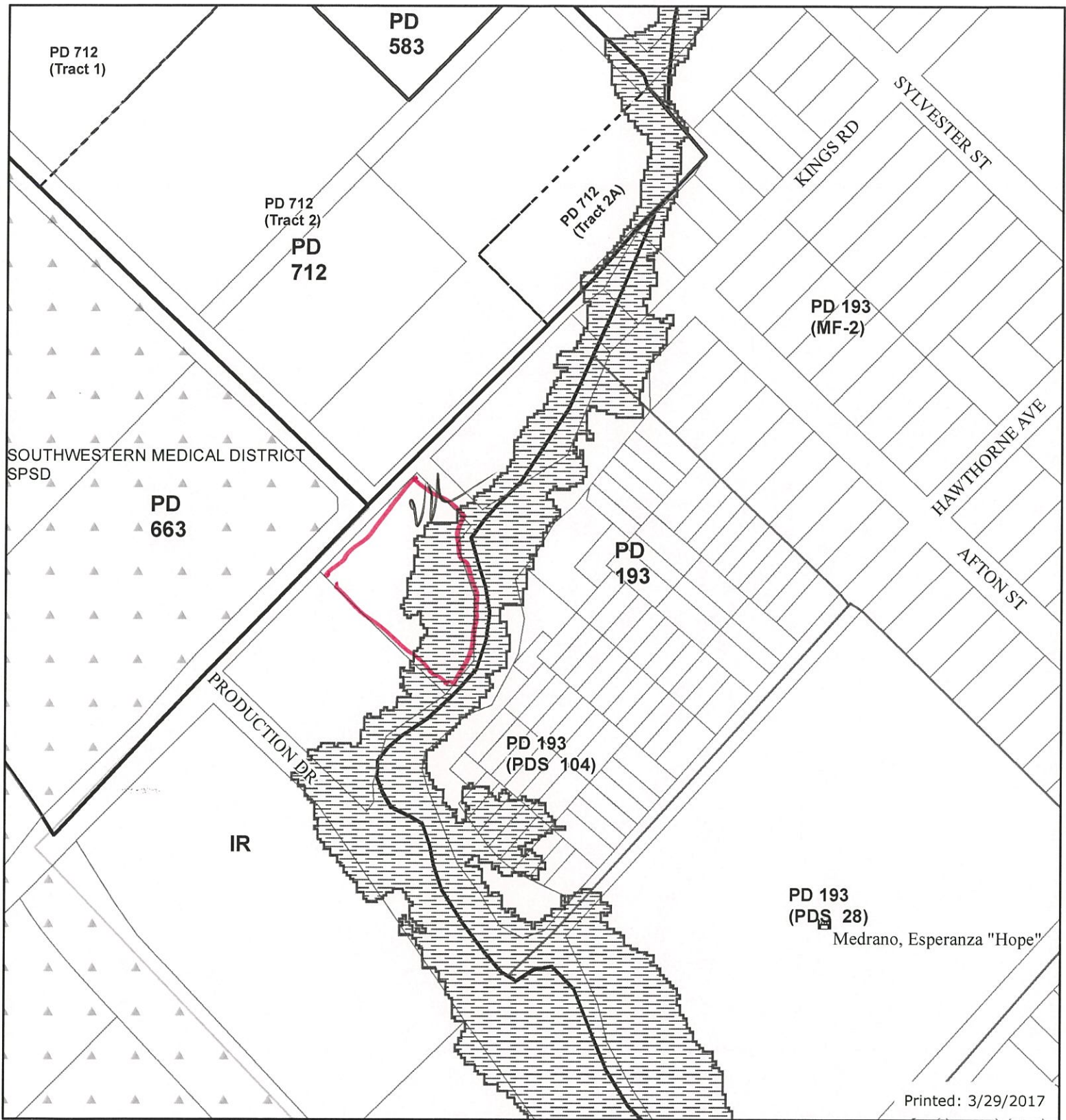
did submit a request for a variance to the front yard setback regulations
at 4701 Bengal Street

BDA167-069. Application of Robert Baldwin for a variance to the front yard setback regulations at 4701 Bengal Street. This property is more fully described as Lot 29, Block 5743, and is zoned IR, which requires a front yard setback of 15 feet. The applicant proposes to construct a nonresidential structure and provide a 0 foot front yard setback, which will require a 15 foot variance to the front yard setback regulation.

Sincerely,

Philip Sikes
Philip Sikes, Building Official





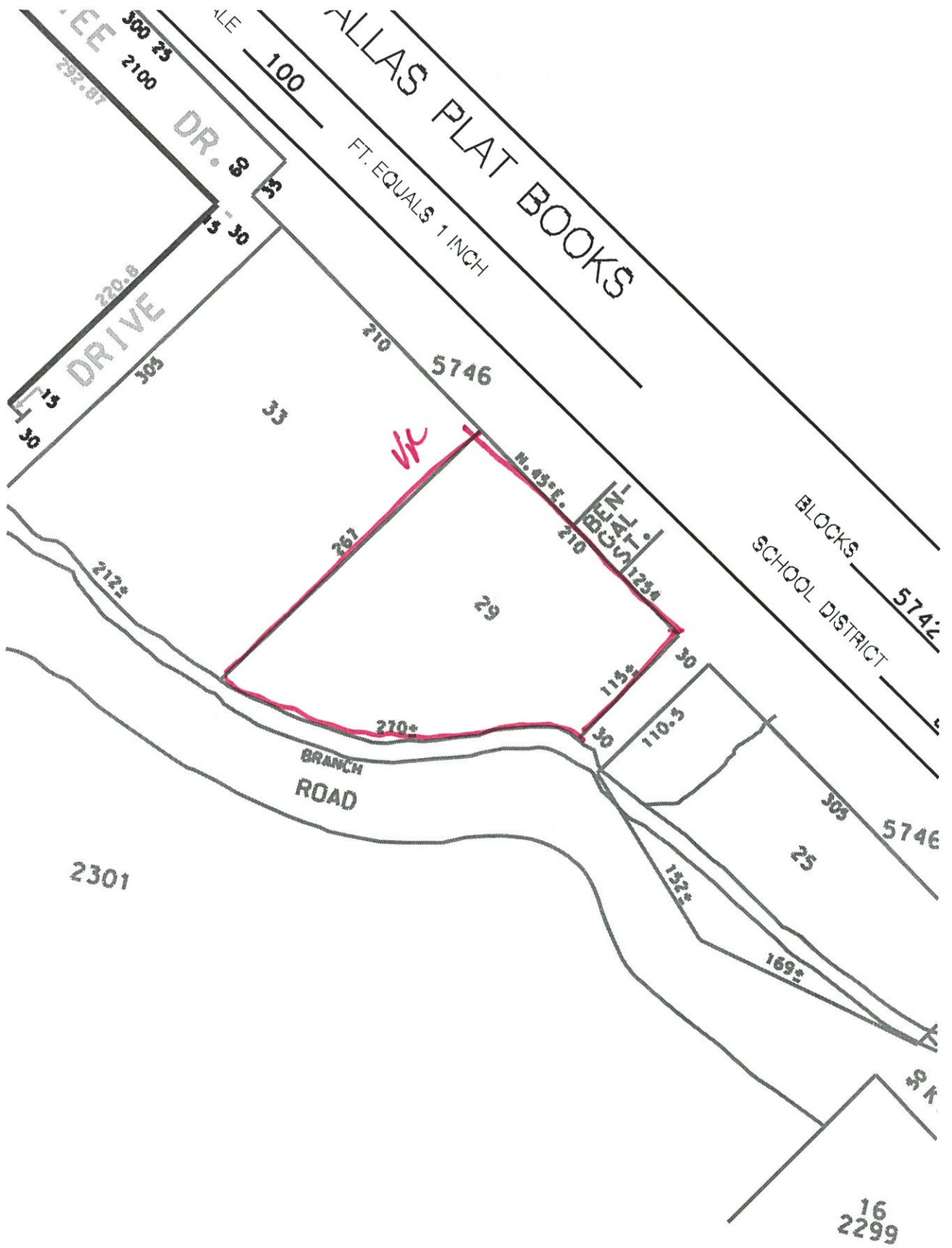
Printed: 3/29/2017

Legend

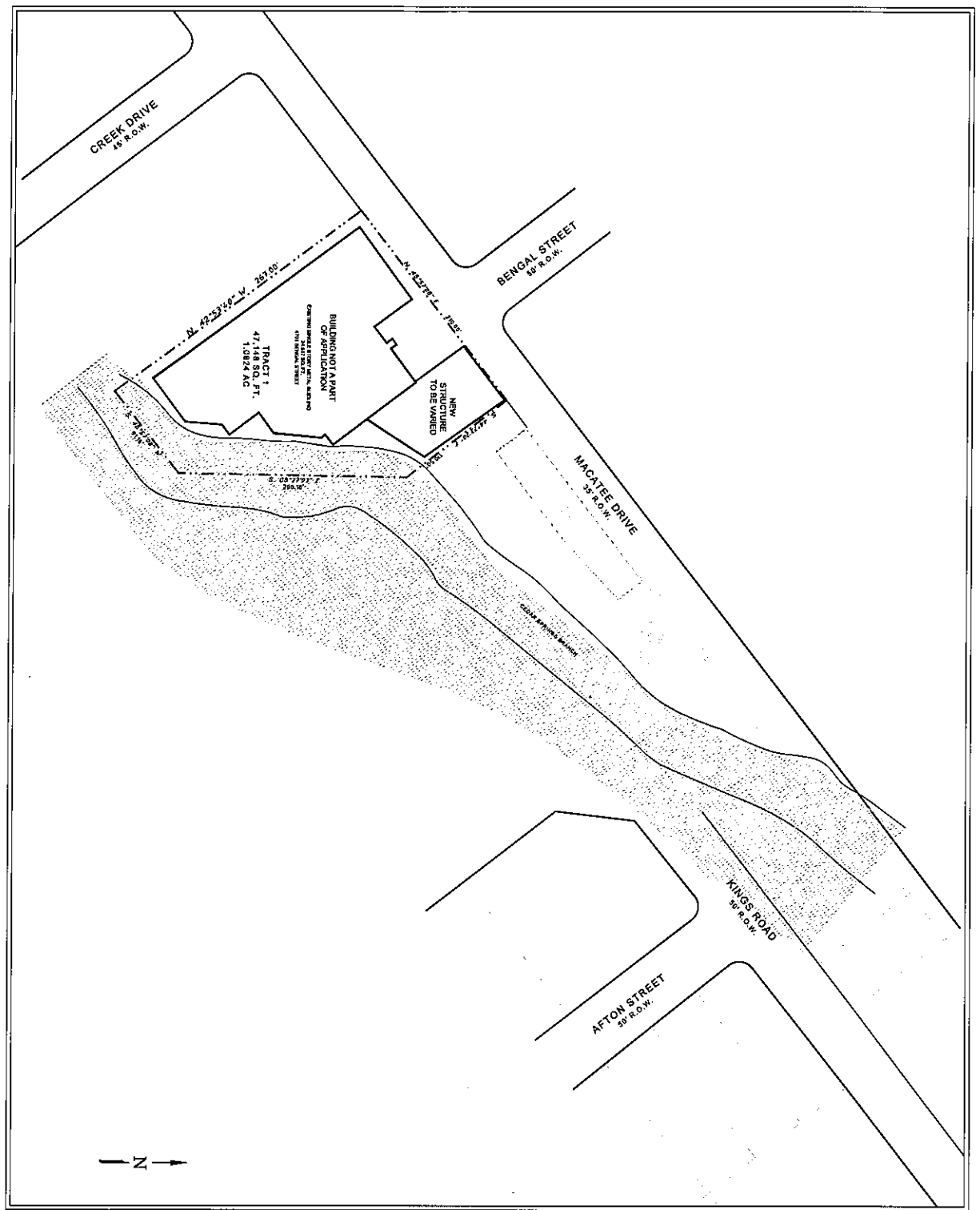
- | | | | |
|----------------------|--------------------------------|-----------------------|----------------------------|
| City Limits | railroad | Dry Overlay | CD Subdistricts |
| School | Certified Parcels | D | PD Subdistricts |
| Floodplain | Base Zoning | D-1 | PDS Subdistricts |
| 100 Year Flood Zone | PD193 Oak Lawn | CP | NSO Subdistricts |
| Mill's Creek | Dallas Environmental Corridors | SP | NSO_Overlay |
| Peak's Branch | SPSP Overlay | MD Overlay | Escarpment Overlay |
| X Protected by Levee | Deed Restrictions | Historic Subdistricts | Parking Management Overlay |
| Parks | BDA 156-069 SUP | Historic Overlay | 2-10 Shop Front Overlay |
| | | Height Map Overlay | |

This data is to be used for graphical representation only. The accuracy is not to be taken/used as data produced by a Registered Professional Land Surveyor (RPLS) for the State of Texas. 'This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.' (Texas Government Code § 2051.102)





1 SITE PLAN
SCALE: 1" = 40'



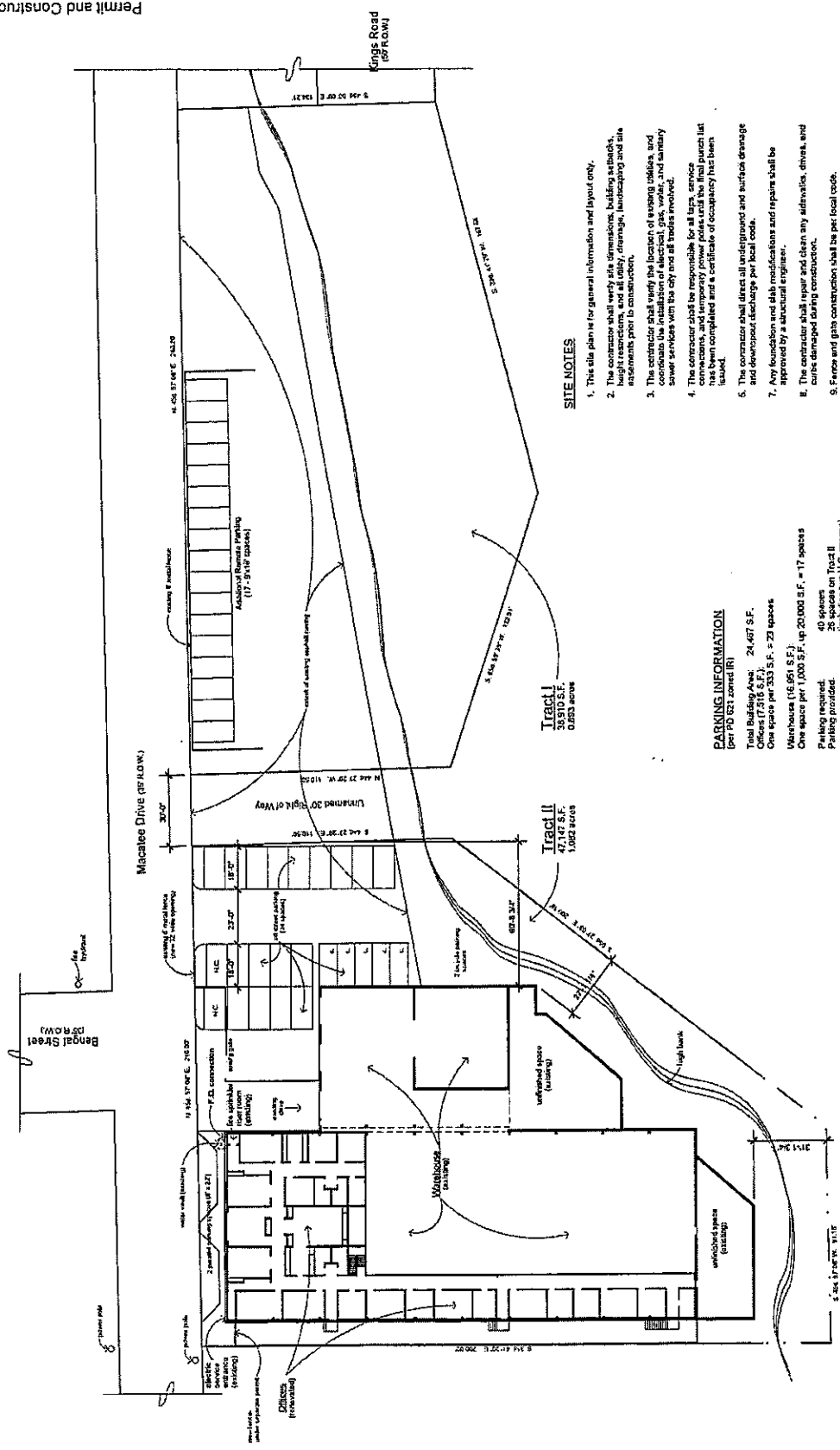
Baldwin Associates	BALDWIN ASSOCIATES 1010 Ross Avenue Suite 2100 Dallas, Texas 75202 214.760.1100 www.baldwinassociates.com	DATE: 10/11/11 BY: B. J. B.
	PROJECT: 4701 BENGAL STREET CITY OF DALLAS, TEXAS	

4701 BENGAL STREET
CITY OF DALLAS, TEXAS

156-069



Permit and Construction Set



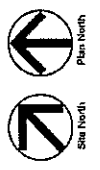
- SITE NOTES**
1. This site plan is for general information and layout only.
 2. The contractor shall verify site dimensions, building setbacks, height restrictions, and all utility, drainage, landscaping and site accessories prior to construction.
 3. The contractor shall verify the location of existing utilities and structures with the city and all trades involved.
 4. The contractor shall be responsible for all legal, service and utility work and shall obtain all necessary permits and licenses. All work has been completed and a certificate of occupancy has been issued.
 5. The contractor shall direct all underground and surface drainage and downspout discharge per local code.
 6. Any foundation and slab modifications and repairs shall be approved by a structural engineer.
 7. The contractor shall repair and clean any driveways, drives, and curbs damaged during construction.
 8. Fence and gate construction shall be per local code.

PARKING INFORMATION
 Per PD 021 Zoned (R)

Total Building Area: 24,487 S.F.
 Offices (7,316 S.F.)
 One space per 333 S.F. = 23 spaces

Warehouse (16,851 S.F.)
 One space per 1,000 S.F. = 17 spaces

Parking required: 40 spaces
 Parking provided: 35 spaces on Tract II (including two (2) C spaces) (10 spaces on Tract I) (vehicle parking)
 43 Total spaces provided



01 Architectural Site Plan
 Scale: 1" = 20'-0"



**JOHN LEMKE
ARCHITECTURE**
P.O. Box 83941
Dallas, Texas 75283
214.695.3333

This drawing and the building depicted herein are the property of JOHN LEMKE ARCHITECTURE and may not be reproduced or used in any way without the written permission of JOHN LEMKE ARCHITECTURE.

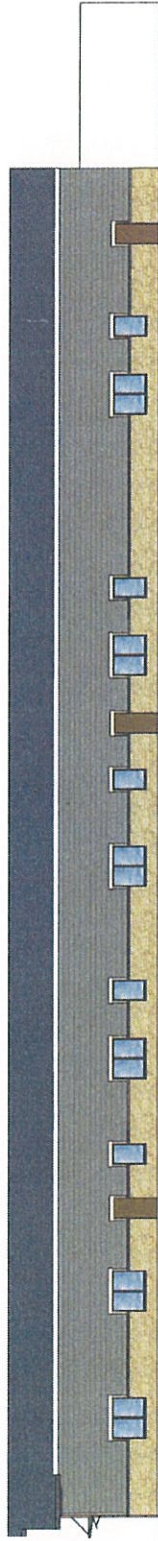


ISSUE: 3.25.15
DRAWN BY: JL
REVISIONS:

Renovation Plans
for the Law Office of
E. Todd Tracy
4701 Bengal Street
Dallas, Texas 75235

Elevations

A3.0



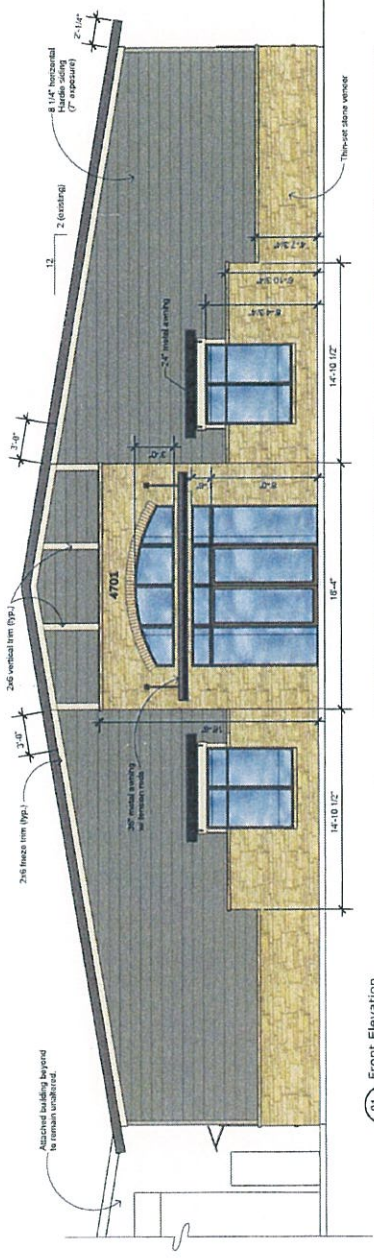
04 Side Elevation
Scale: 1/8" = 1'-0"

Refer to 01, 02, 03 for additional notes.

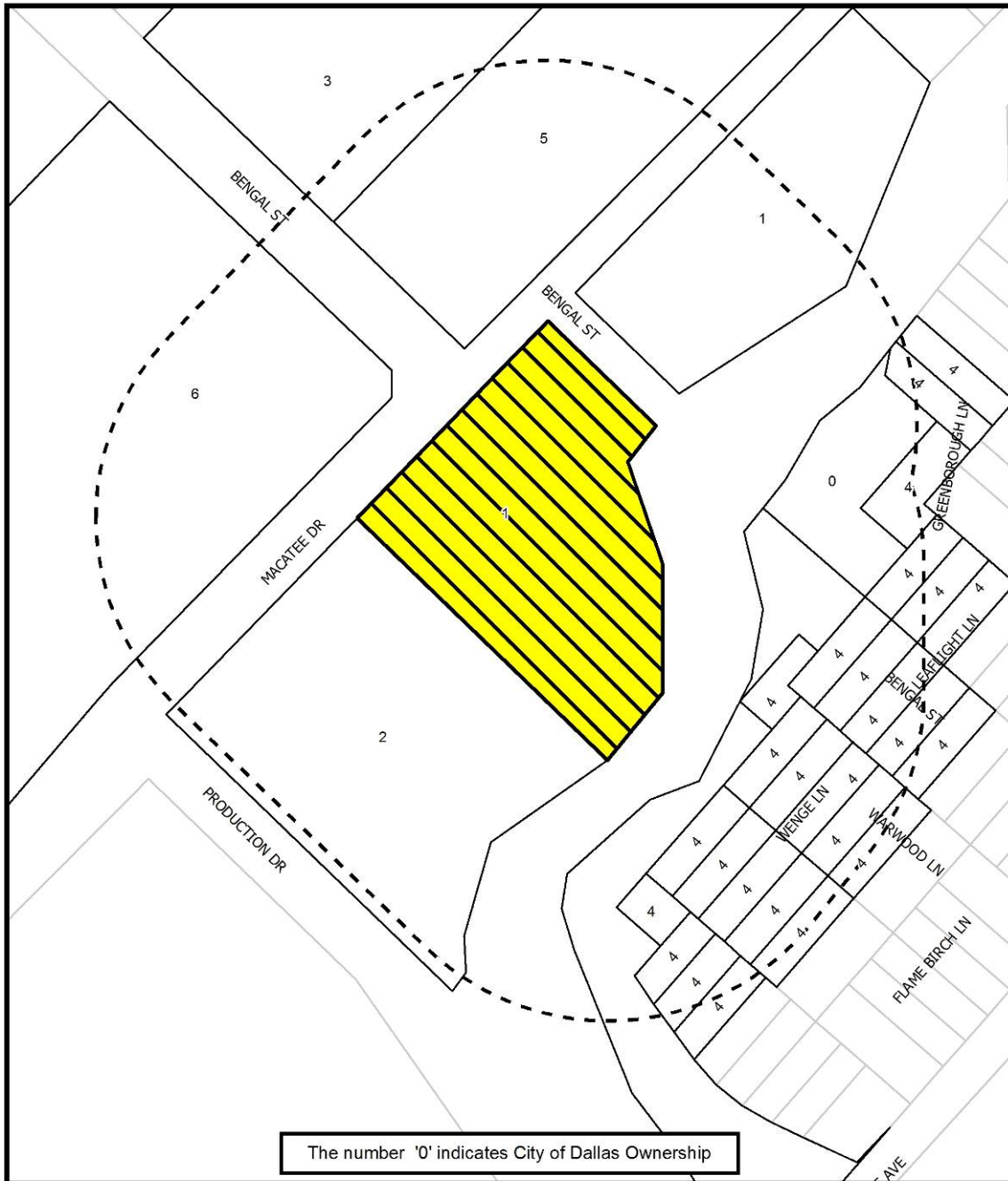


03 Side Elevation
Scale: 1/4" = 1'-0"

02 Courtyard Elevation
Scale: 1/4" = 1'-0"



01 Front Elevation
Scale: 1/4" = 1'-0"



The number '0' indicates City of Dallas Ownership

 1:1,200	NOTIFICATION		Case no: BDA167-069
	<div style="border: 1px solid black; padding: 2px; display: inline-block;">200'</div> AREA OF NOTIFICATION <div style="border: 1px solid black; padding: 2px; display: inline-block;">6</div> NUMBER OF PROPERTY OWNERS NOTIFIED	Date: 5/16/2017	

Notification List of Property Owners

BDA167-069

6 Property Owners Notified

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
1	2201 KINGS RD	CRASH INC
2	4699 PRODUCTION DR	RUPLEY HELEN GAIL
3	4722 BENGAL ST	FOSTER M POOLE JR
4	2201 LOST TRL	TEXAS INTOWNHOMES LLC
5	4700 BENGAL ST	TCF INTERESTS PARTNERSHIP LTD
6	4707 BENGAL ST	RONALD MCDONALD HOUSE OF

FILE NUMBER: BDA167-061(SL)

BUILDING OFFICIAL'S REPORT: Application of Donald J. Carry for a special exception to the visual obstruction regulations at 5446 N. Dentwood Drive. This property is more fully described as Lot 4, Block A/5600, and is zoned R-1ac(A), which requires a 45 foot visibility triangle at street intersections. The applicant proposes to locate and maintain items in a required visibility triangle, which will require a special exception to the visual obstruction regulations.

LOCATION: 5446 N. Dentwood Drive

APPLICANT: Donald J. Carry

REQUEST:

A request for a special exception to the visual obstruction regulations is made to maintain plant materials (according to the site plan and elevations, 10' ± high Nellie Stevens Holly bushes) in the 45' visibility triangle at the intersection of Chatham Hill Road and Hollow Way Road on a site developed with a single family use.

STANDARD FOR A SPECIAL EXCEPTION TO THE VISUAL OBSTRUCTION REGULATIONS:

The Board shall grant a special exception to the requirements of the visual obstruction regulations when, in the opinion of the Board, the item will not constitute a traffic hazard.

STAFF RECOMMENDATION:

Denial

Rationale:

- The Sustainable Development Department Assistant Director of Engineering recommended that this request be denied because the hedges in the 45' visibility triangle at Chatham Hill Road and Hollow Way Road obstruct view of oncoming traffic.
- The applicant had not substantiated how the location of plant materials in the 45' visibility triangle at Chatham Hill Road and Hollow Way Road does not constitute a traffic hazard.

Zoning:

Site: R-1ac (A) (Single family district 1 acre)

North: R-1ac (A) (Single family district 1 acre)

South: R-1ac (A) (Single family district 1 acre)

East: R-1ac (A) (Single family district 1 acre)
West: R-1ac (A) (Single family district 1 acre)

Land Use:

The subject site is developed with a single family use. The areas to the north, south, east, and west are developed with single family uses.

Zoning/BDA History:

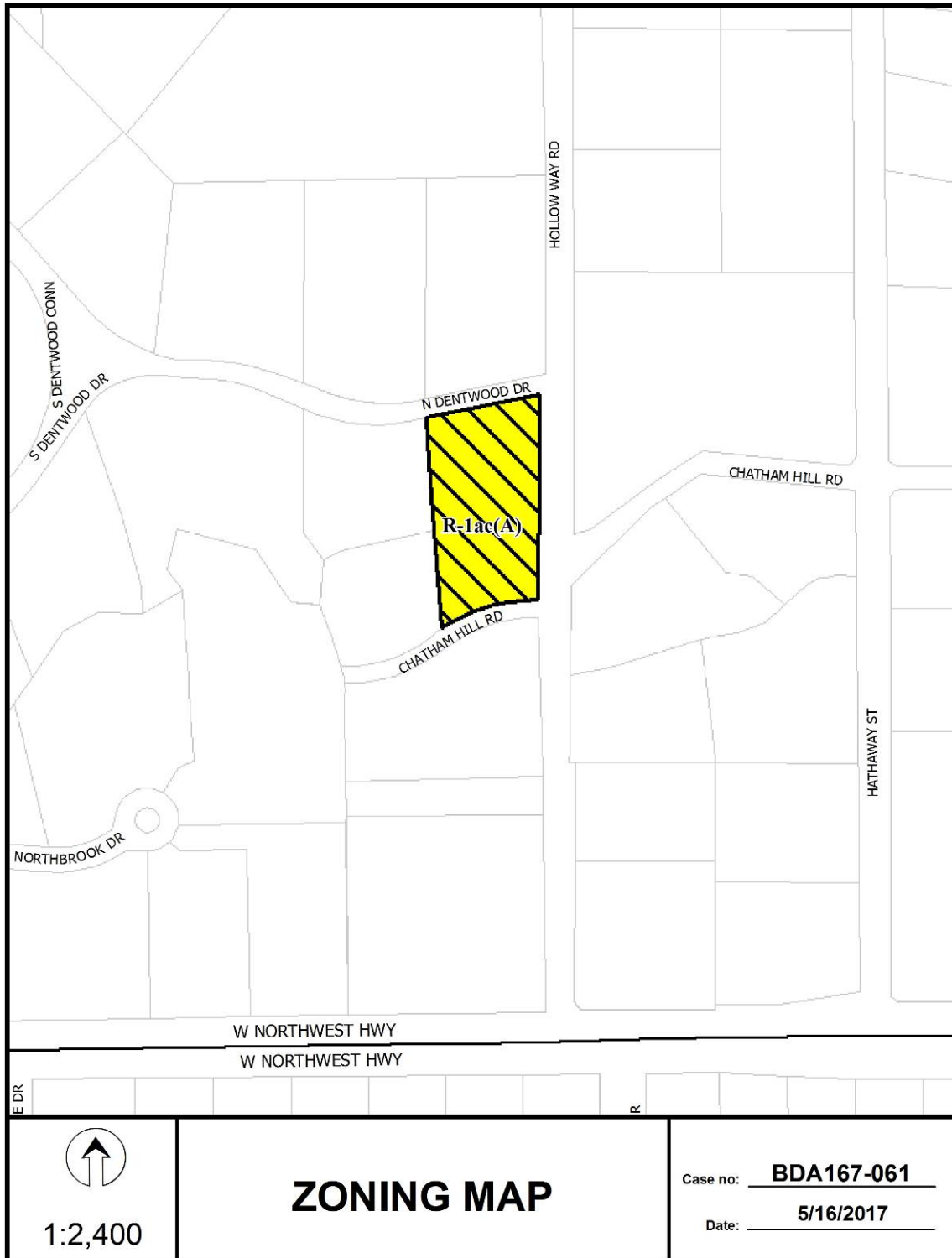
There has not been any recent related board or zoning cases recorded either on or in the immediate vicinity of the subject site.

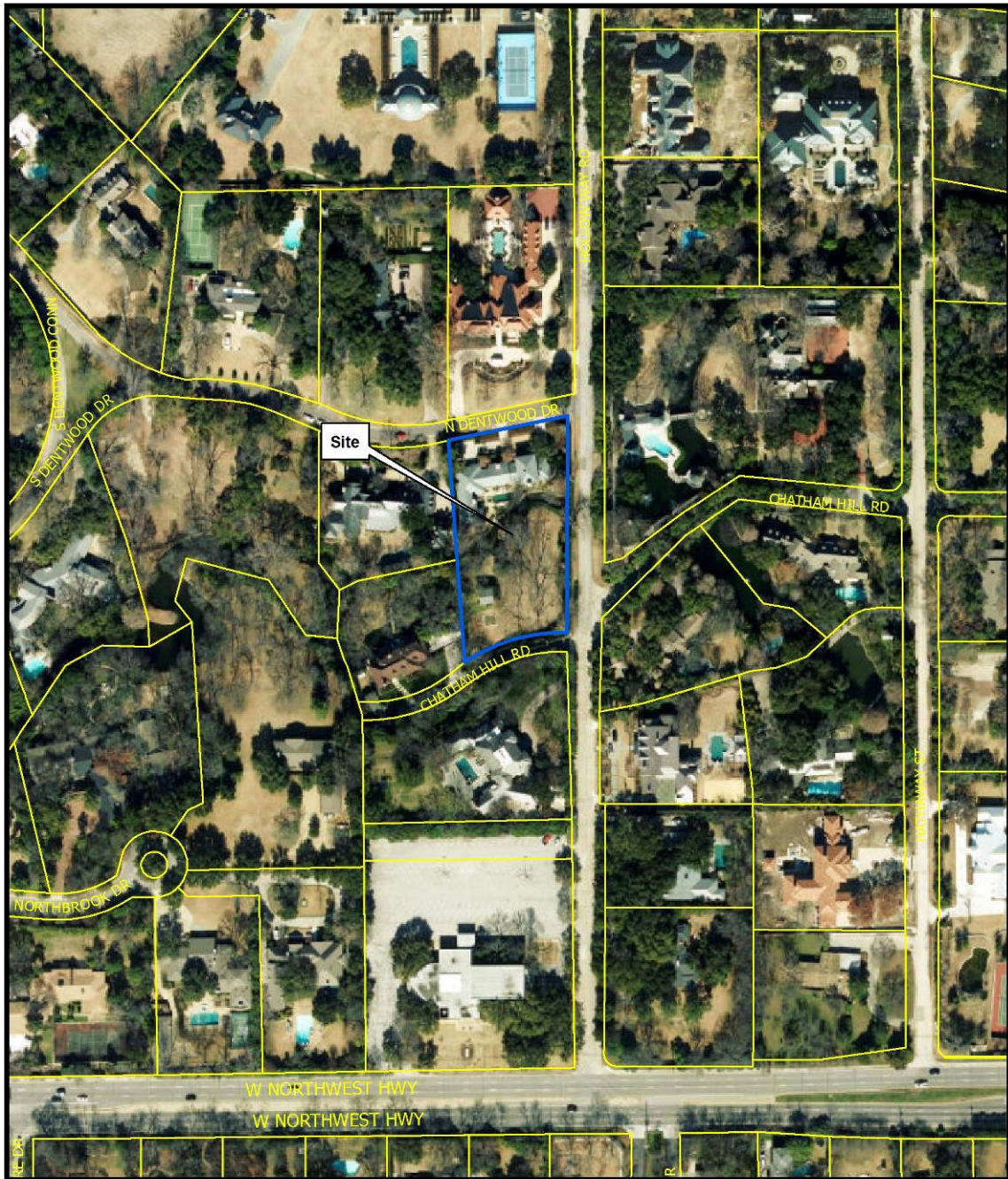
GENERAL FACTS/STAFF ANALYSIS:

- This request for a special exception to the visual obstruction regulations focuses on maintaining a number of 10' ± high Nellie Stevens Holly bushes in the 45' visibility triangle at the intersection of Chatham Hill Road and Hollow Way Road on a site developed with a single family use.
- The Dallas Development Code states the following: A person shall not erect, place, or maintain a structure, berm, plant life or any other item on a lot if the item is:
 - in a visibility triangle as defined in the Code (45-foot visibility triangles at street intersections, and 20 foot visibility triangles at drive approaches and at alleys on properties zoned single family); and
 - between two and a half and eight feet in height measured from the top of the adjacent street curb (or the grade of the portion on the street adjacent to the visibility triangle).
- A site plan and elevations have been submitted indicating a number of plant materials located in the 45' visibility triangle at the intersection of Chatham Hill Road and Hollow Way Road. Some of these plant materials are on the applicant's property and some in the public right-of-way. (Note that the request to the Board is limited to only the items in this intersection visibility triangle on private property).
- The Sustainable Development Department Assistant Director of Engineering submitted a review comment sheet along with a photo (see Attachment A). The review comment sheet was marked "Recommends that this be denied" with the following additional comment: "Hedges obstruct view of oncoming traffic".
- The applicant has the burden of proof in establishing how granting this request for a special exception to the visual obstruction regulations to maintain a number of 10' ± high Nellie Stevens Holly bushes in the 45' visibility triangle at the intersection of Chatham Hill Road and Hollow Way Road does not constitute a traffic hazard.
- Granting this request with a condition imposed that the applicant complies with the submitted site plan and elevations would limit the items located in the 45' visibility triangle at the intersection of Chatham Hill Road and Hollow Way Road on private property to that what is shown on these documents – a number of 10' ± high Nellie Stevens Holly bushes.

Timeline:

- March 20, 2017: The applicant submitted an “Application/Appeal to the Board of Adjustment” and related documents which have been included as part of this case report.
- May 9, 2017: The Board of Adjustment Secretary randomly assigned this case to Board of Adjustment Panel A.
- May 9, 2017: The Board Administrator emailed the applicant the following information:
- a copy of the application materials including the Building Official’s report on the application;
 - an attachment that provided the public hearing date and panel that will consider the application; the May 31st deadline to submit additional evidence for staff to factor into their analysis; and the June 9th deadline to submit additional evidence to be incorporated into the Board’s docket materials;
 - the criteria/standard that the board will use in their decision to approve or deny the request; and
 - the Board of Adjustment Working Rules of Procedure pertaining to “documentary evidence.”
- June 6, 2017: The Board of Adjustment staff review team meeting was held regarding this request and the others scheduled for June public hearings. Review team members in attendance included: the Sustainable Development and Construction Assistant Director of Engineering, the Board of Adjustment Chief Planner, the Board Administrator, the Building Inspection Senior Plans Examiner/Development Code Specialist, the Chief Arborist, the Sustainable Development and Construction Department Senior Planner, and the Assistant City Attorney to the Board.
- June 9, 2017: The Sustainable Development Department Assistant Director of Engineering submitted a review comment sheet along with a photo (see Attachment A). The review comment sheet was marked “Recommends that this be denied” with the following additional comment: “Hedges obstruct view of oncoming traffic”.





 1:2,400	<h1>AERIAL MAP</h1>	Case no: <u>BDA167-061</u> Date: <u>5/16/2017</u>
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BDA 167-061
Attach A
B1

REVIEW COMMENT SHEET
BOARD OF ADJUSTMENT
HEARING OF JUNE 20, 2017 (A)

- | | |
|---|---|
| <input type="checkbox"/> Has no objections | <input checked="" type="checkbox"/> BDA 167-061(SL) |
| <input type="checkbox"/> Has no objections if certain conditions are met (see comments below or attached) | <input type="checkbox"/> BDA 167-068(SL) |
| <input checked="" type="checkbox"/> Recommends that this be denied (see comments below or attached) | <input type="checkbox"/> BDA 167-069(SL) |
| <input type="checkbox"/> No comments | <input type="checkbox"/> BDA 167-070(SL) |
| | <input type="checkbox"/> BDA 167-072(SL) |

COMMENTS:

Hedges obstruct
view of oncoming
traffic.

-
-
-
-
-
-
-
-
-
-
-

Scott Denman 6-9-17
Name/Title/Department Date
Assistant Director Engineering

Please respond to each case and provide comments that justify or elaborate on your response. Dockets distributed to the Board will indicate those who have attended the review team meeting and who have responded in writing with comments.
*Holdover case

BDA162 061
Attach A
Pg 2



Note that the hedges obstruct the view of the oncoming car...



City of Dallas

APPLICATION/APEAL TO THE BOARD OF ADJUSTMENT

Case No.: BDA 167-061

Data Relative to Subject Property:

Date: 20 MARCH 2017

Location address: 5446 N. DENTWOOD DRIVE Zoning District: R-12c(A)

Lot No.: 4 Block No.: A15600 Acreage: 1.233 Census Tract: 206.00

Street Frontage (in Feet): 1) 185' 2) 335' 3) 166' 4) _____ 5) _____

To the Honorable Board of Adjustment :

Owner of Property (per Warranty Deed): DONALD J. CARRY AND MELISSA M. CARRY

Applicant: DONALD J. CARRY Telephone: 214.755.4203

Mailing Address: 5446 N. DENTWOOD DRIVE Zip Code: 75220

E-mail Address: SKILEADER72@YAHOO.COM

Represented by: DONALD JAMES CARRY Telephone: 214.755.4203

Mailing Address: 5446 N. DENTWOOD DRIVE Zip Code: 75220

E-mail Address: SKILEADER72@YAHOO.COM

Affirm that an appeal has been made for a Variance __, or Special Exception X, of VISIBILITY TRIANGLE OBSTRUCTION AT STREET/DRIVE INTERSECTION.

Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to grant the described appeal for the following reason:
CHATAM HILL IS A DEAD END STREET AND SERVES ONE ADDRESS. THE NORTH CORNER WITH HOLLOW WAY HAS A TRIANGLE CUT WITH 30' WIDTH IS IN EXCESS OF 20' FOR A ALLEY OR PRIVATE DRIVE. THE SOUTH CORNER HAS NO 45° CUT AT ALL.

Note to Applicant: If the appeal requested in this application is granted by the Board of Adjustment, a permit must be applied for within 180 days of the date of the final action of the Board, unless the Board specifically grants a longer period.

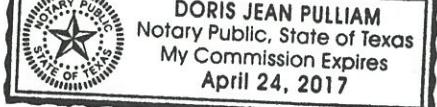
Affidavit

Before me the undersigned on this day personally appeared DONALD JAMES CARRY
(Affiant/Applicant's name printed)

who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner/or principal/or authorized representative of the subject property.

Respectfully submitted: Donald James Carry
(Affiant/Applicant's signature)

Subscribed and sworn to before me this 20 day of march, 2017

(Rev. 08-01-11)  Doris J. Pulliam
Notary Public in and for Dallas County, Texas

MEMORANDUM OF
ACTION TAKEN BY THE
BOARD OF ADJUSTMENT

Date of Hearing _____

Appeal was--Granted OR Denied

Remarks _____

Chairman

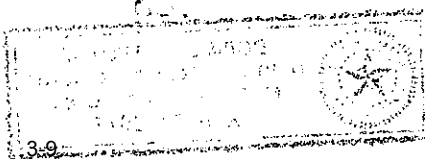
Building Official's Report

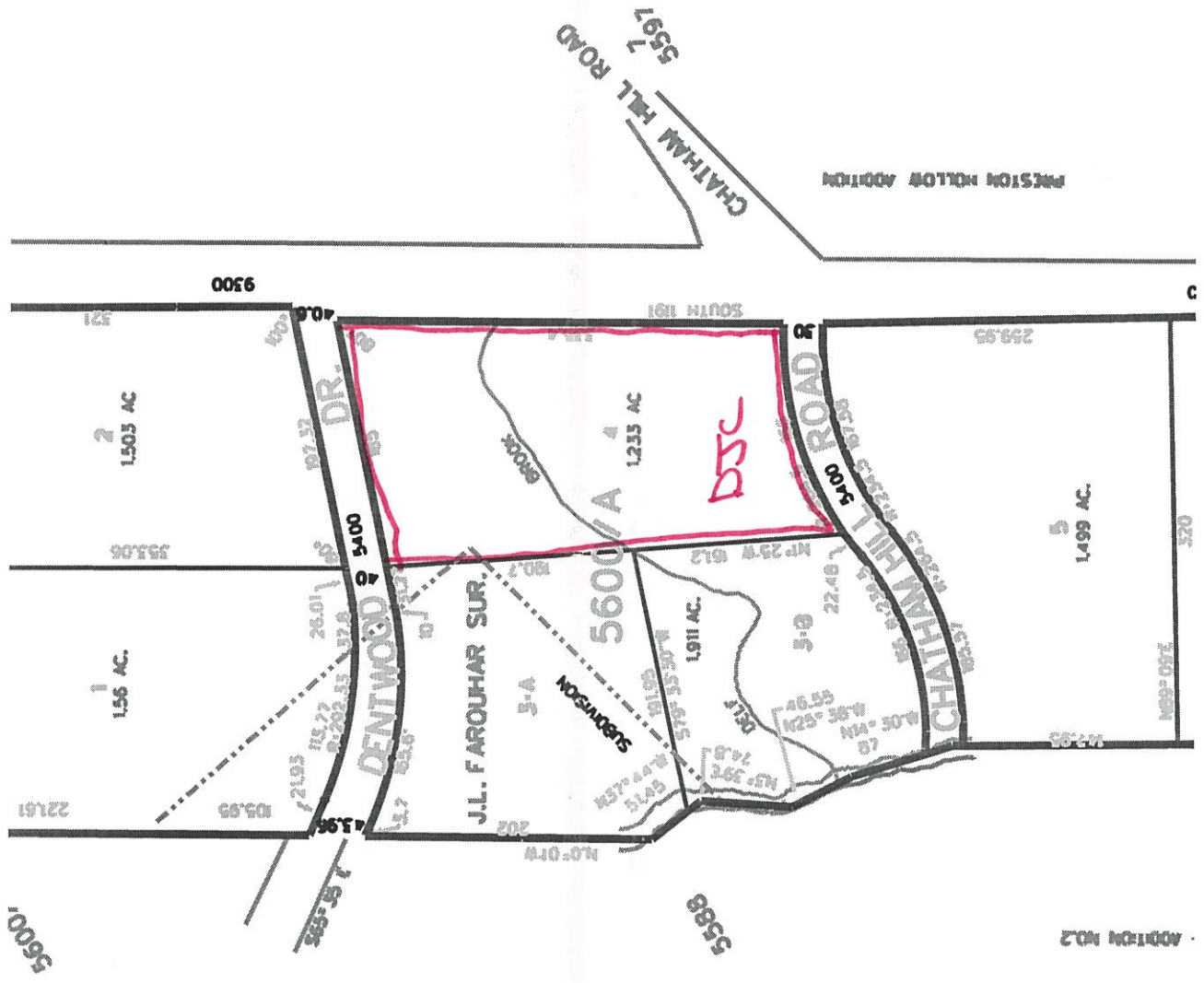
I hereby certify that Donald James Carry
did submit a request for a special exception to the visibility obstruction regulations
at 5446 N. Dentwood Drive

BDA167-061. Application of Donald James Carry for a special exception to the visibility obstruction regulations at 5446 N. Dentwood Drive. This property is more fully described as Lot 4, Block A/5600, and is zoned R-1ac(A), which requires a 45 foot visibility triangle at street intersections. The applicant proposes to construct and maintain a residential structure/vegetation in a required visibility obstruction triangle, which will require a special exception to the visibility obstruction regulation.

Sincerely,

Philip Sikes
Philip Sikes, Building Official





City of Dallas

Internal Development Research Site

Legend

Locate Property

Search by:

GIS Account #

Locate

OR

Street address.

5446 n dentwood

Locate

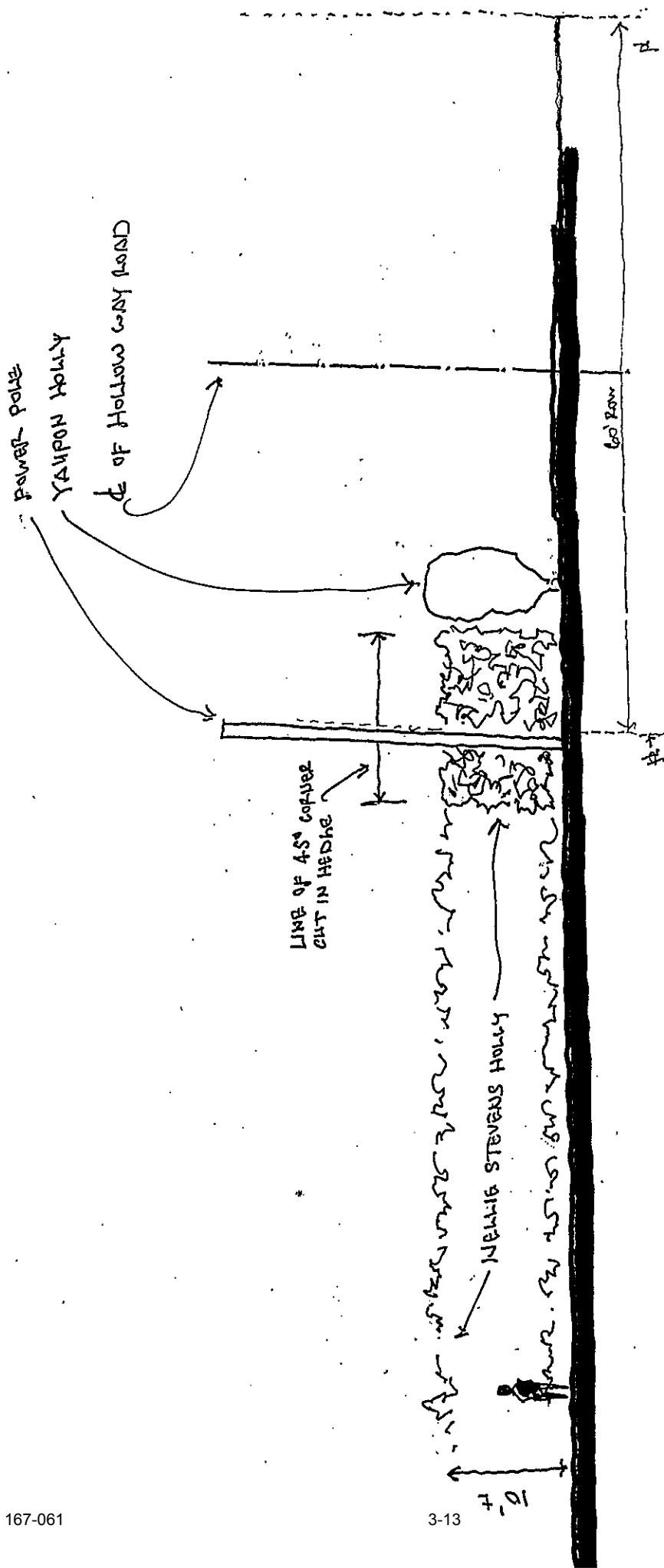
OR

Parcel address.

Use street type for better re

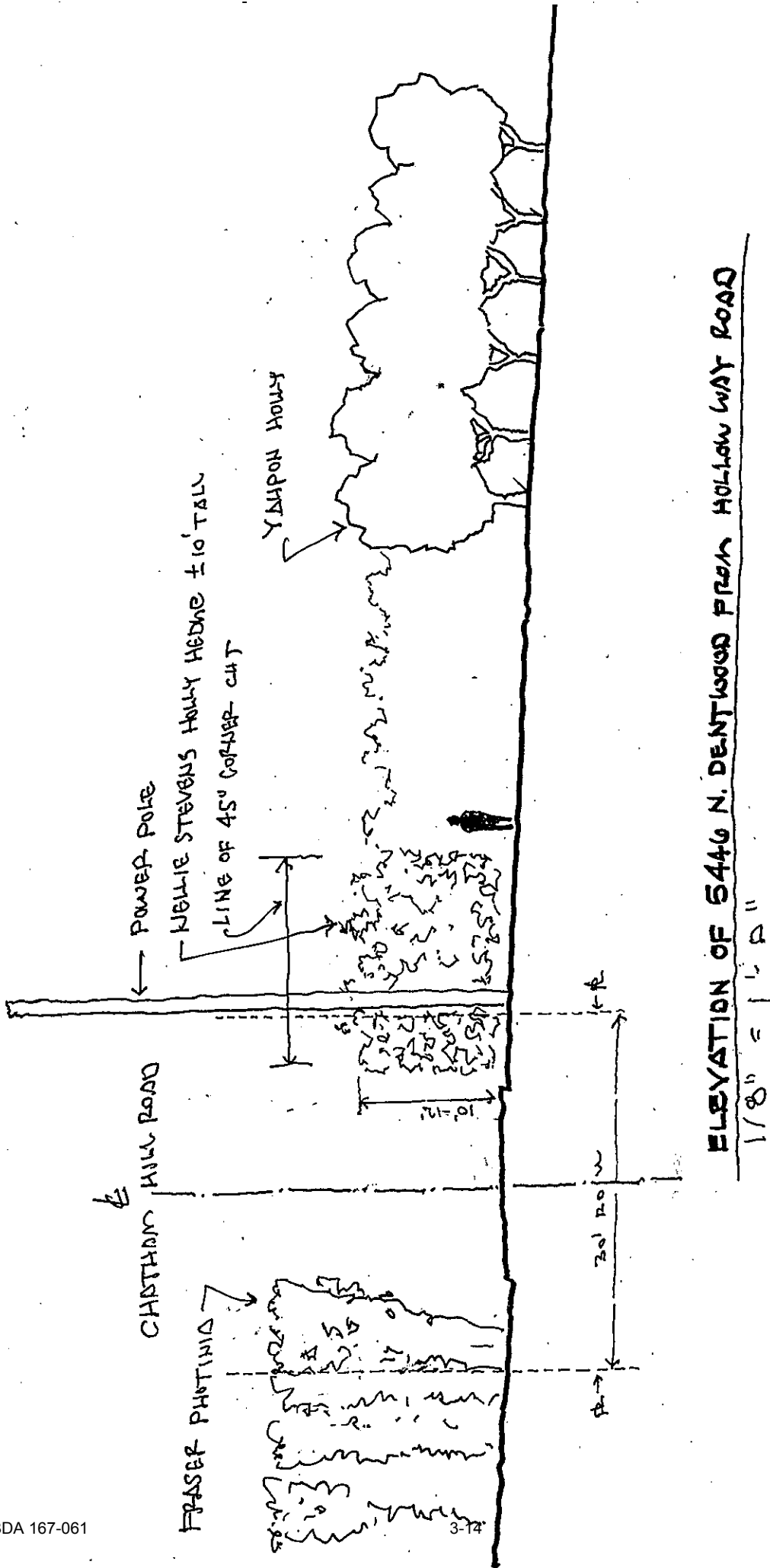
Locate

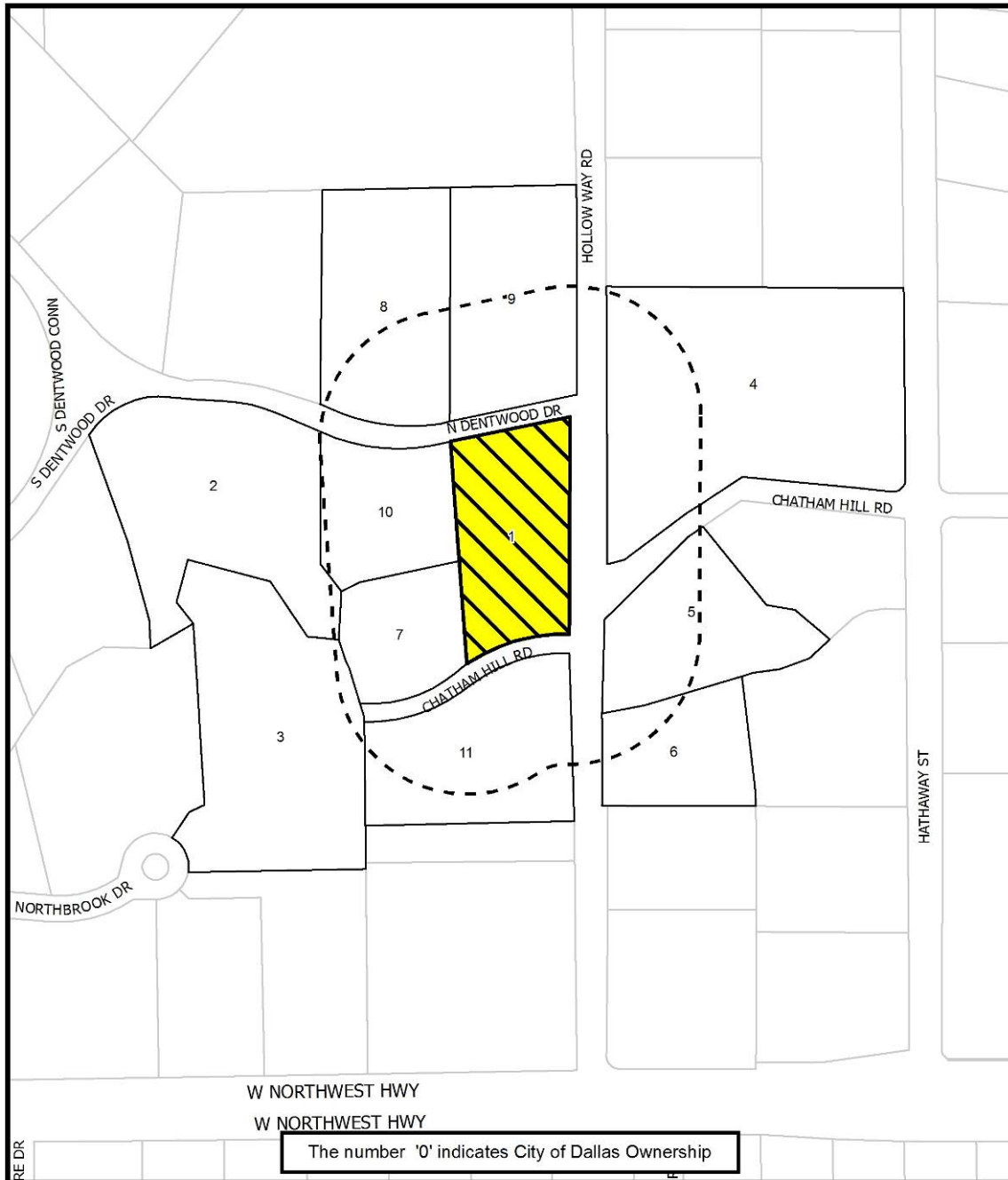




ELEVATION OF 5440 N. DENTWOOD FROM CHATHAM HILL ROAD

1/8" = 1'-0"





 1:2,400	NOTIFICATION		Case no: BDA167-061
	<div style="border: 1px solid black; padding: 2px; display: inline-block;">200'</div> AREA OF NOTIFICATION <div style="border: 1px solid black; padding: 2px; display: inline-block;">11</div> NUMBER OF PROPERTY OWNERS NOTIFIED	Date: 5/16/2017	

Notification List of Property Owners

BDA167-061

11 Property Owners Notified

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
1	5446 N DENTWOOD DR	CARRY DONALD J &
2	5414 N DENTWOOD DR	DENTWOOD TRUST
3	5466 NORTHBROOK DR	SPURGIN ROBERT B & SALLY
4	5505 CHATHAM HILL RD	BR TRUST THE
5	5500 CHATHAM HILL RD	SEALE JOHN HENRY & KATHERINE DYLL
6	9236 HOLLOW WAY RD	DIX RICHARD &
7	5433 CHATHAM HILL RD	WATTERS VATANA
8	5433 N DENTWOOD DR	COKE HENRY C III
9	5445 N DENTWOOD DR	MULLEN MICHEL L &
10	5440 N DENTWOOD DR	AKHTAR JAMIEL A &
11	9245 HOLLOW WAY RD	LANGE BENJAMIN & TRACY

FILE NUMBER: BDA167-070(SL)

BUILDING OFFICIAL'S REPORT: Application of Jeannie Terilli, represented by J. Prabha Cinclair and Robert Miklos, for a variance to the front yard setback regulations at 2815 Greenville Avenue. This property is more fully described as part of Lots 10, 11, & 12, Block 8/1926, and is zoned CR, which requires a front yard setback of 15 feet. The applicant proposes to construct and/or maintain a structure and provide a 0 foot front yard setback, which will require a 15 foot variance to the front yard setback regulations.

LOCATION: 2815 Greenville Avenue

APPLICANT: Jeannie Terilli
Represented by J. Prabha Cinclair and Robert Miklos

REQUESTS:

Requests for variances to the front yard setback regulations of 15' are made on a site that is developed with restaurant and retail uses/a three storefront structure:

1. To maintain an "existing canopy" structure attached to one of the storefronts located on the Greenville Avenue front property line or 15' into the 15' Greenville Avenue front yard setback; and
2. To construct/maintain additional canopy structures located to the north and south of the "existing canopy" on one of the storefronts to be located on the Greenville Avenue front property line or 15' into the 15' front yard setback.

STANDARD FOR A VARIANCE:

The Dallas Development Code specifies that the board has the power to grant variances from the front yard, side yard, rear yard, lot width, lot depth, coverage, floor area for structures accessory to single family uses, height, minimum sidewalks, off-street parking or off-street loading, or landscape regulations provided that the variance is:

- (A) not contrary to the public interest when, owing to special conditions, a literal enforcement of this chapter would result in unnecessary hardship, and so that the spirit of the ordinance will be observed and substantial justice done;
- (B) necessary to permit development of a specific parcel of land that differs from other parcels of land by being of such a restrictive area, shape, or slope, that it cannot be developed in a manner commensurate with the development upon other parcels of land with the same zoning; and
- (C) not granted to relieve a self-created or personal hardship, nor for financial reasons only, nor to permit any person a privilege in developing a parcel of land not permitted by this chapter to other parcels of land with the same zoning.

STAFF RECOMMENDATION:

Denial

Rationale:

- Staff concluded that applicant had not substantiated how the variance to the front yard setback regulations was necessary to permit development of the subject site that differs from other parcels of land by being of such a restrictive area, shape, or slope, that it cannot be developed in a manner commensurate with the development upon other parcels of land with the same CR zoning district.
- Staff concluded that the variance should be denied because there was no property hardship to the site that warranted a variance to the front yard setback regulations. The applicant had not demonstrated to staff how the features of the site (which is flat, rectangular in shape, and approximately 24,000 square feet in area) preclude it from being developed in a manner commensurate with the development upon other parcels of land in districts with the same CR zoning classification – the site can remain developed with a retail use in a nonconforming structure built in the 30's without variance to front yard setback regulations for a canopy structures most of which would appear to enable additional dining area to the existing restaurant in one of the storefronts on the subject site.

BACKGROUND INFORMATION:

Zoning:

Site: CR (Community retail)
North: CR (Community retail)
South: CD 15 (Conservation District)
East: CR (Community retail)
West: CD 15 (Conservation District)

Land Use:

The subject site is developed with restaurant/retail uses/a three storefront structure. The areas to the north and east are developed with restaurant and retail uses; the areas to the south and west are developed with residential uses.

Zoning/BDA History:

1. BDA101-039, Property at 2815
Greenville Avenue (the subject site)

On May 17, 2011, the Board of Adjustment Panel A granted a request for a variance to the height regulations (specifically to the residential proximity slope or RPS), and imposed the submitted site plan and elevation as a condition.

The case report stated the request was made to construct and maintain a 33' high, approximately 96 square foot "roof access enclosure" structure to be located atop a structure under redevelopment on the site, which would be located above RPS (residential proximity slope) line that begins at the CD No. 15/single family residentially-zoned undeveloped/vacant property immediately south of the site. The structure that was under development on the site appeared from submitted plans to include three storefronts/restaurant uses (Terilli's, Rohst, and Dodie's) each with "roof access enclosure" structures to roof patios only one of which was to exceed the RPS line – that being the "roof access enclosure" structure to be located atop the southernmost store front (Terilli's) nearest the single family residentially zoned undeveloped/vacant property immediately to the south. (The two other 33' high "roof access enclosure" structures had been recently constructed atop the building on the site and are shown on the submitted elevation and site plan to be in compliance with the RPS given their height and their distance from the adjacent residentially-zoned property to the south and west).

2. BDA93-152, Property at 2831 Greenville Avenue (the subject site)
- On September 14, 1993, the Board of Adjustment granted a request for a variance to the front yard setback regulations of 15' subject to the applicant submitting a landscape plan to be approved by the Board Administrator. The landscape plan should be submitted no later than October 1, 1993.
- The case report stated that the request was needed in conjunction with the placement of an existing awning located on the front property line at 2831 Greenville Avenue; that the awning was added to the 3,100 square foot building in July of 1993 and was assumed to be in compliance because a neighboring restaurant on the request site at 2815 Greenville (Terilli's) had a similar type awning. The case report stated that according to Building Inspection, Terilli's would most likely be submitting a similar type appeal for their awning in the near future.

GENERAL FACTS/STAFF ANALYSIS:

- The request for variances to the front yard setback regulations of 15' focuses on maintaining an approximately 4.5' wide by 11' long "existing canopy" structure attached to one of the storefronts located on the front property line or 15' into the 15' front yard setback, and constructing/maintaining additional canopy structures located to the north (approximately 11' wide by approximately 28' long) and south (approximately 11' wide by 20 long) of the "existing canopy" on one of the storefronts to be located on the front property line or 15' into the 15' front yard setback on a site that is developed with restaurant and retail uses.
- The site is located at the southwest corner of Goodwin Avenue and Greenville Avenue and has two front yard setbacks as would any lot with two street frontages that is not zoned single family, duplex, or agricultural.
- Structures on lots zoned CR are required to provide a minimum front yard setback of 15'.
- The submitted site plan indicates the following structures in the Greenville Avenue 15' front yard setback/on the Greenville Avenue front property line: an existing "one-story brick building"; an "existing canopy"; and what appears to be two proposed canopy structures. (The submitted site plan represents that part of the "existing canopy" is located in the public right of way for which the Board has no jurisdiction to grant variance for this part of the structure).
- The submitted elevation represents side and front elevations of the existing and proposed canopies.

- According to DCAD records, the “improvements” for property addressed at 2815 Greenville Avenue is a “retail strip” built in 1930 with 10,875 square feet of area. Because records show that the structure on this site was built in the 30’s, it is assumed that the existing “one-story brick building” is a nonconforming structure.
- The code defines nonconforming structure as a structure that does not conform to the regulations of the code, but which was lawfully constructed under the regulations in force at the time of construction.
- The code states that the right to rebuild a nonconforming structure ceases if the structure is destroyed by the intentional act of the owner or the owner’s agent.
- The code states that a person may renovate, remodel, repair, rebuild, or enlarge a nonconforming structure if the work does not cause the structure to become more nonconforming as to the yard, lot, and space regulations.
- The applicant has chosen to seek variance to the front yard setback regulations for only the existing canopy and proposed canopy structures in the Greenville Avenue front yard setback and not to remedy/address the nonconforming aspect of the existing nonconforming structure in the site’s front yard setback on Greenville Avenue.
- The subject site is flat, rectangular in shape (150’ x 160’), and, according to the application, is 0.55 acres (or approximately 24,000 square feet) in area. The site is zoned CR (Community retail).
- The subject site has two front yard setbacks as would any lot with two street frontages that is not zoned single family, duplex, or agricultural.
- The applicant has the burden of proof in establishing the following:
 - That granting the variance to the front yard setback regulations will not be contrary to the public interest when, owing to special conditions, a literal enforcement of this chapter would result in unnecessary hardship, and so that the spirit of the ordinance will be observed and substantial justice done.
 - The variance is necessary to permit development of the subject site that differs from other parcels of land by being of such a restrictive area, shape, or slope, that the subject site cannot be developed in a manner commensurate with the development upon other parcels of land in districts with the same CR zoning classification.
 - The variance would not be granted to relieve a self-created or personal hardship, nor for financial reasons only, nor to permit any person a privilege in developing this parcel of land (the subject site) not permitted by this chapter to other parcels of land in districts with the same CR zoning classification.
- If the Board were to grant the variance request, and impose a site plan as a condition, the structures in the front yard setback would be limited to what is shown on this document– which in this case are canopy structures located as close as on the site’s Greenville Avenue front property line or 15’ into this 15’ Greenville Avenue front yard setback.
- Note that the applicant is aware that granting the request for a variance to the front yard setback regulations will not provide any relief to any part of a structure located in public right-of-way nor to the existing nonconforming structure in the front yard setback since the applicant did not request that the Board consider this aspect as part of this application.

Timeline:

March 23, 2017: The applicant submitted an “Application/Appeal to the Board of Adjustment” and related documents which have been included as part of this case report.

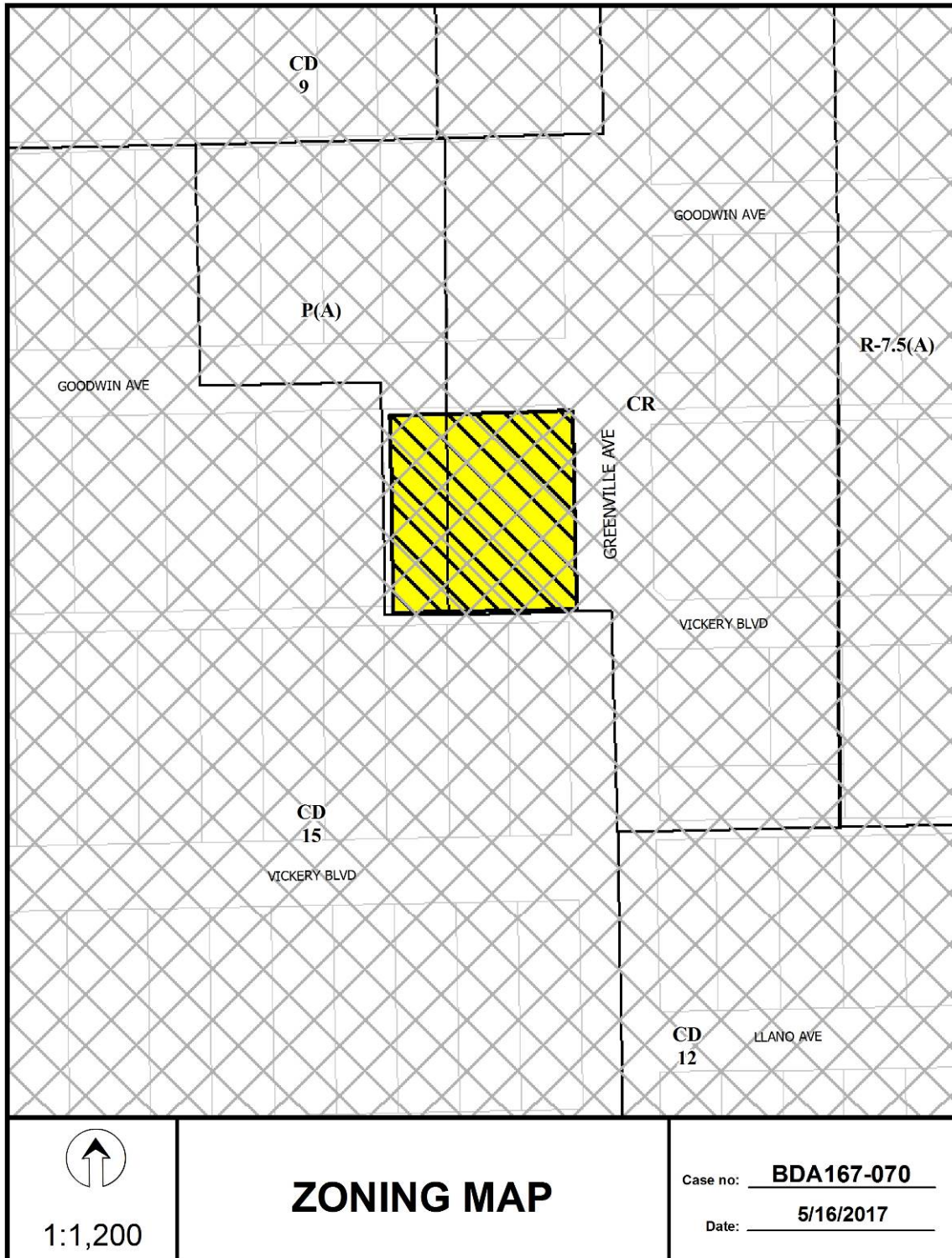
May 9, 2017: The Board of Adjustment Secretary assigned this case to Board of Adjustment Panel A. This assignment was made in order to comply with Section 9 (k) of the Board of Adjustment Working Rule of Procedure that states, “If a subsequent case is filed concerning the same request, that case must be returned to the panel hearing the previously filed case”.

May 9, 2017: The Board Administrator emailed the applicant’s representative the following information:

- an attachment that provided the public hearing date and panel that will consider the application; the May 31st deadline to submit additional evidence for staff to factor into their analysis; and the June 9th deadline to submit additional evidence to be incorporated into the Board’s docket materials;
- the criteria/standard that the board will use in their decision to approve or deny the request; and
- the Board of Adjustment Working Rules of Procedure pertaining to documentary evidence.

June 6, 2017: The Board of Adjustment staff review team meeting was held regarding this request and the others scheduled for June public hearings. Review team members in attendance included: the Sustainable Development and Construction Assistant Director of Engineering, the Board of Adjustment Chief Planner, the Board Administrator, the Building Inspection Senior Plans Examiner/Development Code Specialist, the Chief Arborist, the Sustainable Development and Construction Department Senior Planner, and the Assistant City Attorney to the Board.

No review comment sheets were submitted in conjunction with this application.

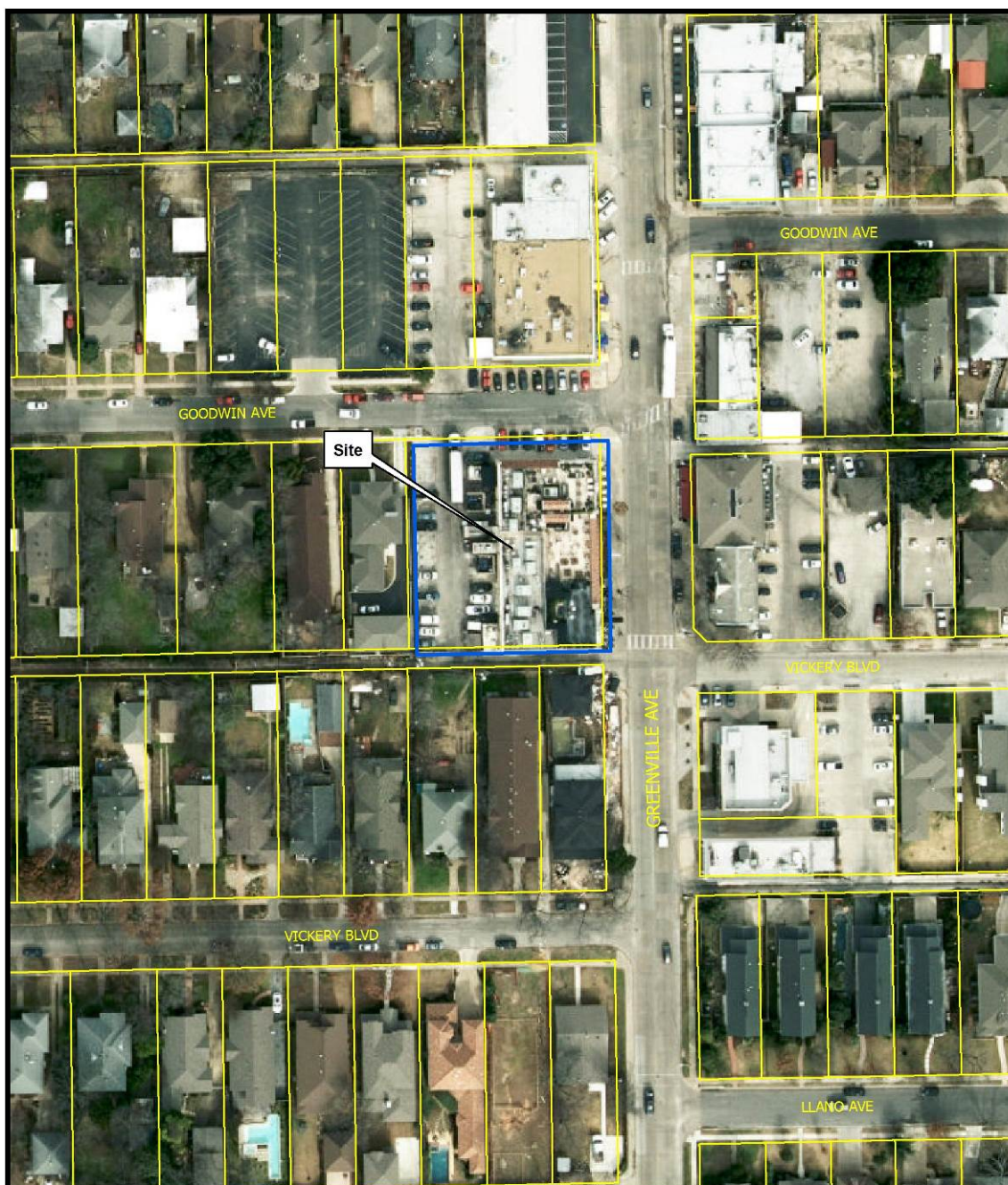


1:1,200

ZONING MAP

Case no: BDA167-070

Date: 5/16/2017



1:1,200

AERIAL MAP

Case no: BDA167-070

Date: 5/16/2017



City of Dallas

APPLICATION/APPEAL TO THE BOARD OF ADJUSTMENT

Case No.: BDA 167-070

Data Relative to Subject Property:

Date: 3/23/2017

Location address: 2815 Greenville Avenue, Dallas, Texas 75206 Zoning District: CR

Parts of 10, Lot No.: 11, & 12 Block No.: 8/1926 Acreage: 0.55 Census Tract: 10.01

Street Frontage (in Feet): 1) 54 160 2) 150 3) _____ 4) _____ 5) _____

To the Honorable Board of Adjustment :

Owner of Property (per Warranty Deed): Park Lane Partners, LP and Skillman Oram Partners, L.P.

Applicant: Jeannie Terilli Telephone: (214) 763-5560

Mailing Address: 2815 Greenville Ave, Dallas, Texas Zip Code: 75206

E-mail Address: jeannierilli@terillis.com

Represented by: J. Prabha Cinclair Telephone: (214) 683-0859

Mailing Address: 1800 Valley View Lane, Ste. 360, Dallas, Texas Zip Code: 75234

E-mail Address: cinclair@mikloslegal.com

Affirm that an appeal has been made for a Variance ^x, or Special Exception ^{15 ft.}, of ~~approximately 11 ft.~~ to the 15 ft front yard setback regulations ~~to allow an attached permeable awning along the front of the~~ property facing Greenville Ave.

Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to grant the described appeal for the following reason:
A literal enforcement of the front yard setback would result in an unnecessary hardship due to the special conditions on the site and a variance would allow development in a manner commensurate with the surrounding parcels. The surrounding properties, through previous variance requests, have the ability to retain an awning in the front yard setback up to the property line. The applicant desires to place an 11 ft awning in the front yard setback to provide protection for the customers and employees of the property.

Note to Applicant: If the appeal requested in this application is granted by the Board of Adjustment, a permit must be applied for within 180 days of the date of the final action of the Board, unless the Board specifically grants a longer period.

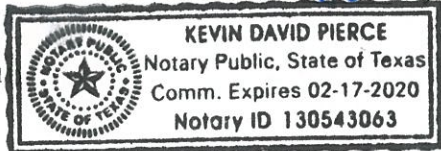
Affidavit

Before me the undersigned on this day personally appeared Jeannie Terilli
(Affiant/Applicant's name printed)

who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner/or principal/or authorized representative of the subject property.

Respectfully submitted: Jeannie Terilli
(Affiant/Applicant's signature)

Subscribed and sworn to before me this 23rd day of March, 2017



[Signature]
Notary Public in and for Dallas County, Texas

MEMORANDUM OF
ACTION TAKEN BY THE
BOARD OF ADJUSTMENT

Date of Hearing _____

Appeal was--Granted OR Denied

Remarks _____

Chairman

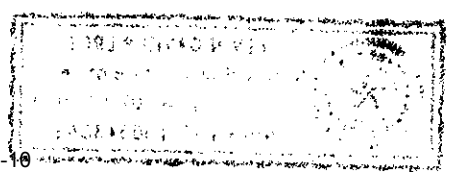
Building Official's Report

I hereby certify that Jeannie Terilli
represented by Prabha Cinclair
did submit a request for a variance to the front yard setback regulations
at 2815 Greenville Avenue

BDA167-070. Application of Jeannie Terilli represented by Prabha Cinclair for a variance to the front yard setback regulations at 2815 Greenville Avenue. This property is more fully described as part of Lots 10, 11, & 12, Block 8/1926, and is zoned CR, which requires a front yard setback of 15 feet. The applicant proposes to construct a nonresidential structure and provide a 0 foot front yard setback, which will require a 15 foot variance to the front yard setback regulation.

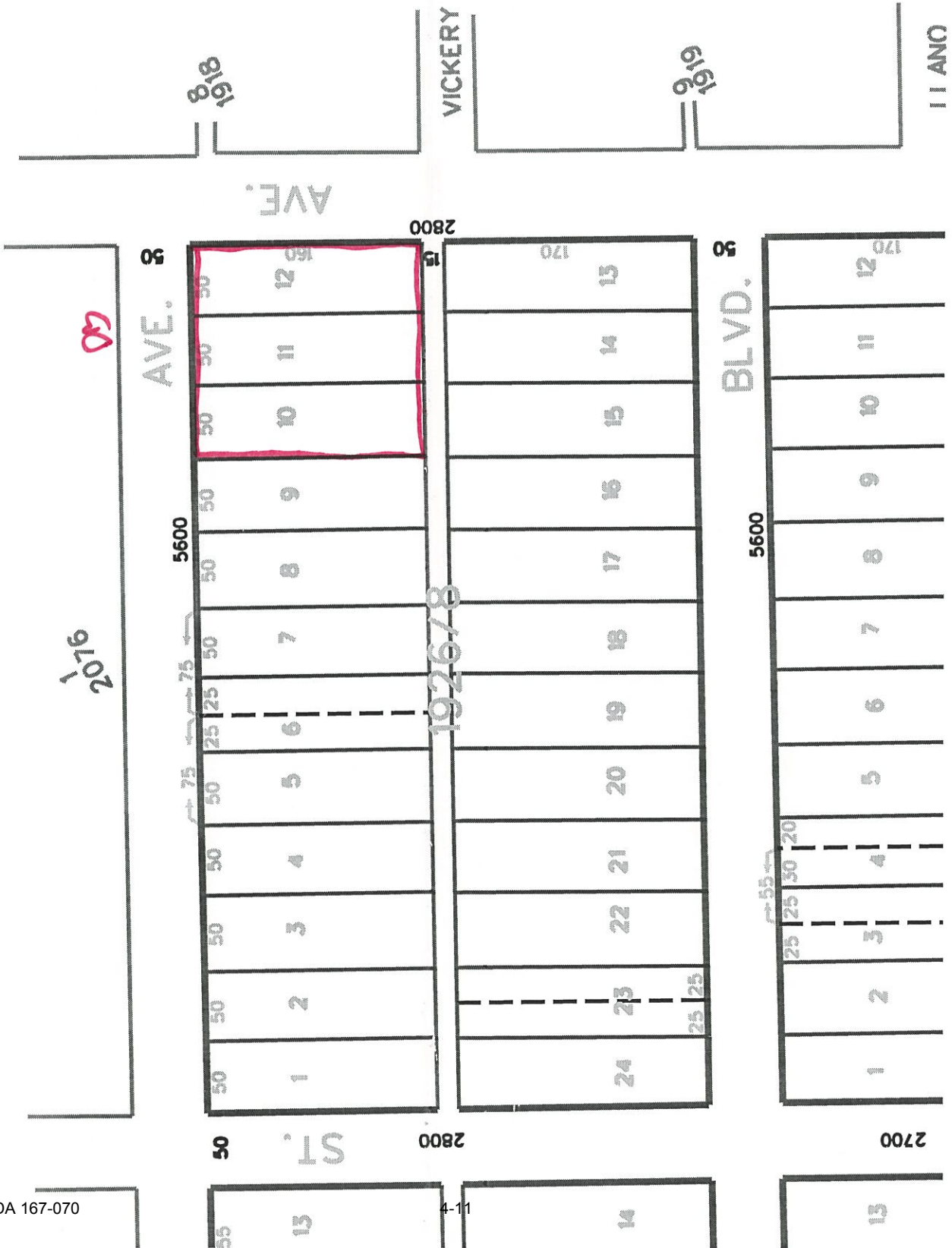
Sincerely,

Philip Sikes
Philip Sikes, Building Official





BDA 167-070



2076

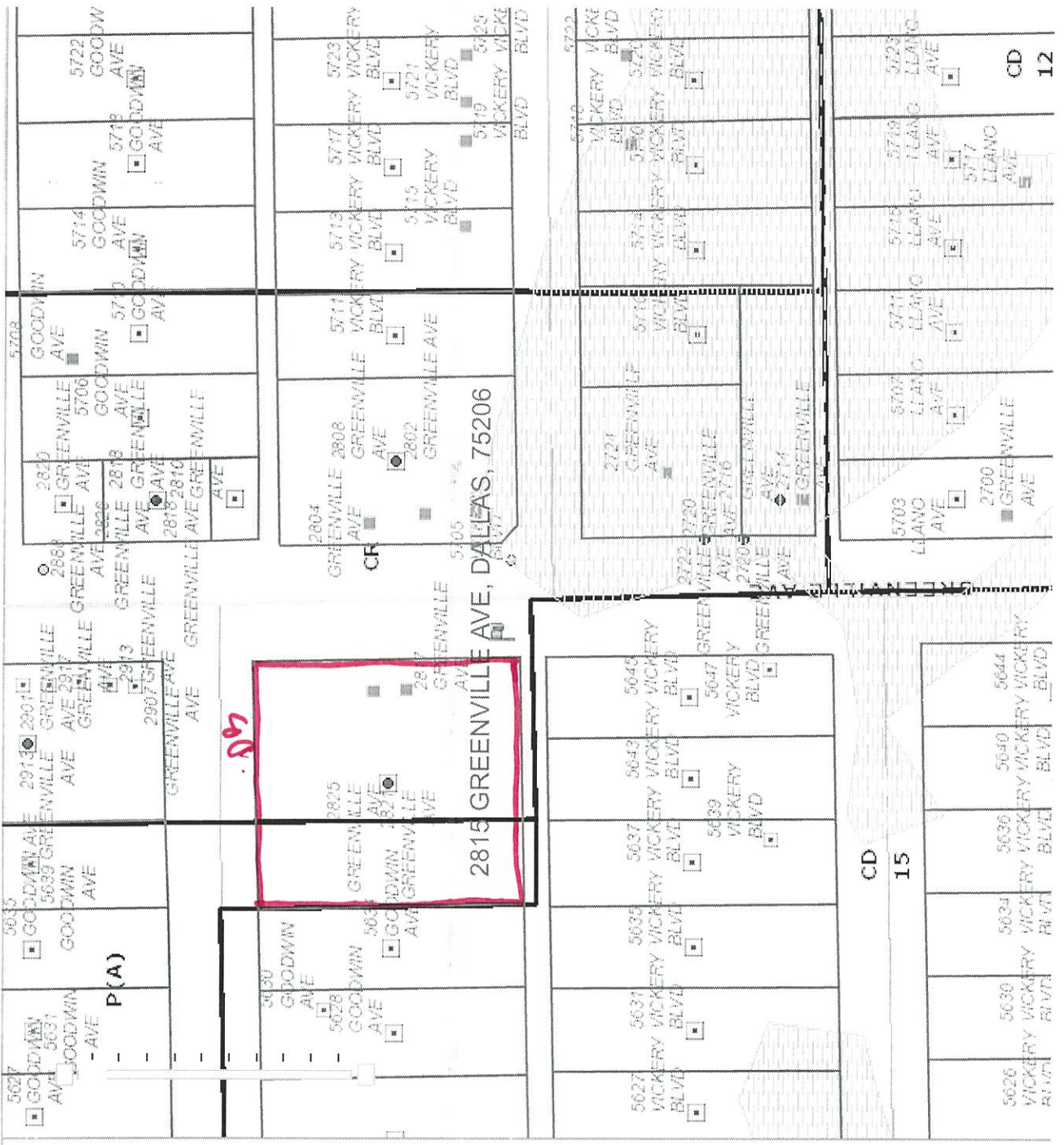


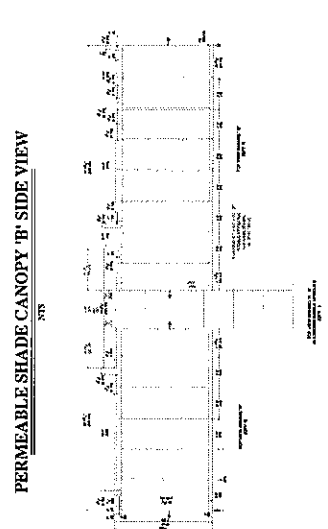
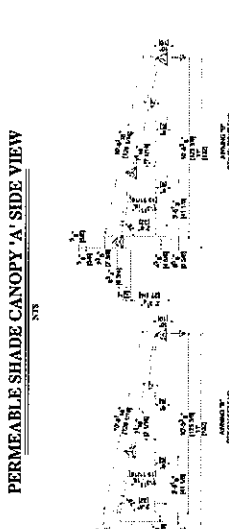
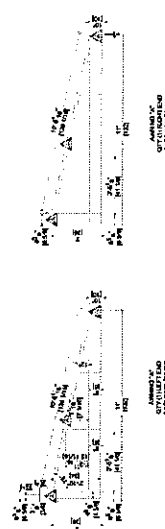
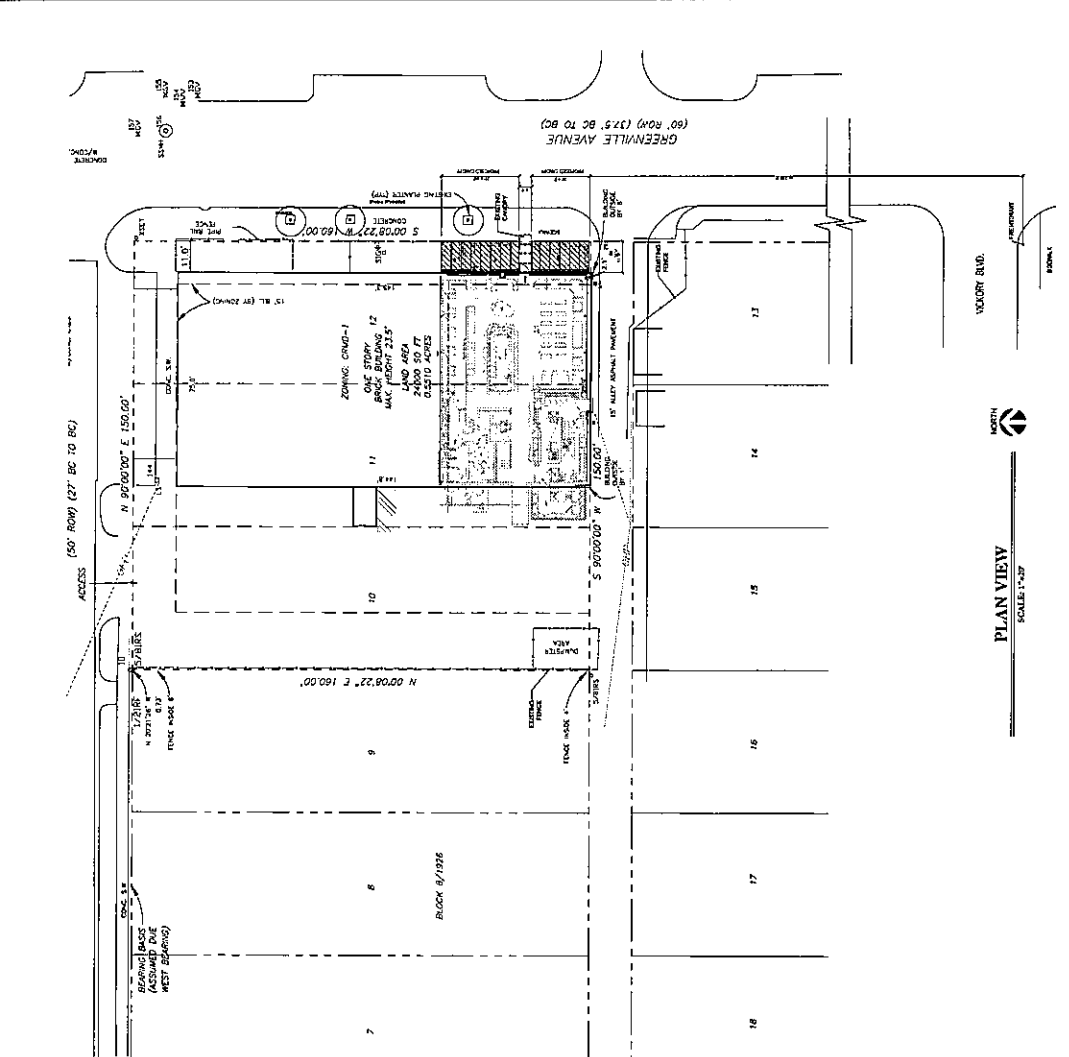
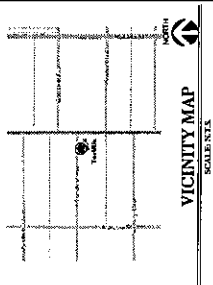
City of Dallas

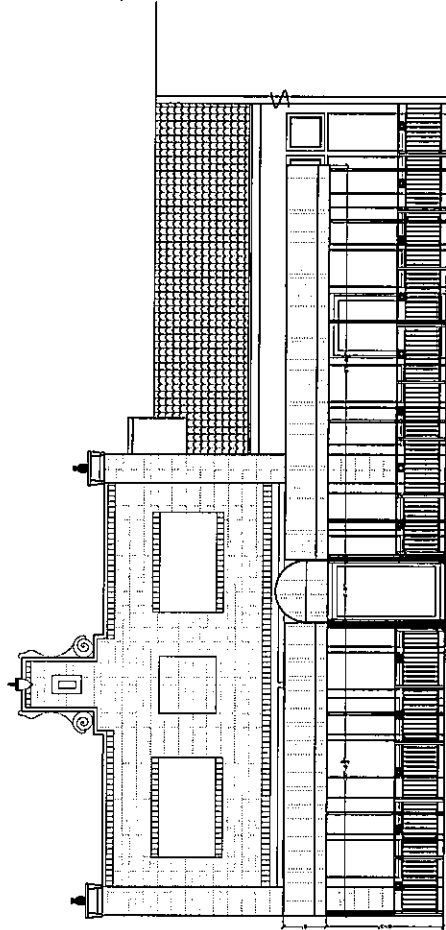
Internal Development Research Site

Legend

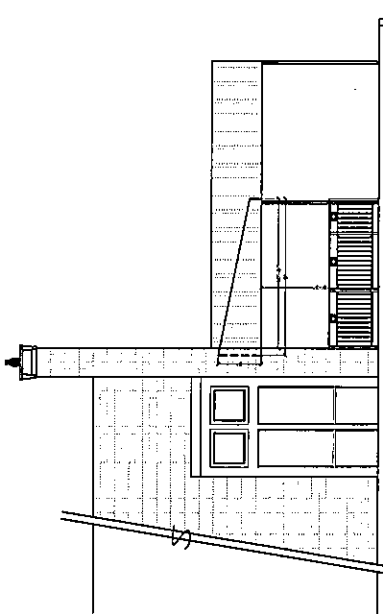
- D-1
- Historic Overlay
- Historic Subdistrict
- SUP
- NSO Overlay
- NSO Subdistricts
- MD Overlay
- CD Subdistricts
- IPD Subdistricts
- PD193 Oak Lawn
- PDS Subdistricts
- Height Map Overl
- Shop Front Overl
- Parking Management Overlay
- Base Zoning
- SPSPD Overlay
- Pedestrian Overla







2. CANOPY FRONT ELEVATION
SCALE: 1/4" = 1'-0"

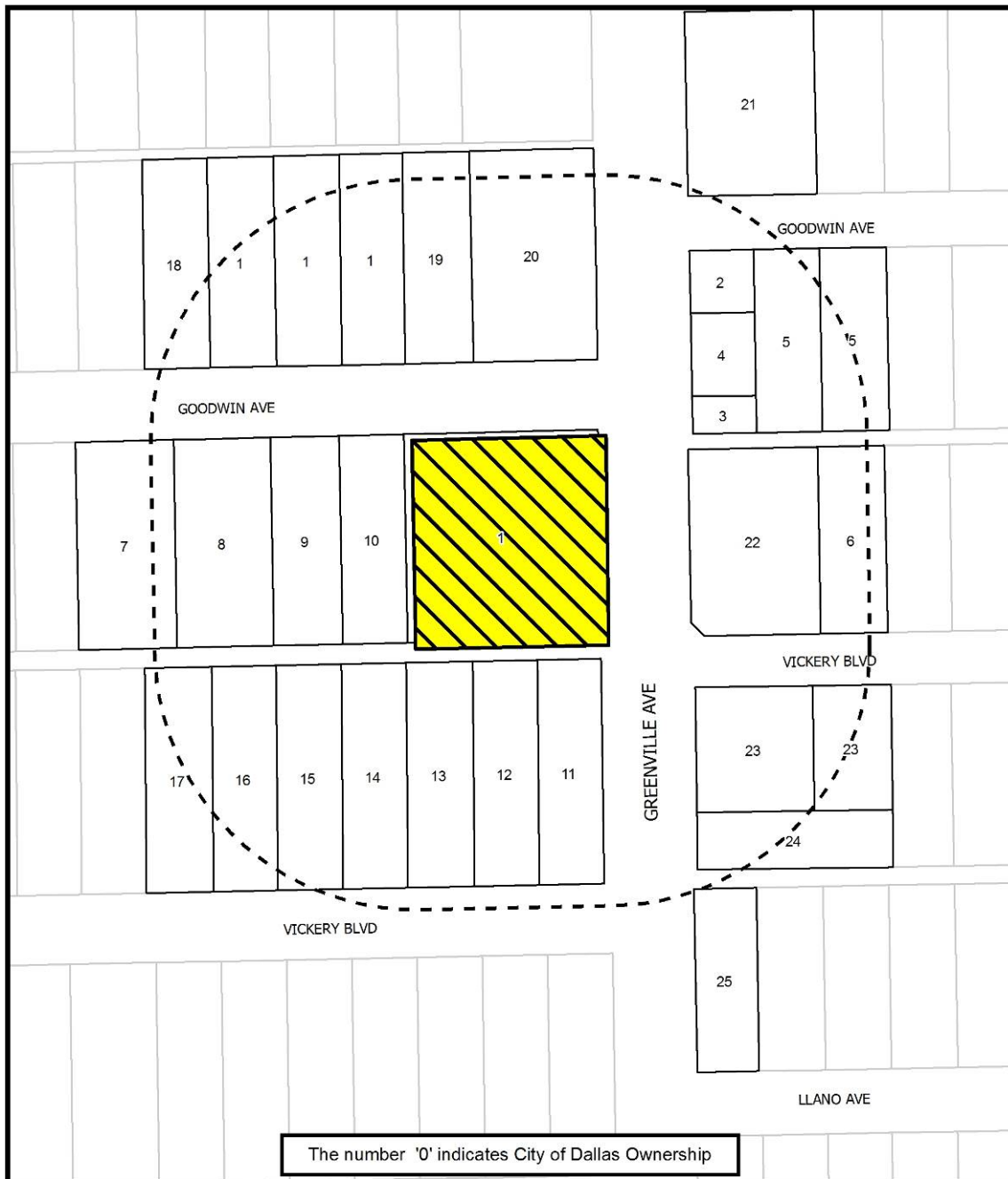


1. CANOPY SIDE ELEVATION
SCALE: 1/4" = 1'-0"

Addendum to Application/Appeal to the Board of Adjustment

2815 Greenville Avenue, Dallas, Texas 75206

Although a variance of 15 feet to the front yard setback is being requested, the actual awning is only 11 foot in width. The 11 feet awning will extend to the property line due to the awning being attached to a non-conforming building that was built in the 1930s and is already 4 feet in the front yard setback.



1:1,200

NOTIFICATION

200' AREA OF NOTIFICATION
25 NUMBER OF PROPERTY OWNERS NOTIFIED

Case no: **BDA167-070**

Date: **5/16/2017**

Notification List of Property Owners

BDA167-070

25 Property Owners Notified

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
1	2815 GREENVILLE AVE	PARK LANE PARTNERS LP &
2	2820 GREENVILLE AVE	RUBIN MARTIN J
3	2810 GREENVILLE AVE	GRAPE BLDG JT VTR
4	2818 GREENVILLE AVE	RUBIN MARTIN J
5	5706 GOODWIN AVE	MADISON PACIFIC DEVELOPEMENT CO
6	5711 VICKERY BLVD	GRAPE BUILDING J V
7	5618 GOODWIN AVE	AKHAVIZADEH CYRUS
8	5624 GOODWIN AVE	ANDERSON ALEXANDER B
9	5628 GOODWIN AVE	SMID MARK
10	5634 GOODWIN AVE	FLANERY W
11	5645 VICKERY BLVD	SHERIDAN JESSICA A
12	5643 VICKERY BLVD	DESINOR KRISTIN
13	5637 VICKERY BLVD	HEFFLEFINGER GAY
14	5635 VICKERY BLVD	BARNEY ROBERT
15	5631 VICKERY BLVD	SCHOLL KURT WALTER
16	5627 VICKERY BLVD	WILDBERGER RYAN &
17	5623 VICKERY BLVD	HUNSICKER GREGORY A &
18	5623 GOODWIN AVE	BRATSCH MICHAEL J
19	5639 GOODWIN AVE	REISBERG FRED
20	2901 GREENVILLE AVE	REISBERG FRED INV LTD
21	2900 GREENVILLE AVE	MADISON PACIFIC
22	2808 GREENVILLE AVE	GRAPE BUILDING JV
23	2724 GREENVILLE AVE	SBMT GREENVILLE LLC
24	2714 GREENVILLE AVE	PARK LANE PARTNERS LP
25	5703 LLANO AVE	WILLIAMSON RHONDA E

FILE NUMBER: BDA167-072(SL)

BUILDING OFFICIAL'S REPORT: Application of Grant Schmidt for a variance to the off-street parking regulations at 7103 Mumford Court. This property is more fully described as Lot 45, Block 10/8758, and is zoned R-7.5(A), which requires off-street parking to be provided. The applicant proposes to construct and/or maintain a structure for a church use, and provide 0 of the required 27 off-street parking spaces, which will require a 27 space variance to the off-street parking regulations.

LOCATION: 7103 Mumford Court

APPLICANT: Grant Schmidt

REQUEST:

A request for a variance to the off-street parking regulations of 27 spaces is made to obtain a Certificate of Occupancy/maintain an existing approximately 3,000 square foot church use (Congregation Toras Chaim), and provide 0 of the 27 required off-street parking spaces.

STANDARD FOR A VARIANCE:

The Dallas Development Code specifies that the board has the power to grant variances from the front yard, side yard, rear yard, lot width, lot depth, lot coverage, floor area for structures accessory to single family uses, height, minimum sidewalks, off-street parking or off-street loading, or landscape regulations provided that the variance is:

- (A) not contrary to the public interest when, owing to special conditions, a literal enforcement of this chapter would result in unnecessary hardship, and so that the spirit of the ordinance will be observed and substantial justice done;
- (B) necessary to permit development of a specific parcel of land that differs from other parcels of land by being of such a restrictive area, shape, or slope, that it cannot be developed in a manner commensurate with the development upon other parcels of land with the same zoning; and
- (C) not granted to relieve a self-created or personal hardship, nor for financial reasons only, nor to permit any person a privilege in developing a parcel of land not permitted by this chapter to other parcels of land with the same zoning.

STAFF RECOMMENDATION:

Denial

Rationale:

- Staff concluded that applicant had not substantiated how granting this variance to the off-street parking regulations of 27 spaces was not contrary to public interest (the Sustainable Development Department Assistant Director of Engineering has submitted a review comment sheet marked “Recommends that this be denied”), had not substantiated how the variance to the off-street parking regulations was necessary to permit development of the subject site that differs from other parcels of land by being of such a restrictive area, shape, or slope, that it cannot be developed in a manner commensurate with the development upon other parcels of land with the same R-7.5(A) zoning district, and had not substantiated how granting this variance to the off-street parking regulation is not needed to relieve a self-created hardship
- While staff recognized that the subject site has two front yard setbacks atypical of most lots zoned R-7.5(A), staff concluded this unique feature does not preclude the applicant from developing the flat, rectangular in shape, approximately 12,500 square foot subject site (where lots are typically 7,500 square feet in area) in a manner commensurate with the development upon other parcels of land with the same R-7.5(A) zoning.

BACKGROUND INFORMATION:

Zoning:

- Site: R-7.5(A) (Single family residential 7,500 square feet)
- North: PD 173 (Planned Development)
- South: R-7.5(A) (Single family residential 7,500 square feet)
- East: R-7.5(A) (Single family residential 7,500 square feet)
- West: R-7.5(A) (Single family residential 7,500 square feet)

Land Use:

The subject site is developed with an existing approximately 3,000 square foot church use (Congregation Toras Chaim). The areas to the north, south, east, and west are developed with single family residential uses.

Zoning/BDA History:

- | | |
|--|--|
| <ol style="list-style-type: none"> 1. Miscellaneous Item 2, BDA167-072, Property at 7103 Mumford Court (the subject site) | <p>On June 20, 2017, the Board of Adjustment Panel A will consider reimbursing the filing fee made in conjunction with this application.</p> |
|--|--|

GENERAL FACTS/STAFF ANALYSIS:

- This request for a variance to the off-street parking regulations of 27 spaces focuses on obtaining a Certificate of Occupancy/maintaining an existing approximately 3,000 square foot church use (Congregation Toras Chaim), and providing 0 of the 27 required off-street parking spaces.

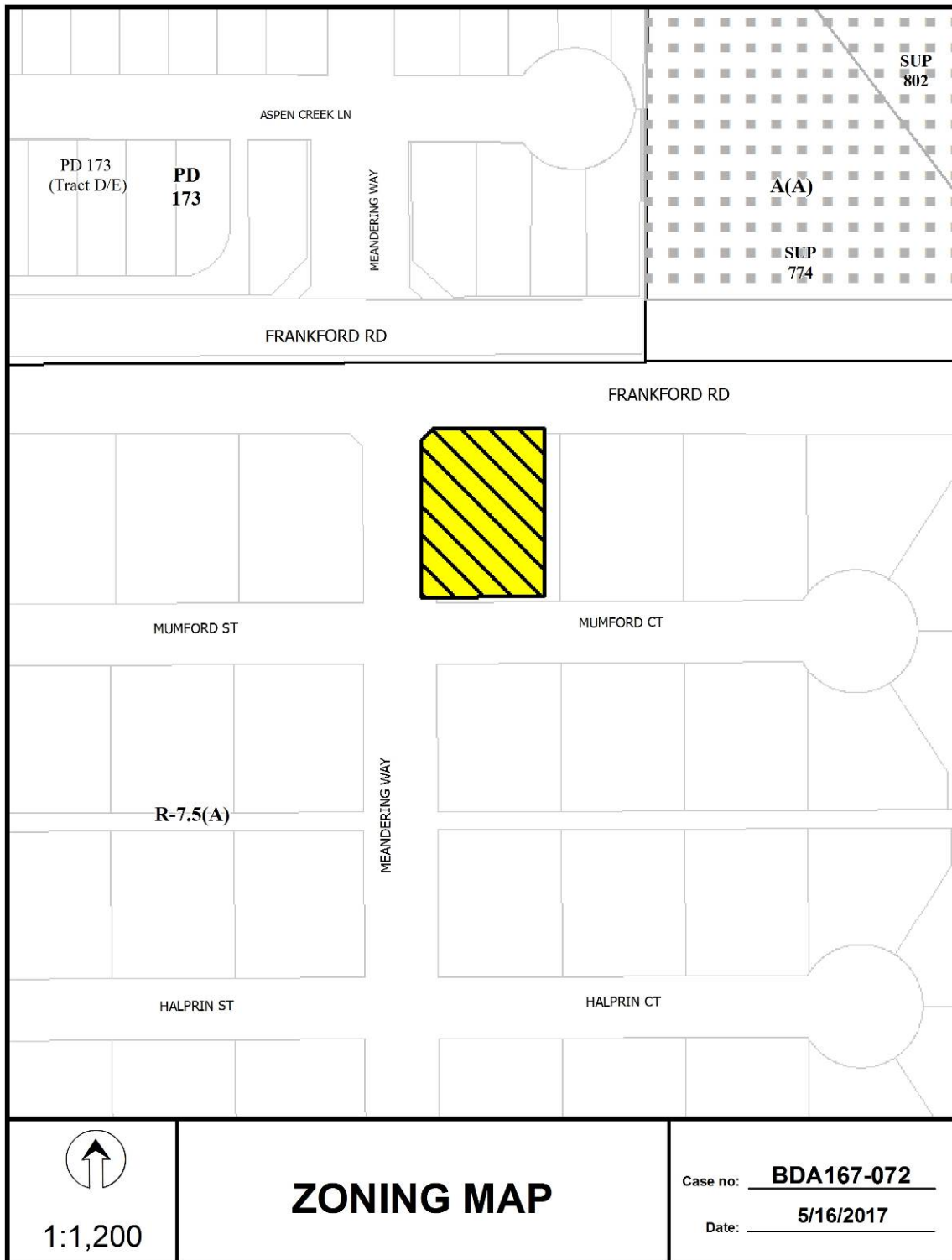
- The site is zoned R-7.5(A) and is bounded by three streets: Frankford Road on the north, Mumford Court on the south, and Meandering Way on the west. The site has two 25' front yard setbacks since the code states that if a lot runs from one street to another and has double frontage, a required front yard must be provided on both streets.
- The Dallas Development Code requires the following off-street parking requirement for “church” use:
 - One space per 333 square feet in floor area if a church has less than 5,000 square feet of floor area and is located in a shopping center with more than 20,000 square feet in floor area, otherwise one space for each four fixed seats in the sanctuary or auditorium. If fixed benches or pews are provided, each 18 inches of length of the fixed bench or pew constitutes one fixed seat for purposes of this paragraph. If portions of seating areas in the sanctuary or auditorium are not equipped with fixed seats, benches, or pews, the parking requirement for those portions is one space for each 28 square feet of floor area.
 - Definitions. For purposes of this subsection, “remote parking” means required off-street parking provided on a lot not occupied by the main use. “Shared parking” means the use of the same off-street parking stall to satisfy the off-street parking requirements for two or more uses.
 - Reconciliation with Divisions 51A-4.300 et seq. Except as otherwise expressly provided in this subsection, the off-street parking regulations in Divisions 51A-4.300 et seq. apply to this use. In the event of a conflict between this subsection and Divisions 51A-4.300 et seq., this subsection controls.
 - Remote and shared parking. A church may use remote and/or shared parking to satisfy up to 50 percent of its off-street parking requirement, provided that the remote and/or shared parking is on a lot that is:
 - (aa) dedicated to parking use by an instrument filed with the building official and approved by the city attorney’s office;
 - (bb) located in a non-residential district; and
 - (cc) located within 600 feet (including streets and alleys) of the lot occupied by the church. The distance measured is the shortest distance between the lots.
 - Distance extension with shuttle service. A remote parking lot for a church may be located up to one and one-half miles (including streets and alleys) from the lot occupied by the church if a shuttle service is provided to transport persons between the church and the remote parking lot. The shuttle service route must be approved by the traffic engineer.
 - Remote parking agreement. An agreement authorizing a church to use remote parking may be based on a lease of the remote parking spaces if:
 - (aa) the lease is for a minimum term of three years; and
 - (bb) the agreement provides that both the owner of the lot occupied by the church and the owner of the remote lot shall notify the city of Dallas in writing if there is a breach of any provision of the lease, or if the lease is modified or terminated.
- The Building Inspection Senior Plans Examiner/Development Code Specialist has stated that a plan review of the seating areas in the sanctuary or auditorium that are not equipped with fixed seats, benches, or pews, was conducted on the property

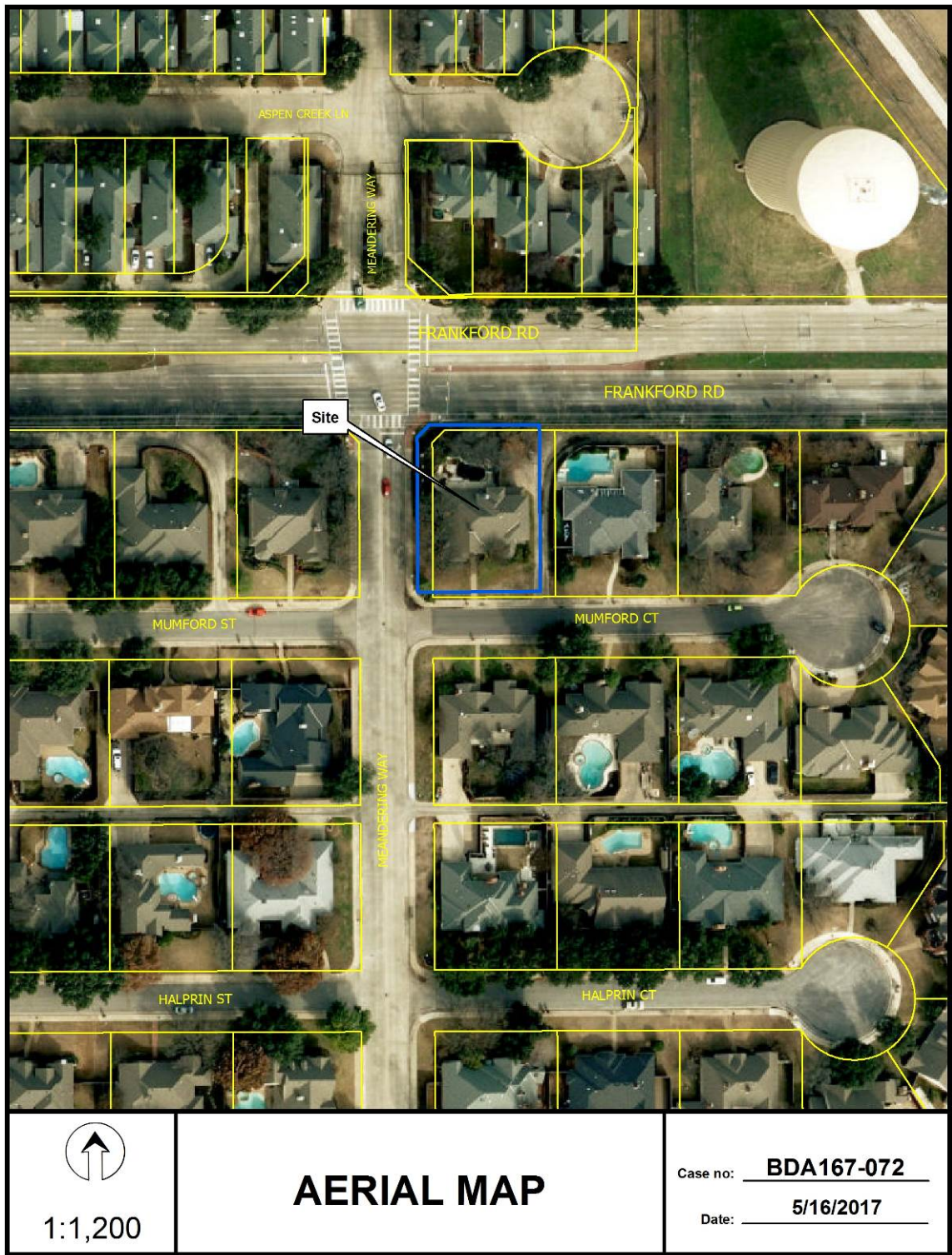
whereby it was determined with the parking requirement for those portions being 1 space for each 28 square feet of floor area that 27 off-street parking spaces were required for the use on the subject site.

- The applicant has submitted a document that states among other things that no parking analysis or traffic study has been provided because church members generally do not drive to worship.
- The applicant must seek this parking reduction request as a variance since the maximum reduction authorized by this code for a special exception to off-street parking regulations is 25 percent or one space, whichever is greater, minus the number of parking spaces currently not provided due to delta credits, as defined in Section 51A-4.704(b)(A).
- According to Collin CAD records, the “total improvement main area” for property addressed at 7103 Mumford Court is a “residential” improvement with 3,572 square feet constructed in 1986.
- The subject site is flat, rectangular in shape, and (according to the application) is 0.29 acres (or approximately 12,500 square feet) in area. The site is zoned R-7.5(A) where most lots in this zoning district are 7,500 square feet in area.
- The site has two front yard setbacks and two side yard setbacks. Most lots in this zoning district have one front yard setback, one rear yard setback, and two side yard setbacks.
- The Sustainable Development Department Assistant Director of Engineering submitted a review comment sheet marked “Recommends that this be denied” commenting “Original use had two off-street parking spaces. The other home lots also have two off-street parking spaces”.
- The applicant has the burden of proof in establishing the following:
 - That granting the variance to the off-street parking regulations will not be contrary to the public interest when, owing to special conditions, a literal enforcement of this chapter would result in unnecessary hardship, and so that the spirit of the ordinance will be observed and substantial justice done.
 - The variance is necessary to permit development of the subject site that differs from other parcels of land by being of such a restrictive area, shape, or slope, that the subject site cannot be developed in a manner commensurate with the development upon other parcels of land in districts with the same R-7.5(A) zoning classification.
 - The variance would not be granted to relieve a self-created or personal hardship, nor for financial reasons only, nor to permit any person a privilege in developing this parcel of land (the subject site) not permitted by this chapter to other parcels of land in districts with the same R-7.5(A) zoning classification.
- If the Board were to grant this request, the applicant would be able to obtain a Certificate of Occupancy for a church use on the subject site, and provide 0 of the 27 required off-street parking spaces.

Timeline:

- February 24, 2017: The applicant submitted an “Application/Appeal to the Board of Adjustment” and related documents which have been included as part of this case report.
- May 9, 2017: The Board of Adjustment Secretary randomly assigned this case to Board of Adjustment Panel B.
- May 9, 2017: The Board Administrator emailed the applicant the following information:
- a copy of the application materials including the Building Official’s report on the application;
 - an attachment that provided the public hearing date and panel that will consider the application; the May 31st deadline to submit additional evidence for staff to factor into their analysis; and the June 9th deadline to submit additional evidence to be incorporated into the Board’s docket materials;
 - the criteria/standard that the board will use in their decision to approve or deny the request; and
 - the Board of Adjustment Working Rules of Procedure pertaining to “documentary evidence.”
- May 31, 2017: The applicant submitted additional documentation on this application to the Board Administrator beyond what was submitted with the original application (see Attachment A).
- June 6, 2017: The Board of Adjustment staff review team meeting was held regarding this request and the others scheduled for June public hearings. Review team members in attendance included: the Sustainable Development and Construction Assistant Director of Engineering, the Board of Adjustment Chief Planner, the Board Administrator, the Building Inspection Senior Plans Examiner/Development Code Specialist, the Chief Arborist, the Sustainable Development and Construction Department Senior Planner, and the Assistant City Attorney to the Board.
- June 9, 2017: The Sustainable Development Department Assistant Director of Engineering submitted a review comment sheet marked “Recommends that this be denied” commenting “Original use had two off-street parking spaces. The other home lots also have two off-street parking spaces”.





1:1,200

AERIAL MAP

Case no: BDA167-072

Date: 5/16/2017

Long, Steve

From: Schmidt, Grant K. <GSchmidt@winston.com>
Sent: Wednesday, May 31, 2017 11:47 AM
To: Long, Steve
Cc: Duerksen, Todd; Law, Trena; Denman, Lloyd; Gilbert, Andrew; Monkhouse, Kristen; Walker, Chad B.; Justin Butterfield; Chelsey Youman
Subject: RE: BDA167-072, Property at 7103 Mumford Court
Attachments: 2017-05-31 CTC Letter to Board of Adjustment.pdf; 2017-02-24 Ltr fr GS to City Hall.pdf

Steve –

Attached is a letter on behalf of Congregation Toras Chaim, Rabbi Rich, Mark Gothelf, and Judith Gothelf for the Board's consideration at the staff meeting. (I also attached the February 24 letter for reference).

Thank you for your consideration. Please let us know if we can provide any additional information.

Grant

Grant K. Schmidt

Winston & Strawn LLP

D: +1 214-453-6469

M: +1 214-507-5042

winston.com

WINSTON
& STRAWN
LLP

From: Long, Steve [mailto:steve.long@dallascityhall.com]
Sent: Tuesday, May 09, 2017 10:09 AM
To: Schmidt, Grant K. <GSchmidt@winston.com>
Cc: Duerksen, Todd <todd.duerksen@dallascityhall.com>; Law, Trena <trena.law@dallascityhall.com>; Denman, Lloyd <lloyd.denman@dallascityhall.com>
Subject: BDA167-072, Property at 7103 Mumford Court

Dear Mr. Schmidt,

Here is information regarding your application to the board of adjustment referenced above:

1. The submitted application materials - all of which will be emailed to you, city staff, and the board members in a docket report about a week ahead of your tentatively scheduled June 20th Board of Adjustment Panel A public hearing.
2. The provision from the Dallas Development Code allowing the board to grant a variance to the off-street parking regulations (51A-3.102(d)(10)).
3. A document that provides your public hearing date and other deadlines for submittal of additional information to staff/the board.
4. The board's rule pertaining to documentary evidence.

Please carefully review the attached application materials to make sure they are complete, and within these materials, the Building Official's Report/second page of the application (page 2 of 10 in these attached materials). Contact Todd Duerksen at 214/948-4475 or at todd.duerksen@dallascityhall.com no later than 1 p.m., Wednesday, May 31st with regard to any information you feel is missing from your submittal or with regard to any amendment that you feel is necessary to address the issue at hand, specifically if for any reason you feel that the statement in his Building Official's report stating that the applicant proposes to construct/maintain a structure for a church use and provide 0 of the required 27 off-street parking spaces which will require a 27 space variance to the off-street parking regulations, or any other part of this report is incorrect. (Note that the discovery of any additional appeal needed beyond your requested off-street parking variance will result in postponement of the appeal until the panel's next regularly scheduled public hearing).

You may want to contact Lloyd Denman, City of Dallas Sustainable Development Department Assistant Director Engineering at 214/948-4354 or at Lloyd.Denman@DallasCityHall.com to determine if there is any additional information that may be needed from you in making a favorable recommendation to the board on your request.

Please write or call me at 214/670-4666 if I can be of any additional assistance to you on this application.

Thank you,

Steve

PS: If there is anything that you want to submit to the board beyond what you have included in your attached application materials, please feel free to email it to steve.long@dallascityhall.com or mail it to me at the following address by the deadlines attached in this email:

Steve Long, Board of Adjustment Administrator
City of Dallas Sustainable Development and Construction
1500 Marilla Street, Room 5BN
Dallas, Texas 75201

The contents of this message may be privileged and confidential. If this message has been received in error, please delete it without reading it. Your receipt of this message is not intended to waive any applicable privilege. Please do not disseminate this message without the permission of the author. Any tax advice contained in this email was not intended to be used, and cannot be used, by you (or any other taxpayer) to avoid penalties under applicable tax laws and regulations.

May 31, 2017

Steve Long
Administrator – Board of Adjustment
City Hall
1500 Marilla St., 5BN
Dallas, TX 75201

Re: Board of Adjustment – Congregation Toras Chaim – Parking Variance

Dear Steve:

On behalf of Congregation Toras Chaim (“CTC”), Rabbi Rich, Mark Gothelf, and Judith Gothelf, I respectfully write this letter to the Board so that a few additional points may be considered at the staff team meeting. For your reference, I am also incorporating and attaching the letter that I sent to the Board on February 24, 2017 (which was included in the application). First, I want to briefly respond to the concerns raised by the letters submitted by individuals, particularly as they relate to the public interest impact of granting a variance. Second, I want to clarify the number of required parking spaces and the number of available spaces.

Letters Received from Individuals

As the Board is aware, several individuals have submitted letters for consideration. The letters present several arguments that do not comport with the reality of CTC’s situation and do not bear on the variance standard. Additionally, these individuals only represent a small subset of the neighbors living near CTC (in fact, only *one* of the authors lives on Mumford Court).

CTC is a small Orthodox Jewish congregation. To say that CTC poses any type of safety concern flies in the face of reality. The only alleged safety concern set forth by some of the individuals relates to parking; however, members of CTC are prohibited from driving on the Sabbath and must therefore *walk* to worship. During the week, some members arrive in the morning or evening to worship (similar to, for example, a nanny, babysitter, friend, or family member stopping by to visit, or numerous bible study or small groups that meet throughout the City each week).

It is important to note that the Highlands of McKamy Homeowners Association (the authors of some of the letters) previously brought a lawsuit against Congregation Toras Chaim alleging the same concerns cited in their letters. When asked to offer examples of the alleged safety concerns, neighbors cited, for example: (1) the barking of their two Labrador retrievers when the dogs see members of CTC and therefore the waking up of the neighbor’s twin seventeen year olds; (2) “a young lady trying to push a baby carriage across the street that I had to stop and let her go;” and (3) a blind man who was crossing the street to

worship. The Court dismissed this lawsuit, finding that the Texas Religious Freedom Restoration Act and the Religious Land use and Institutionalized Persons Act protected CTC from the HOA's deed restrictions. CTC poses no safety concerns to its neighborhood and community.

If one were to drive down Mumford Court, CTC (7103 Mumford Court), it appears to be an attractive, nicely landscaped, and well-maintained residence, like any other on the street. Despite its limited resources, CTC congregants spend substantial resources and time to maintain the exterior appearance of the residence in a way that will benefit the overall appearance of the neighborhood and home values. If, however, the variance is denied, CTC might be forced to pursue a parking lot and screening arrangement so that it can meet the off-street parking requirements. This outcome would harm, rather than help, the appearance of the neighborhood and attendant home values.

There is no evidence that CTC's presence in the neighborhood has negatively impacted home values. In fact, there are several neighbors who often seek to locate closer to places of worship so that they can have a place to walk to on the Sabbath.

As the Board well knows, the standard that it must consider is whether the variance "is necessary to permit development of a specific parcel of land that differs from other parcels of land by being of such a restrictive area, shape, or slope that it cannot be developed in a manner commensurate with the development upon other parcels of land with the same zoning." CTC is faced with three front yards (as well as a HOA brick wall on one side of the property). This layout is restrictive in that it would be essentially impossible to achieve the requisite parking spaces without tearing down a portion of the property and constructing a parking lot. It is in the public interest for CTC to be provided a variance, so that no significant or intrusive steps must be taken.

The Number of Required Off Street Parking and Available Off Street Parking

We also seek to provide additional context for the number of off street parking space reductions sought in the application. Although the current application seeks a 27 parking spot reduction, we have reason to believe that the number will be lowered to 13 given that CTC is making the proper adjustments to the square footage of its worship space.

Additionally, CTC has land immediately off of the alley where it can park two to three vehicles. These three spots do not count towards the 13 required spaces due to a screening requirement as explained by the City of Dallas. CTC, however, can still use these spaces for a maintenance truck, a visitor, etc.

In conclusion, my client, CTC, simply wishes to maintain its place of worship without having to make significant changes to its property that are not feasible financially and which would harm the neighborhood, not help it.

CTC brings this application so that it may achieve, through the proper channels, full compliance with the City's requirements and expectations of each property. While some individuals may not like the idea of CTC worshipping at 7103 Mumford Court, there is no doubt that CTC poses no safety risks to its surrounding community members, and, instead, seeks to only benefit the community and neighborhood.

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BDA 167-072

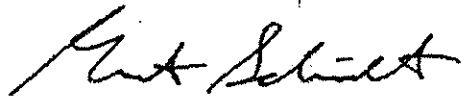
Attach A PJS

May 31, 2017

Page 3

I look forward to meeting with you on June 20. Please let me know if we can provide any additional information.

Respectfully,



Grant Schmidt

FISH.
FISH & RICHARDSON

BDA 167-072
Attach A pg 6

Fish & Richardson P.C.
1717 Main Street
Suite 5000
Dallas, TX 75201
214 747 5070 main
214 747 2091 fax

February 24, 2017

Grant K. Schmidt
Associate
gschmidt@fr.com
214 760 6128 direct

Steve Long
Administrator – Board of Adjustment
City Hall
1500 Marilla St., 5BN
Dallas, TX 75201

Todd Duerksen
320 E. Jefferson Blvd., Room 105
Dallas, TX 75203

Re: *City of Dallas v. Mark B. Gothelf, Judith D. Gothelf and Congregation Toras Chaim, Inc. dba Congregation Toras Chaim*

Dear Mr. Long and Mr. Duerksen:

I represent Congregation Toras Chaim ("CTC") in the above-referenced action brought by the City of Dallas (the "City"). CTC is a small Orthodox Jewish congregation that meets at 7103 Mumford Court, Dallas, TX 75252 (the "Property"), where about twenty-five neighborhood congregants walk to gather for worship on Saturdays, and a smaller number of congregants gather throughout the week. CTC is pursuing a variance regarding parking requirements for the Property. In particular, CTC intends to seek a variance on all 27 required off street parking spaces. This is a cover letter for the variance application. This packet includes (a) 2 Application forms; (b) 2 Affidavit forms; (c) 1 Warranty Deed; (d) a copy of the certified subdivision plot; (e) 1 lien statement; (f) 4 copies of the site plan; (g) 4 copies of the elevation drawings; (h) 4 copies of the floor plan; (i) a check for \$3630.00 in this application (\$900 + (27 x \$100) + (3 x \$10)); and (j) a smaller copy of each drawing as requested.

Regarding the parking analysis and/or traffic study, CTC does not have any parking analysis or traffic study to offer because CTC members generally do not drive to worship. Orthodox Jews are prohibited from driving on the Sabbath; these families therefore must live within walking distance of a synagogue to attend prayer services on the Sabbath. Therefore, CTC would be unable to provide a parking analysis or traffic study. This is consistent with CTC's request to reduce the 27 parking space requirement.

CTC is pursuing a variance because the area, shape, and slope prevents CTC from developing the land in a manner commensurate with the development upon other parcels of land in the district with the same zoning classification. Second, there are essentially three front yards given the location of CTC's property. Third, there are two brick walls owned by the Homeowners' Association on two

fr.com



February 24, 2017

sides of the property. Furthermore, CTC has been instructed by the City that no car could enter the back of the home due to the alley screening issues. For these reasons, CTC requires a reduction in the required off street parking requirements (27 spaces). The implementation of this variance would not be contrary to the public interest (in fact, it would be consistent with the public interest) and would otherwise result in an unnecessary hardship for CTC. This variance is not being pursued to relieve a self-created or personal hardship.

CTC intends to seek a fee reimbursement as the filing fee has resulted in a substantial financial hardship for CTC. CTC is a non-profit religious organization. CTC generates no profit, and any money that CTC spends must come from donations or fundraising efforts. Furthermore, the application fee constitutes a significant percentage of CTC's monthly operating expenses, and it already struggles to meet those obligations, often failing to pay the salary of its one full-time employee, Rabbi Rich.

Please contact me if you have any questions or if I may provide any additional information regarding the variance application.

Respectfully,

Grant K. Schmidt

- cc: Andrew Gilbert, Assistant City Attorney
- Justin Butterfield, First Liberty
- Chad Walker, Fish & Richardson



A

APPLICATION/APPEAL TO THE BOARD OF ADJUSTMENT

Case No.: BDA 167-072

Data Relative to Subject Property:

Date: 2/24/17

Location address: 7103 Mumford Ct., Dallas, TX 75252 Zoning District: R-7.5(A)

Lot No.: 45 Block No.: 8788¹⁰/8758 Acreage: .29 Census Tract: 317.19

Street Frontage (in Feet): 1) 100 2) 126 3) 90 4) _____ 5) _____

To the Honorable Board of Adjustment :

Owner of Property (per Warranty Deed): Mark Gotthelf + Judith Gotthelf

Applicant: ~~Congregation Texas Chalm~~ Telephone: ~~472-835-6016~~

Mailing Address: ~~7103 Mumford Ct., Dallas, TX~~ Zip Code: ~~75252~~

E-mail Address: ~~fabbie@brascchalm.dallas.org~~

Represented by: Grant Schmidt Telephone: 214-507-5042

Mailing Address: 1717 Main St., Suite 1000 Zip Code: 75201

E-mail Address: ~~grantschmidt12@gmail.com~~ gschmidt@winston.com

Affirm that an appeal has been made for a Variance , or Special Exception _____, of a reduction in required off street parking spaces (27)

Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to grant the described appeal for the following reason:

The restrictive area, shape, + slope prevents Mark Gotthelf (and Congregation Texas Chalm) from developing the land in a manner commensurate with the developments upon other parcels of land in the district with the same zoning classification. There are essentially three front yards (with a brick wall subboundary 2 sides) and no car could enter back due to alley screening.

Note to Applicant: If the appeal requested in this application is granted by the Board of Adjustment, a permit must be applied for within 180 days of the date of the final action of the Board, unless the Board specifically grants a longer period.

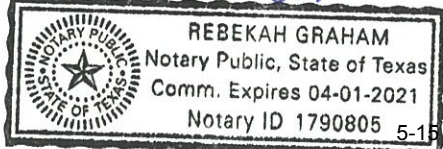
Affidavit

Before me the undersigned on this day personally appeared Grant Schmidt (Affiant/Applicant's name printed)

who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner/or principal/or authorized representative of the subject property.

Respectfully submitted: [Signature] (Affiant/Applicant's signature)

Subscribed and sworn to before me this 24th day of February, 2017



Rebekah Graham
Notary Public in and for Dallas County, Texas

(Rev. 08-01-11)

**MEMORANDUM OF
ACTION TAKEN BY THE
BOARD OF ADJUSTMENT**

Date of Hearing _____

Appeal was—Granted OR Denied _____

Remarks _____

Chairman

Building Official's Report

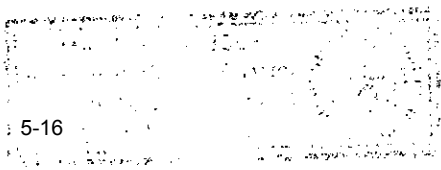
I hereby certify that Grant Schmidt

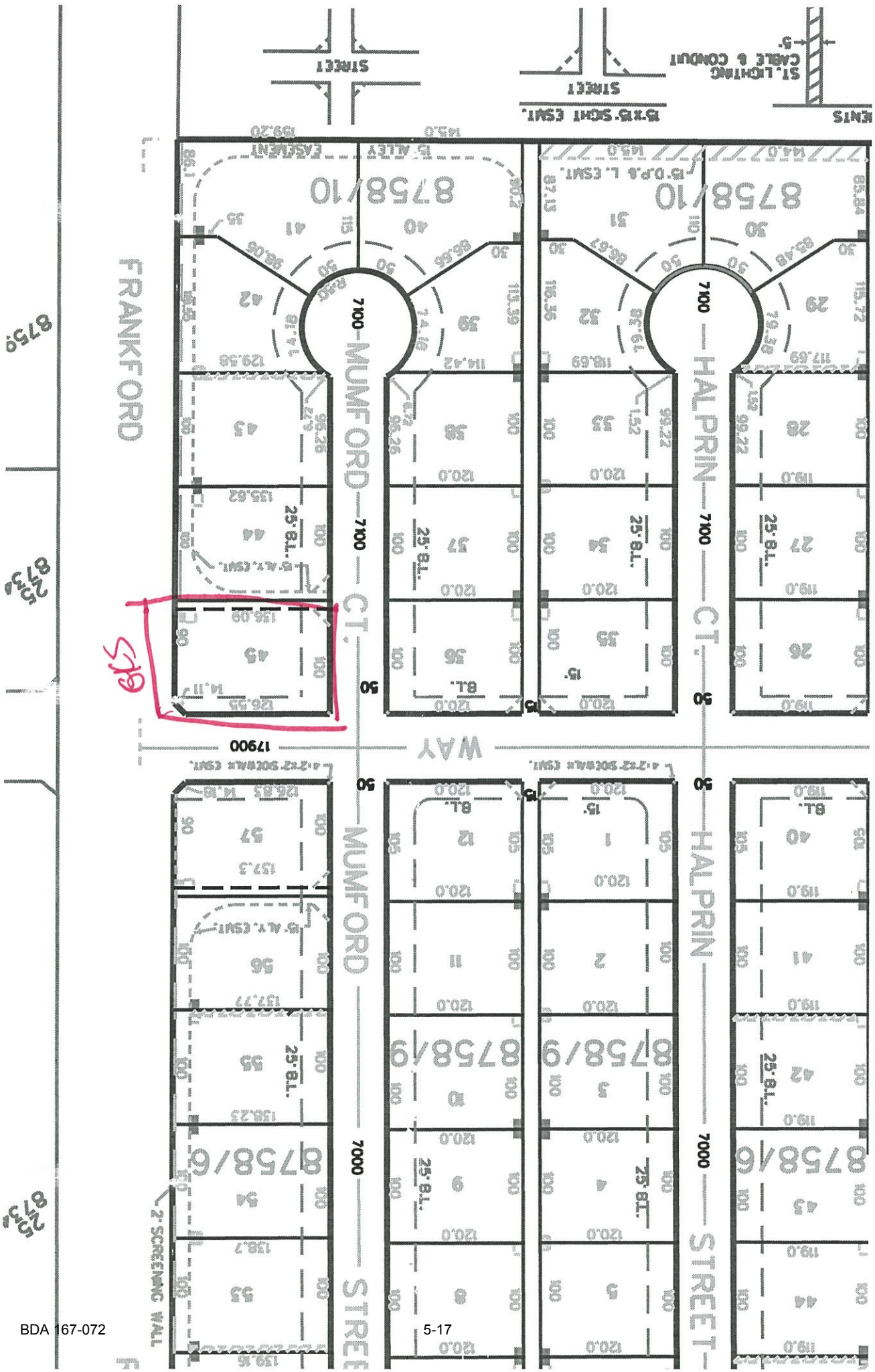
did submit a request for a variance to the parking regulations
at 7103 Mumford Court

BDA167-072. Application of Grant Schmidt for a variance to the parking regulations at 7103 Mumford Court. This property is more fully described as Lot 45, Block 10/8758, and zoned R-7.5(A), which requires parking to be provided. The applicant proposes to construct a nonresidential structure for a church use, and provide 0 of the required 27 parking spaces which will require a 27 space variance to the parking regulation.

Sincerely,

Philip Sikes
Philip Sikes, Building Official





8750

8750

8750

City of Dallas

Internal Development Research Site

Legend

Locate Property

Search by:

GIS Account #

Locate

OR

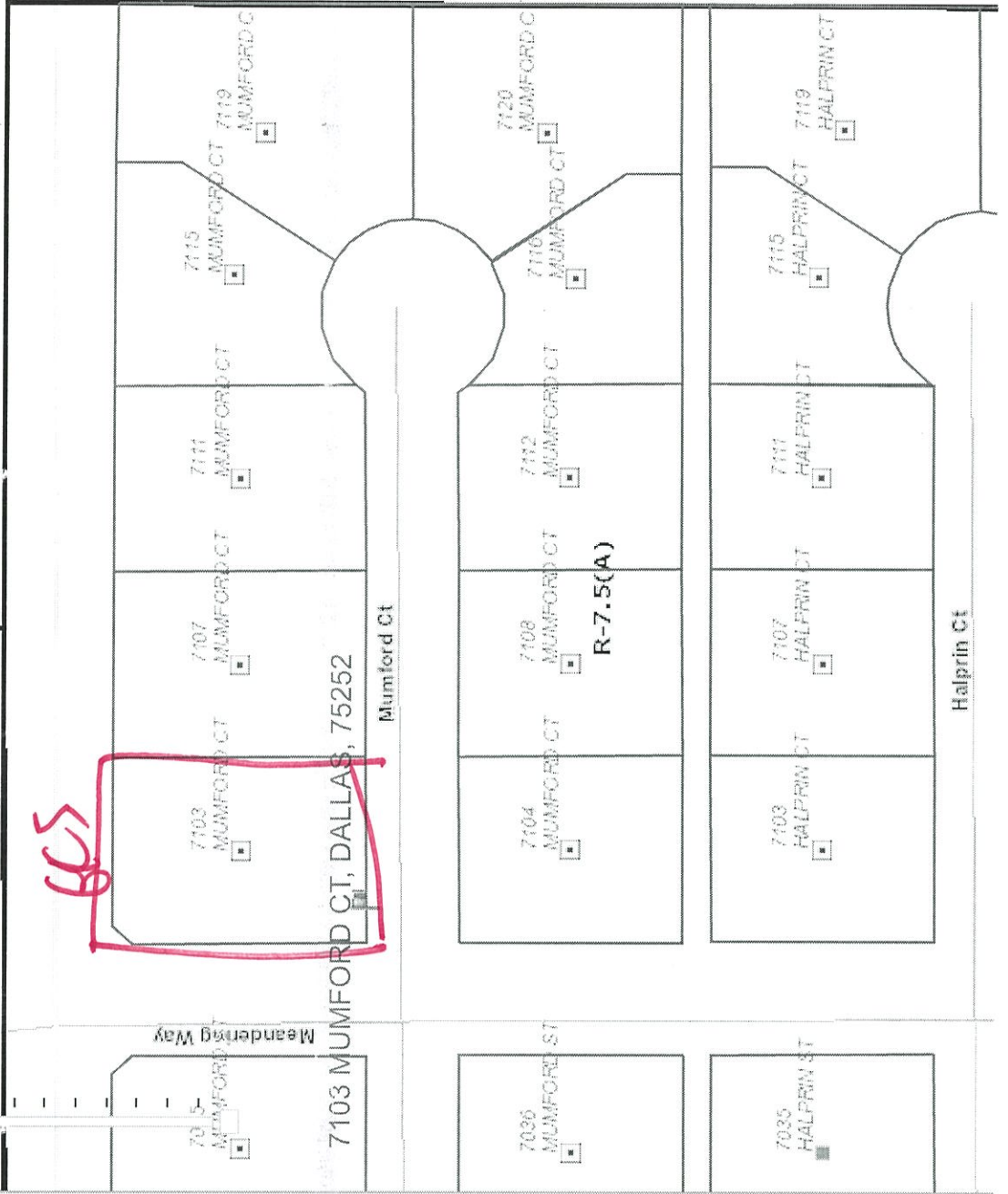
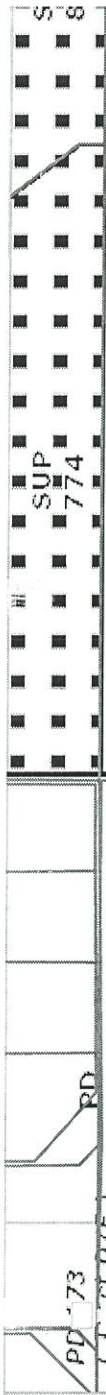
Street address.
7103 mumford

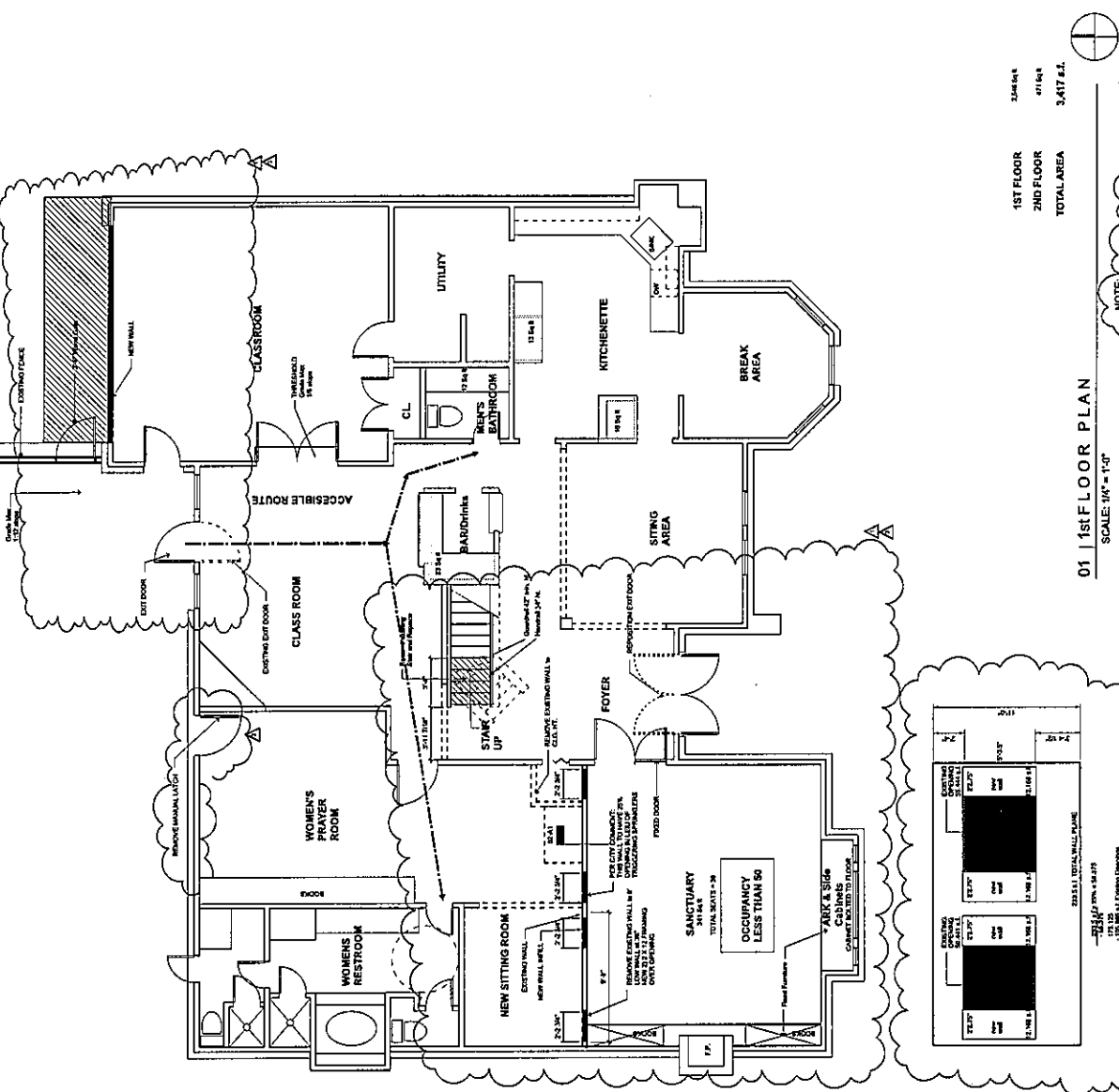
Locate

OR

Parcel address.
Use street type for better re

Locate



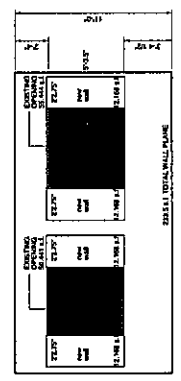


1ST FLOOR	3264 sq ft
2ND FLOOR	471 sq ft
TOTAL AREA	3417 sq ft

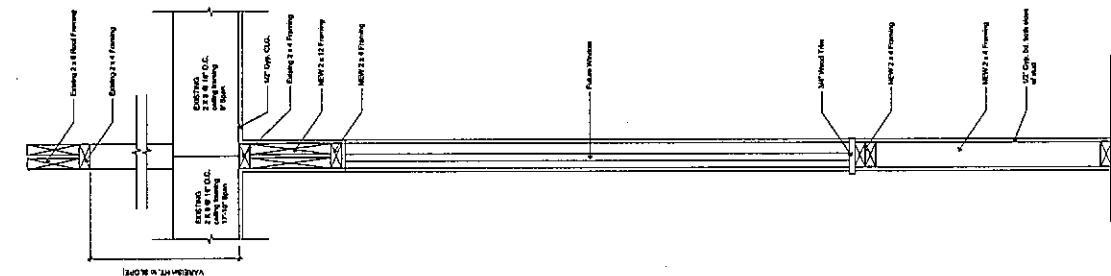


01 | 1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"

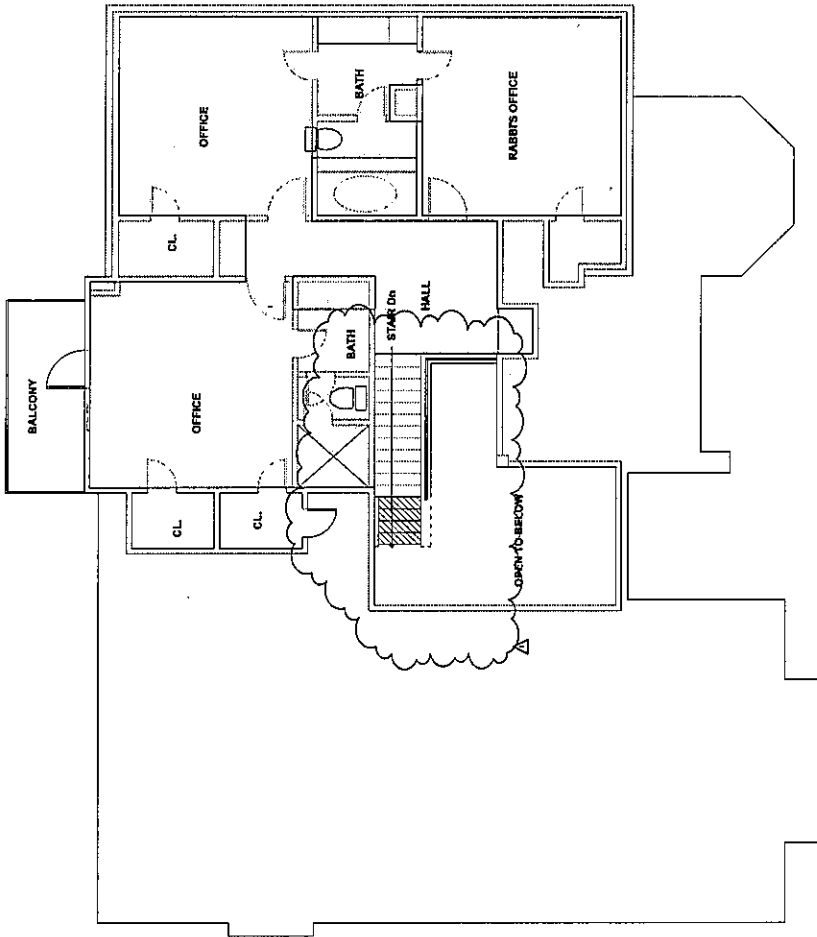
- NOTE:
1. CODE COMPLIANT EXIT LIGHTING AT EACH EXIT DOORS
 2. HANDRAILS AT STAIRS REQUIRED ON ONE SIDE.
 3. ALL EXIT DOORS TO OPENING TO THE OUTSIDE



02 | WALL SCREEN RATIO
SCALE: 1/4" = 1'-0"



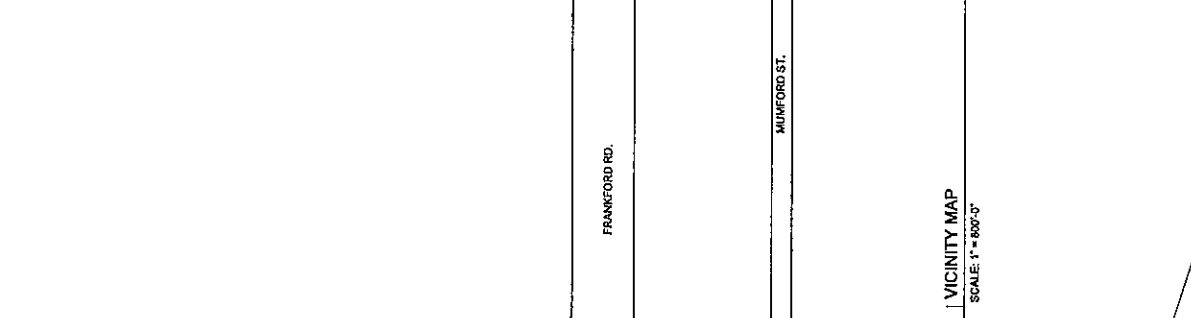
02 | WALL DETAIL
SCALE: 1 1/2" = 1'-0"



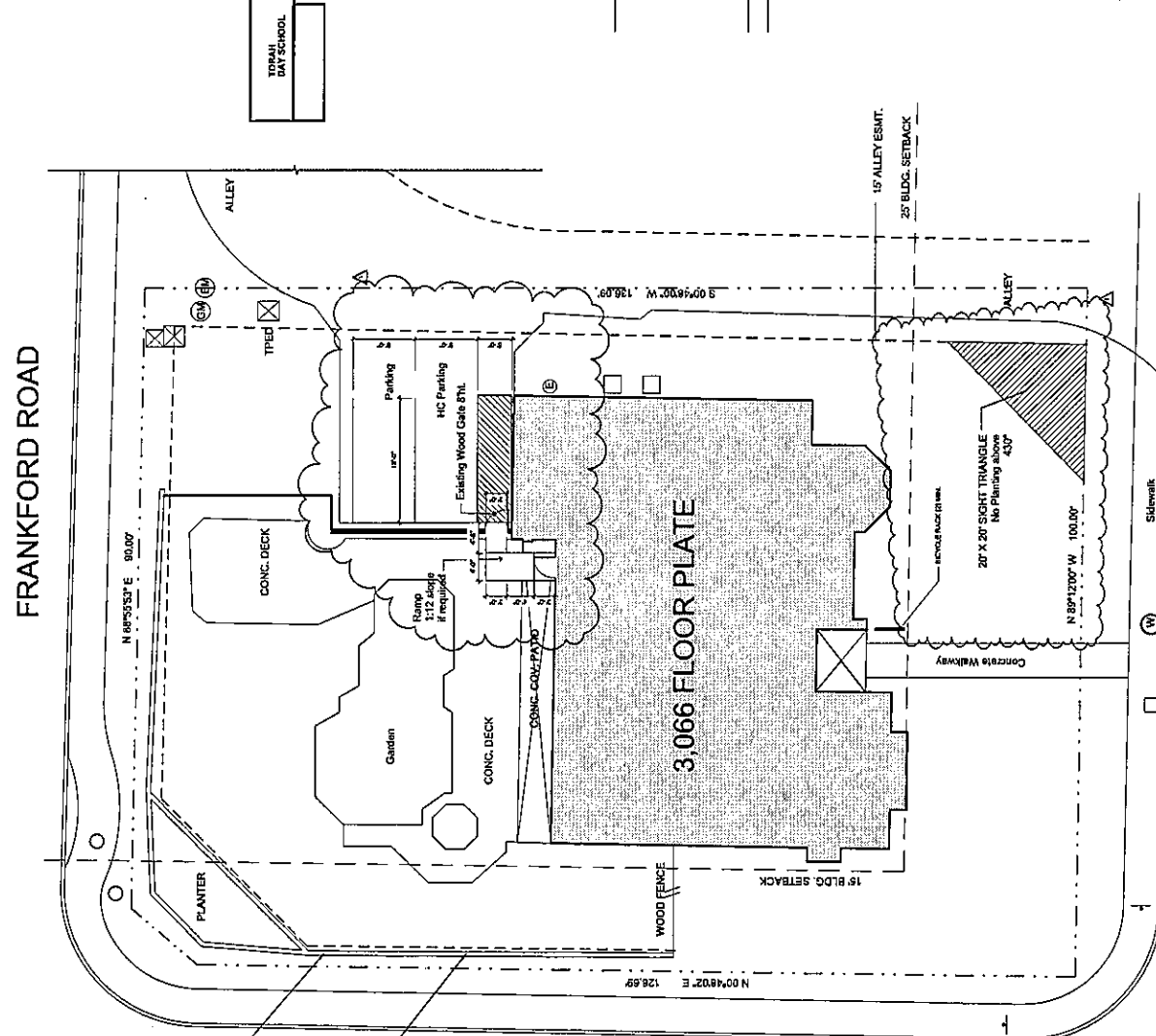
01 | 2nd FLOOR PLAN
SCALE: 1/4" = 1'-0"
OCCUPANCY 5

Designer: [Signature]
 Date: 01/15/2024
 Project: 167-072
 Sheet: A-3

02 | VICINITY MAP
 SCALE: 1" = 800'-0"



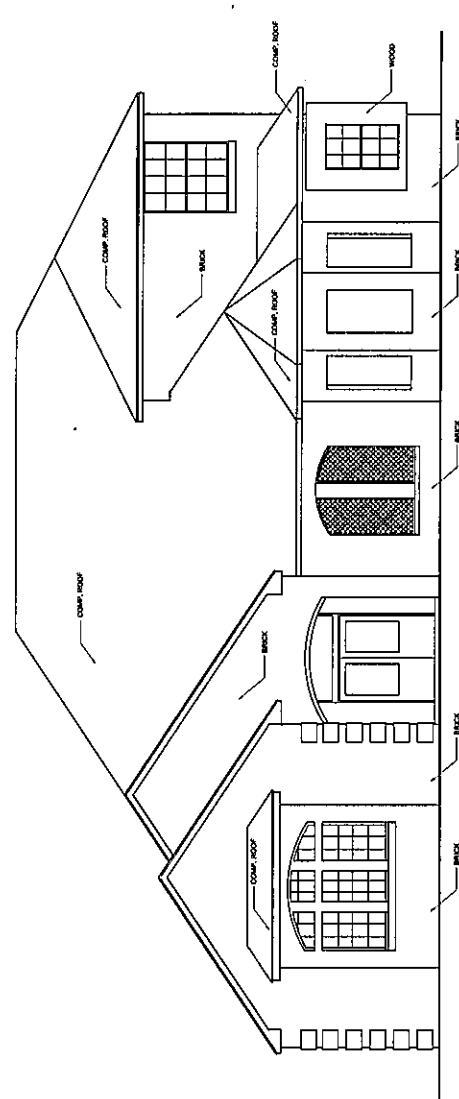
01 | SITE PLAN
 SCALE: 1/8" = 1'-0"



LANDSCAPE ESMT.
 BRICK WALL PER HOA 6"

FRANKFORD ROAD
 MEANDERING WAY
 MUMFORD COURT

BDA 167-072



01 | FRONT ELEVATION
SCALE: 1/4" = 1'-0"

Fish & Richardson P.C.
1717 Main Street
Suite 5000
Dallas, TX 75201
214 747 5070 main
214 747 2091 fax

February 24, 2017

Grant K. Schmidt
Associate
gschmidt@fr.com
214 760 6128 direct

Steve Long
Administrator – Board of Adjustment
City Hall
1500 Marilla St., 5BN
Dallas, TX 75201

Todd Duerksen
320 E. Jefferson Blvd., Room 105
Dallas, TX 75203

Re: *City of Dallas v. Mark B. Gothelf, Judith D. Gothelf and Congregation Toras Chaim, Inc. dba Congregation Toras Chaim*

Dear Mr. Long and Mr. Duerksen:

I represent Congregation Toras Chaim (“CTC”) in the above-referenced action brought by the City of Dallas (the “City”). CTC is a small Orthodox Jewish congregation that meets at 7103 Mumford Court, Dallas, TX 75252 (the “Property”), where about twenty-five neighborhood congregants walk to gather for worship on Saturdays, and a smaller number of congregants gather throughout the week. CTC is pursuing a variance regarding parking requirements for the Property. In particular, CTC intends to seek a variance on all 27 required off street parking spaces. This is a cover letter for the variance application. This packet includes (a) 2 Application forms; (b) 2 Affidavit forms; (c) 1 Warranty Deed; (d) a copy of the certified subdivision plot; (e) 1 lien statement; (f) 4 copies of the site plan; (g) 4 copies of the elevation drawings; (h) 4 copies of the floor plan; (i) a check for \$3630.00 in this application (\$900 + (27 x \$100) + (3 x \$10)); and (j) a smaller copy of each drawing as requested.

Regarding the parking analysis and/or traffic study, CTC does not have any parking analysis or traffic study to offer because CTC members generally do not drive to worship. Orthodox Jews are prohibited from driving on the Sabbath; these families therefore must live within walking distance of a synagogue to attend prayer services on the Sabbath. Therefore, CTC would be unable to provide a parking analysis or traffic study. This is consistent with CTC’s request to reduce the 27 parking space requirement.

CTC is pursuing a variance because the area, shape, and slope prevents CTC from developing the land in a manner commensurate with the development upon other parcels of land in the district with the same zoning classification. Second, there are essentially three front yards given the location of CTC’s property. Third, there are two brick walls owned by the Homeowners’ Association on two

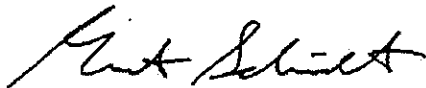
February 24, 2017

sides of the property. Furthermore, CTC has been instructed by the City that no car could enter the back of the home due to the alley screening issues. For these reasons, CTC requires a reduction in the required off street parking requirements (27 spaces). The implementation of this variance would not be contrary to the public interest (in fact, it would be consistent with the public interest) and would otherwise result in an unnecessary hardship for CTC. This variance is not being pursued to relieve a self-created or personal hardship.

CTC intends to seek a fee reimbursement as the filing fee has resulted in a substantial financial hardship for CTC. CTC is a non-profit religious organization. CTC generates no profit, and any money that CTC spends must come from donations or fundraising efforts. Furthermore, the application fee constitutes a significant percentage of CTC's monthly operating expenses, and it already struggles to meet those obligations, often failing to pay the salary of its one full-time employee, Rabbi Rich.

Please contact me if you have any questions or if I may provide any additional information regarding the variance application.

Respectfully,



Grant K. Schmidt

cc: Andrew Gilbert, Assistant City Attorney

Justin Butterfield, First Liberty

Chad Walker, Fish & Richardson



CITY OF DALLAS

AFFIDAVIT

Appeal number: BDA 167-072

I, Judith Gothelf, Owner of the subject property
(Owner or "Grantee" of property as it appears on the Warranty Deed)

at: 7103 Mumford Court, Dallas, TX 75252
(Address of property as stated on application)

Authorize: Grant Schmidt
(Applicant's name as stated on application)

To pursue an appeal to the City of Dallas Zoning Board of Adjustment for the following request(s)

- Variance (specify below)
- Special Exception (specify below)
- Other Appeal (specify below)

Specify: A variance to reduce the number of required off street parking

Judith Gothelf
Print name of property owner or registered agent

Judith A Gothelf
Signature of property owner or registered agent

Date 3/21/17

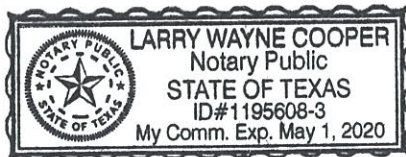
Before me, the undersigned, on this day personally appeared Judith Gothelf

Who on his/her oath certifies that the above statements are true and correct to his/her best knowledge.

Subscribed and sworn to before me this 21th day of March, 2017

Larry Cooper
Notary Public for Dallas County, Texas

Commission expires on 05-01-2020





AFFIDAVIT

Appeal number: BDA 167-072

I, Mark Gothelf, Owner of the subject property
(Owner or "Grantee" of property as it appears on the Warranty Deed)

at: 7103 Mumford Court, Dallas, TX 75252
(Address of property as stated on application)

Authorize: Grant Schmidt
(Applicant's name as stated on application)

To pursue an appeal to the City of Dallas Zoning Board of Adjustment for the following request(s)

- Variance (specify below)
- Special Exception (specify below)
- Other Appeal (specify below)

Specify: A variance to reduce the number of required off street parking spaces

Mark Gothelf
Print name of property owner or registered agent

Mark B Gothelf
Signature of property owner or registered agent

Date 2/23/17

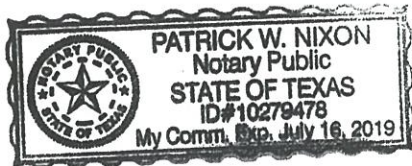
Before me, the undersigned, on this day personally appeared MARK B Gothelf

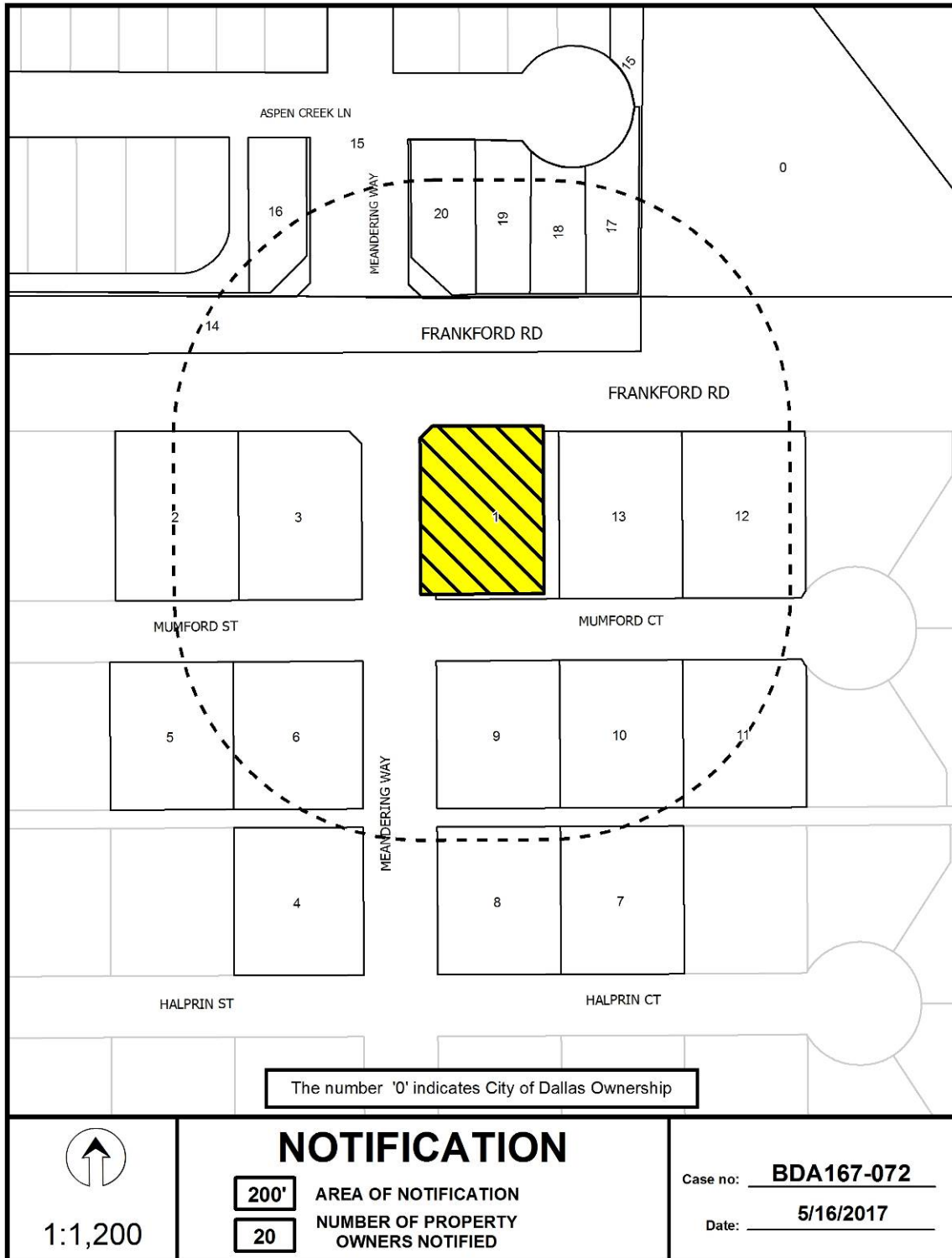
Who on his/her oath certifies that the above statements are true and correct to his/her best knowledge.

Subscribed and sworn to before me this 23 day of FEBRUARY, 2017

Patrick Nixon
Notary Public for Dallas County, Texas

Commission expires on 7-16-2019





1:1,200

NOTIFICATION

200' AREA OF NOTIFICATION
20 NUMBER OF PROPERTY OWNERS NOTIFIED

Case no: **BDA167-072**

Date: **5/16/2017**

Notification List of Property Owners

BDA167-072

20 Property Owners Notified

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
1	7103 MUMFORD CT	GOTHELF MARK B &
2	7031 MUMFORD ST	MCKENZIE MICHELLE L LEVESQUE & STEVEN N
3	7035 MUMFORD ST	SCHNEIDER DAVID R &
4	7035 HALPRIN ST	JOHNSON JAMES W ETUX
5	7032 MUMFORD ST	DAVID NATALIE E & JOSEPH D
6	7036 MUMFORD ST	NGUYEN VU DANG
7	7107 HALPRIN CT	BEISWANGER JOHN P
8	7103 HALPRIN CT	YANCEY BARRY & MARYBETH
9	7104 MUMFORD CT	RINGELHEIM ABRAHAM & MINNA
10	7108 MUMFORD CT	COLMERY ROBERT D JR ETUX
11	7112 MUMFORD CT	COATES DAWN E
12	7111 MUMFORD CT	NEELY JANETTE & JOHN
13	7107 MUMFORD CT	FORD DALVIN WAYNE SR &
14	FRANKFORD RD	CHURCHILL GLEN LP
15		HIGHLAND CREEK MANOR
16	7048 ASPEN CREEK LN	SHERMAN HILARY & SHERMAN GALE ALLEN LIVING TRUST
17	7124 ASPEN CREEK LN	STONE HOLLY NANETTE
18	7118 ASPEN CREEK LN	SCHIRATO JUDITH A
19	7112 ASPEN CREEK LN	RUBY RED RESOURCES LP
20	7106 ASPEN CREEK LN	WATERS KAYLA M