

ZONING BOARD OF ADJUSTMENT, PANEL B  
WEDNESDAY, AUGUST 21, 2019  
AGENDA

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|                |  |            |
|----------------|--|------------|
| BRIEFING       | L1FN AUDITORIUM<br>1500 MARILLA STREET<br>DALLAS CITY HALL | 11:00 A.M. |
| PUBLIC HEARING | L1FN AUDITORIUM<br>1500 MARILLA STREET<br>DALLAS CITY HALL | 1:00 P.M.  |

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**Neva Dean, Assistant Director**  
**Steve Long, Board Administrator/Chief Planner**

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**BRIEFING ITEM**

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Briefing on recent state legislation affecting the Board of Adjustment  
Theresa Pham, Assistant City Attorney

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**MISCELLANEOUS ITEM**

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|   |    |
|---|----|
| Approval of the June 19, 2019 Board of Adjustment<br>Panel B Public Hearing Minutes | M1 |
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**UNCONTESTED CASES**

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|                       |   |   |
|-----------------------|---|---|
| <b>BDA189-077(SL)</b> | 5609 Del Roy Drive<br><b>REQUEST:</b> Application of Arnold Allgood for special exceptions to the visual obstruction regulations                                | 1 |
| <b>BDA189-086(SL)</b> | 6761 Country Club Circle<br><b>REQUEST:</b> Application of Joseph Thomas Murts, represented by Tommy Dewitt, for variance to the front yard setback regulations | 2 |
| <b>BDA189-087(SL)</b> | 437 Singleton Boulevard<br><b>REQUEST:</b> Application of Enrique Bernal, represented by Nathan Forti, for a variance to the front yard setback regulations     | 3 |

**BDA189-090(SL)** 7132 Casa Loma Avenue 4  
**REQUEST:** Application of Elton Johnson for a variance to the side yard setback regulations

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**HOLDOVER CASE**

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**BDA189-055(SL)** 1906 Greenville Avenue 5  
**REQUEST:** Application of Michael Farah, represented by Jonathan Vinson of Jackson Walker, to appeal the decision of the administrative official

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## EXECUTIVE SESSION NOTICE

A closed executive session may be held if the discussion of any of the above agenda items concerns one of the following:

1. seeking the advice of its attorney about pending or contemplated litigation, settlement offers, or any matter in which the duty of the attorney to the City Council under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with the Texas Open Meetings Act. [Tex. Govt. Code §551.071]
2. deliberating the purchase, exchange, lease, or value of real property if deliberation in an open meeting would have a detrimental effect on the position of the city in negotiations with a third person. [Tex. Govt. Code §551.072]
3. deliberating a negotiated contract for a prospective gift or donation to the city if deliberation in an open meeting would have a detrimental effect on the position of the city in negotiations with a third person. [Tex. Govt. Code §551.073]
4. deliberating the appointment, employment, evaluation, reassignment, duties, discipline, or dismissal of a public officer or employee; or to hear a complaint or charge against an officer or employee unless the officer or employee who is the subject of the deliberation or hearing requests a public hearing. [Tex. Govt. Code §551.074]
5. deliberating the deployment, or specific occasions for implementation, of security personnel or devices. [Tex. Govt. Code §551.076]
6. discussing or deliberating commercial or financial information that the city has received from a business prospect that the city seeks to have locate, stay or expand in or near the city and with which the city is conducting economic development negotiations; or deliberating the offer of a financial or other incentive to a business prospect. [Tex Govt. Code §551.087]
7. deliberating security assessments or deployments relating to information resources technology, network security information, or the deployment or specific occasions for implementations of security personnel, critical infrastructure, or security devices. [Tex. Govt. Code §551.089]

**FILE NUMBER:** BDA189-077(SL)

**BUILDING OFFICIAL'S REPORT:** Application of Arnold Allgood for special exceptions to the visual obstruction regulations at 5609 Del Roy Drive. This property is more fully described as Lot 1, Block 9/6383, and is zoned R-16(A), which requires 20 foot visibility triangles at driveway and alley approaches. The applicant proposes to locate and/or maintain items in required visibility triangles, which will require special exceptions to the visual obstruction regulations.

**LOCATION:** 5609 Del Roy Drive

**APPLICANT:** Arnold Allgood

**REQUESTS:**

Requests for special exceptions to the visual obstructions have been made to maintain a 9' high board-on-board wood fence on a site that is developed with a single-family home located in:

1. the two 20' visibility triangles at the drive approach into the site from Nuestra Drive; and
2. the 20' visibility triangle at where the alley meets Nuestra Drive.

**STANDARD FOR A SPECIAL EXCEPTION TO THE VISUAL OBSTRUCTION REGULATIONS:**

Section 51A-4.602(d) (3) of the Dallas Development Code states that the Board shall grant a special exception to the requirements of the visual obstruction regulations when, in the opinion of the Board, the item will not constitute a traffic hazard.

**STAFF RECOMMENDATION:**

Approval, subject to the following condition:

- Compliance with the submitted site plan and elevation is required.

Rationale:

- The Sustainable Development Department Senior Engineer has no objections to the requests.
- Staff concluded that requests for special exceptions to the visual obstruction regulations should be granted (with the suggested condition imposed) because the items to be maintained in the three 20' visibility triangles do not constitute a traffic hazard.

**BACKGROUND INFORMATION:**

## **Zoning:**

Site: R-16(A) (Single family district 16,000 square feet)  
North: R-16(A) (Single family district 16,000 square feet)  
South: R-16(A) (Single family district 16,000 square feet)  
East: R-16(A) (Single family district 16,000 square feet)  
West: R-16(A) (Single family district 16,000 square feet)

## **Land Use:**

The subject site is developed with a single-family home. The areas to the north, south, east, and west are developed with single-family uses.

## **Zoning/BDA History:**

There have not been any recent related board or zoning cases recorded either on or in the immediate vicinity of the subject site.

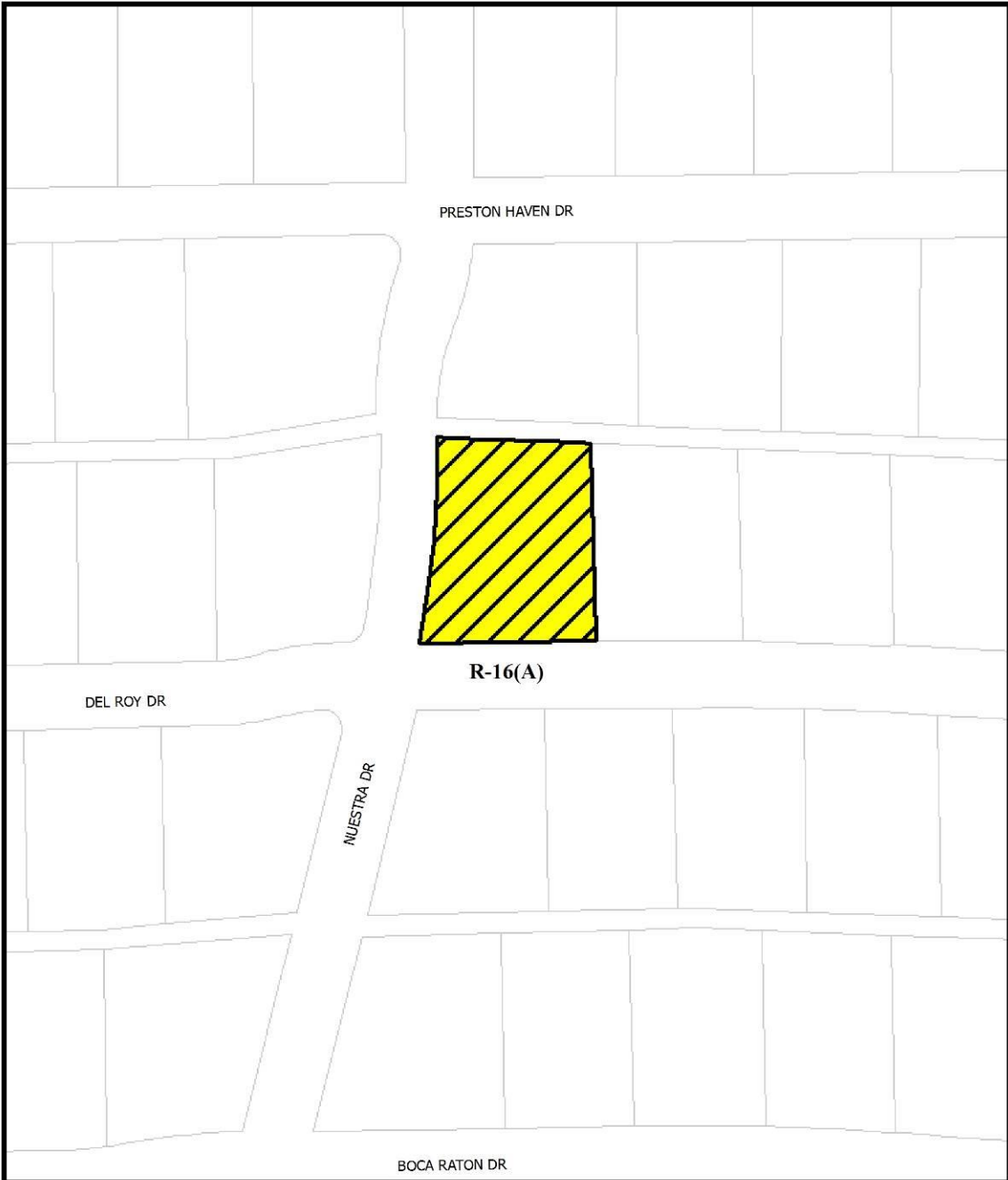
## **GENERAL FACTS/STAFF ANALYSIS:**

- The requests for special exceptions to the visual obstruction regulations on a site developed with a single-family home focus on maintaining a 9' high solid board-on-board wood fence located in the two 20' visibility triangles at the drive approach into the site from Nuestra Drive; and in the 20' visibility triangle at where the alley meets Nuestra Drive.
- Section 51A-4.602(d) of the Dallas Development Code states the following: a person shall not erect, place, or maintain a structure, berm, plant life or any other item on a lot if the item is:
  - in a visibility triangle as defined in the Code (45-foot visibility triangles at street intersections and 20-foot visibility triangles at drive approaches and at alleys on properties zoned single family); and
  - between two and a half and eight feet in height measured from the top of the adjacent street curb (or the grade of the portion on the street adjacent to the visibility triangle).
- The property is located in R-16(A) zoning district which requires the portion of a lot with a triangular area formed by connecting together the point of intersection of the edge of a driveway or alley and the adjacent street curb line (or, if there is no street curb, what would be the normal street curb line) and points on the driveway or alley edge end the street curb line 20 feet from the intersection.
- A site plan and elevation have been submitted indicating portions of a 9' high solid board-on-board wood fence located in the two 20' visibility triangles at the drive approach into the site from Nuestra Drive; and in the 20' visibility triangle at where the alley meets Nuestra Drive.
- The Sustainable Development Department Senior Engineer has submitted a review comment sheet marked "Has no objections".

- The applicant has the burden of proof in establishing how granting these requests does not constitute a traffic hazard.
- Granting these requests with a condition imposed that the applicant complies with the submitted site plan and elevation would limit the items to be maintained in the two 20' visibility triangles at the drive approach into the site from Nuestra Drive; and in the 20' visibility triangle at where the alley meets Nuestra Drive, to that what is shown on these documents.
- Granting these requests will not provide any exception from any existing or proposed noncompliance on the site with regard to fence standards regulations.

**Timeline:**

- April 24, 2019: The applicant submitted an "Application/Appeal to the Board of Adjustment" and related documents which have been included as part of this case report.
- July 10, 2019: The Board of Adjustment Secretary randomly assigned this case to Board of Adjustment Panel B.
- July 10, 2019: The Board of Adjustment Chief Planner/Board Administrator emailed the applicant the following information:
- a copy of the application materials including the Building Official's report on the application;
  - an attachment that provided the public hearing date and panel that will consider the application; the July 31<sup>st</sup> deadline to submit additional evidence for staff to factor into their analysis; and the August 9<sup>th</sup> deadline to submit additional evidence to be incorporated into the Board's docket materials;
  - the criteria/standard that the board will use in their decision to approve or deny the request; and
  - the Board of Adjustment Working Rules of Procedure pertaining to "documentary evidence."
- August 6, 2019: The Board of Adjustment staff review team meeting was held regarding this request and the others scheduled for the August public hearings. Review team members in attendance included: the Sustainable Development and Construction Assistant Director, the Building Official, the Assistant Building Official, the Board of Adjustment Chief Planner/Board Administrator, the Sustainable Development and Construction Senior Engineer, the Building Inspection Senior Plans Examiner/Development Code Specialist, and the Assistant City Attorney to the Board.
- August 7, 2019: The Sustainable Development Department Senior Engineer has submitted a review comment sheet marked "Has no objections".

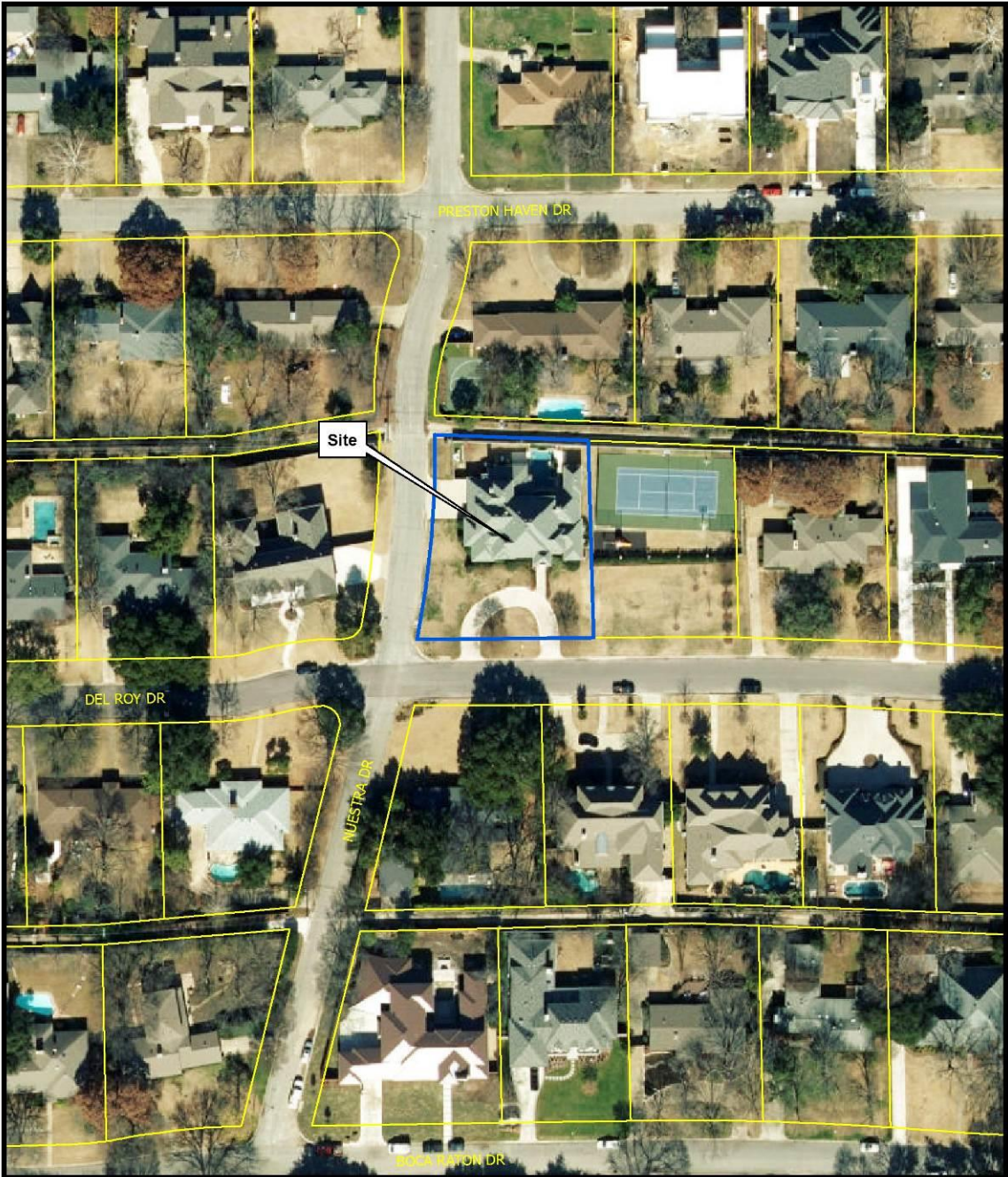


1:1,200

# ZONING MAP

Case no: BDA189-077

Date: 7/12/2019



1:1,200

# AERIAL MAP

Case no: BDA189-077

Date: 7/12/2019





City of Dallas

B

APPLICATION/APPEAL TO THE BOARD OF ADJUSTMENT

Case No.: BDA 189-077

Date: 4-24-19

Data Relative to Subject Property:

Location address: 5609 Del Roy Drive, Dallas TX 75230 Zoning District: R16(A)

Lot No.: 1 Block No.: 9/6383 Acreage: .471 Census Tract: 134.00

Street Frontage (in Feet): 1) 135' 2) 152' 3) \_\_\_\_\_ 4) \_\_\_\_\_ 5) \_\_\_\_\_

To the Honorable Board of Adjustment :

Owner of Property (per Warranty Deed): Arnold Alexander Allgood and Doree L. Allgood

Applicant: Arnold Allgood Telephone: (214) 257-7817

Mailing Address: 5609 Del Roy Dr, Dallas, TX 75230 Zip Code: 75230

E-mail Address: alex.allgood@outlook.com

Represented by: N/A Telephone: N/A

Mailing Address: N/A Zip Code: N/A

E-mail Address: N/A

Affirm that an appeal has been made for a Variance   , or Special Exception , of 20 x 20  
Visibility triangle at Driveway + Alley

Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to grant the described appeal for the following reason:

This fence is similar to other fences in our neighborhood, it is made of like materials and is of like height and distance from the street and alley.

Note to Applicant: If the appeal requested in this application is granted by the Board of Adjustment, a permit must be applied for within 180 days of the date of the final action of the Board, unless the Board specifically grants a longer period.

Affidavit

Before me the undersigned on this day personally appeared Arnold Allgood  
(Affiant/Applicant's name printed)

who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner/or principal/or authorized representative of the subject property.

Respectfully submitted: [Signature]  
(Affiant/Applicant's signature)

Subscribed and sworn to before me this 23 day of April, 2019

(Rev. 08-01-11)



Hailey Davin  
Notary Public in and for Dallas County, Texas

MEMORANDUM OF  
ACTION TAKEN BY THE  
BOARD OF ADJUSTMENT

Date of Hearing \_\_\_\_\_

Appeal was--Granted OR Denied

Remarks \_\_\_\_\_

Chairman

**Building Official's Report**

I hereby certify that Arnold Allgood

did submit a request for a special exception to the visibility obstruction regulations  
at 5609 Del Roy Drive

BDA189-077. Application of Arnold Allgood for a special exception to the visibility obstruction regulations at 5609 DEL ROY DR. This property is more fully described as Lot 1, Block 9/6383, and is zoned R-16(A), which requires a 20 foot visibility triangle at driveway and alley approaches. The applicant proposes to construct a single family residential fence structure in a required visibility obstruction triangle, which will require a special exception to the visibility obstruction regulation.

Sincerely,

*Philip Sikes*  
Philip Sikes, Building Official





Printed: 4/24/2019

### Legend

- |                      |                                |                       |                            |
|----------------------|--------------------------------|-----------------------|----------------------------|
| City Limits          | railroad                       | Dry Overlay           | CD Subdistricts            |
| School               | Certified Parcels              | D                     | PD Subdistricts            |
| Floodplain           | Base Zoning                    | D-1                   | PDS Subdistricts           |
| 100 Year Flood Zone  | PD193 Oak Lawn                 | CP                    | NSO Subdistricts           |
| Mill's Creek         | Dallas Environmental Corridors | SP                    | NSO_Overlay                |
| Peak's Branch        | SPSP Overlay                   | MD Overlay            | Escarpment Overlay         |
| X Protected by Levee | Deed Restrictions              | Historic Subdistricts | Parking Management Overlay |
| Parks                | SUP                            | Historic Overlay      | Shop Front Overlay         |
|                      |                                | Height Map Overlay    |                            |

This data is to be used for graphical representation only. The accuracy is not to be taken/used as data produced by a Registered Professional Land Surveyor (RPLS) for the State of Texas. 'This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.' (Texas Government Code § 2051.102)





AAA

6383/9

6383/10

6383/12

6383/11

DEL ROY DRIVE

PRESTON HAVEN DR.

NUESTRA

ROCHELLE DR.

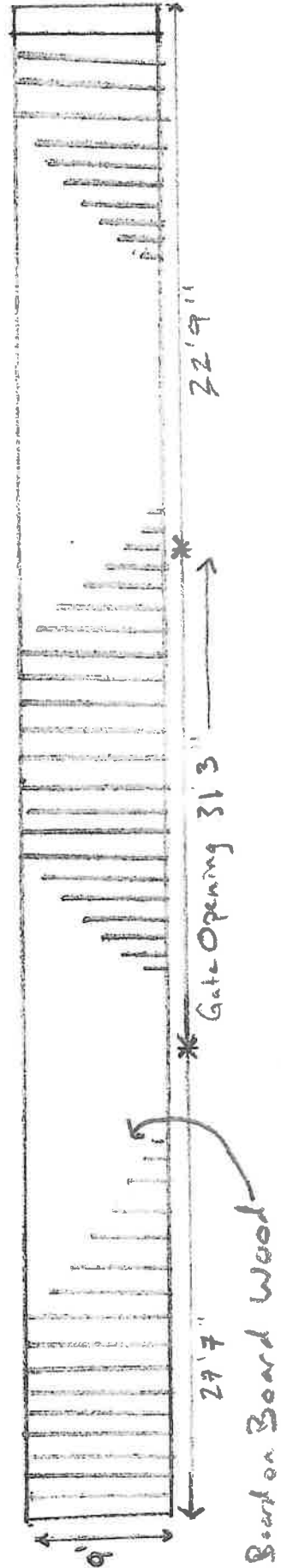
ROAD



# Fenceline Elevation Drawings

5609 Del Roy Drive, Dallas, TX 75230

Scale: 1" = 10'



East-Facing Fenceline (Nuestra Drive)



South-Facing Fenceline (Del Roy Drive)



North-Facing Fenceline (Alley)

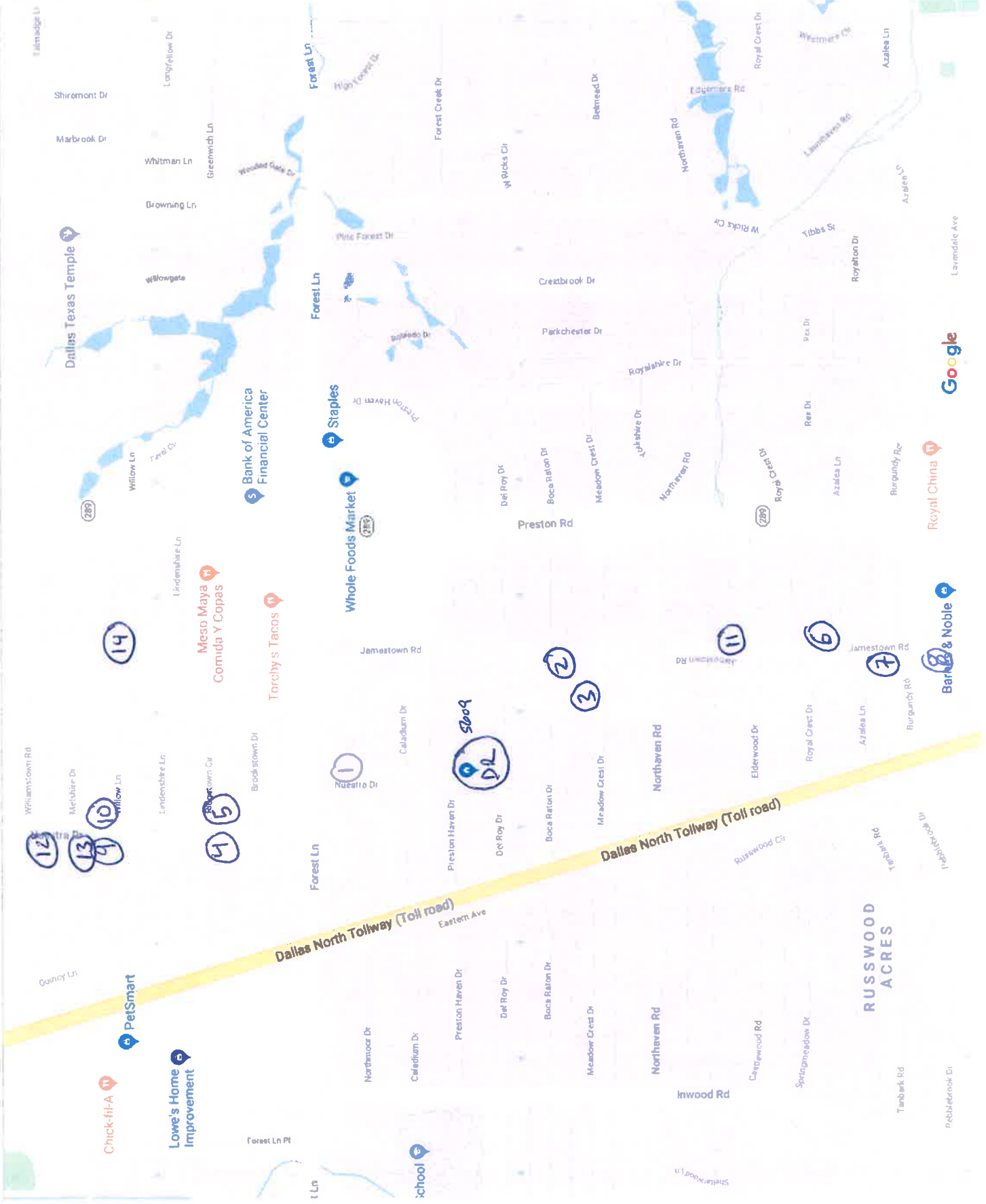
# Comparable Fences on Nearby Homes - 5609 Del Row Drive, Dallas, TX 75230

(\$ in millions)

| Map # | Address                               | City   | State | Zip Code |
|-------|---------------------------------------|--------|-------|----------|
| 1     | 5709 Northmoor Drive                  | Dallas | TX    | 75230    |
| 2     | 5806 Boca Raton Drive                 | Dallas | TX    | 75230    |
| 3     | 5723 Meadow Crest Drive               | Dallas | TX    | 75230    |
| 4     | 5630 Ridgetown Circle                 | Dallas | TX    | 75230    |
| 5     | 5706 Ridgetown Circle                 | Dallas | TX    | 75230    |
| 6     | 5909 Azalea Lane                      | Dallas | TX    | 75230    |
| 7     | 5859 Burgundy Road                    | Dallas | TX    | 75230    |
| 8     | 5849 Gramercy Place                   | Dallas | TX    | 75230    |
| 9     | 5639 Willow Lane                      | Dallas | TX    | 75230    |
| 10    | 5707 Willow Lane                      | Dallas | TX    | 75230    |
| 11    | 5909 Eidenwood Drive                  | Dallas | TX    | 75230    |
| 12    | 5624 Williamstown Road                | Dallas | TX    | 75230    |
| 13    | 5624 Melshire Drive                   | Dallas | TX    | 75230    |
| 14    | 5907 Willow Lane                      | Dallas | TX    | 75230    |
| DR    | 5609 Del Row Drive - Subject Property | Dallas | TX    | 75230    |

5609 Del Rey Drive, Dallas, TX 75230

MAP OF COMPARABLE FENCE LOCATIONS









Additional Fencing -- 5609 Del Roy Drive

Each party below attests that they do not take exception to the proposed additional fencing at 5609 Del Roy Drive, Dallas, TX 75230:

| Name             | Address                                   | Date       | Signature               |
|------------------|---|------------|-------------------------|
| Melissa Niven    | 5606 Del Roy Dr                           | 3/27/19    | <i>Melissa Niven</i>    |
| Richard Goldberg | 5547 Del Roy Dr                           | 3/27/19    | <i>Richard Goldberg</i> |
| Maree Caschey    | 5534 Del Roy Dr                           | 3/27/19    | <i>Maree Caschey</i>    |
| Susan Hill       | 5539 Del Roy Dr                           | 3/27/19    | <i>Susan Hill</i>       |
| Ben [unclear]    | 5564 Preston Tower                        | 3/27/2019  | <i>Ben [unclear]</i>    |
| Bejhat McElroy   | <del>Bejhat McElroy</del> 3214 Del Roy Dr | 3/27/19    | <i>Bejhat McElroy</i>   |
| Jack S. Sanders  | 5627 Del Roy Dr.                          | 27 Mar '19 | <i>Jack S. Sanders</i>  |
| Nancy Dunn       | 5619 Del Roy Drive                        | 3.31.19    | <i>Nancy Dunn</i>       |
| KEN JILER        | 5518 Del Roy                              | 3-31-19    | <i>Ken Jiler</i>        |
| Justi Till       | 5515 Del Roy                              | 3-31-19    | <i>Justi Till</i>       |
| Sharon Turk      | 5510 Del Roy                              | 3-31-19    | <i>Sharon Turk</i>      |

*[Signature]* MICAH REESE  
 5531 BOCA RATON DR 3/31/19 *[Signature]*


Darren Woodson 5614 Boca Raton 3/31/19 *Darren Woodson*

Julio H 5707 Del Roy 3/31/19 *Julio H*

FLORIAN MANNERS 5525 Preston Tower Dr. 3/31/19 *Florian Manners*

Additional Fencing – 5609 Del Roy Drive

Each party below attests that they do not take exception to the proposed additional fencing at 5609 Del Roy Drive, Dallas, TX 75230:

| Name         | Address            | Date     | Signature   |
|--------------|--------------------|----------|---|
| Marty Morris | 5544 Del Roy Drive | 03/31/19 |  |
|              |                    |          |   |
|              |                    |          |   |
|              |                    |          |   |
|              |                    |          |   |
|              |                    |          |   |
|              |                    |          |   |
|              |                    |          |   |
|              |                    |          |   |
|              |                    |          |   |
|              |                    |          |   |

**5806 Boca Raton Drive**

**Dallas, TX 75230**

**@ Jamestown**







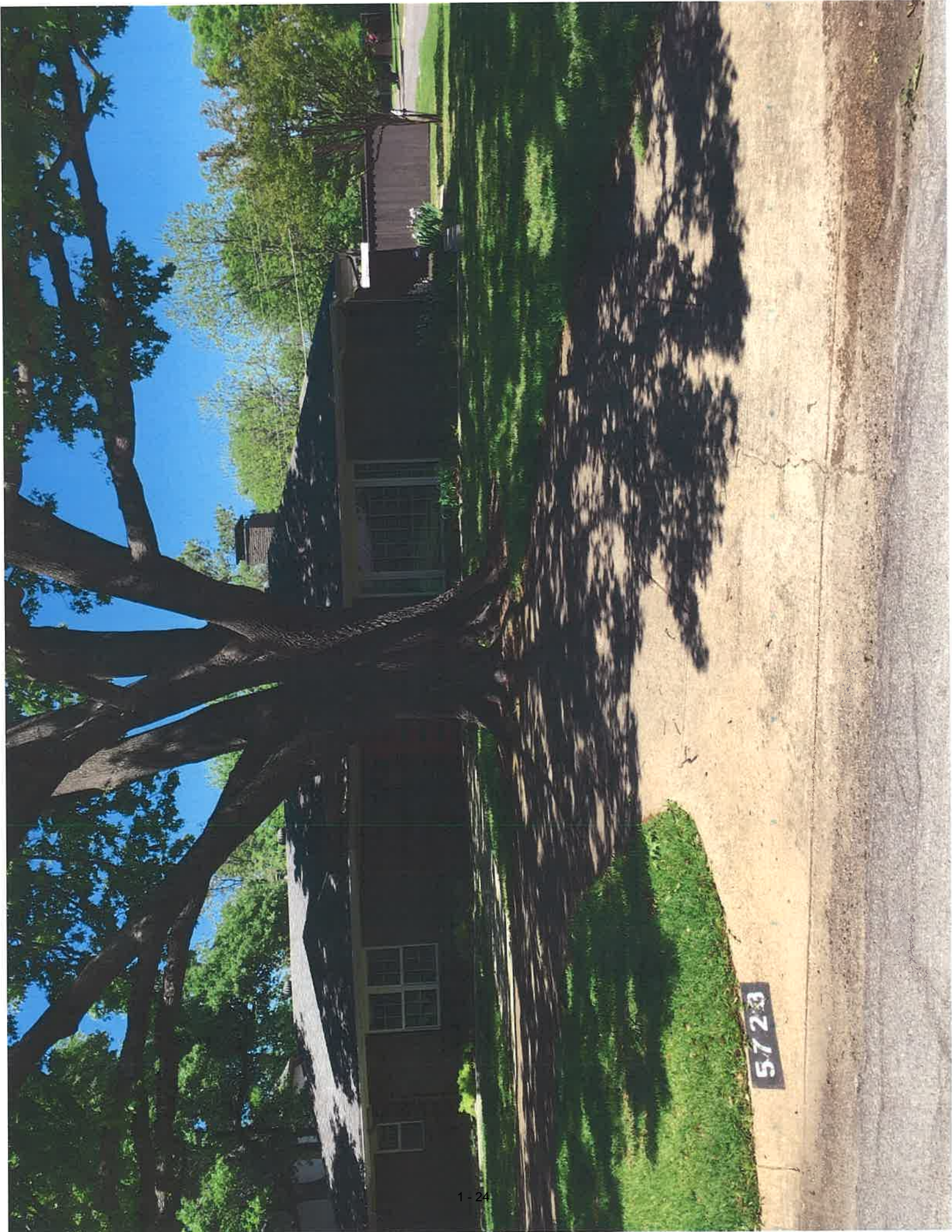


**5723 Meadow Crest Drive**

**Dallas, TX 75230**

**@ Jamestown**







**5630 Ridgetown Circle**

**Dallas, TX 75230**

**@ Nuestra**



Ridgetown Cir 5000  
West 8000

STOP







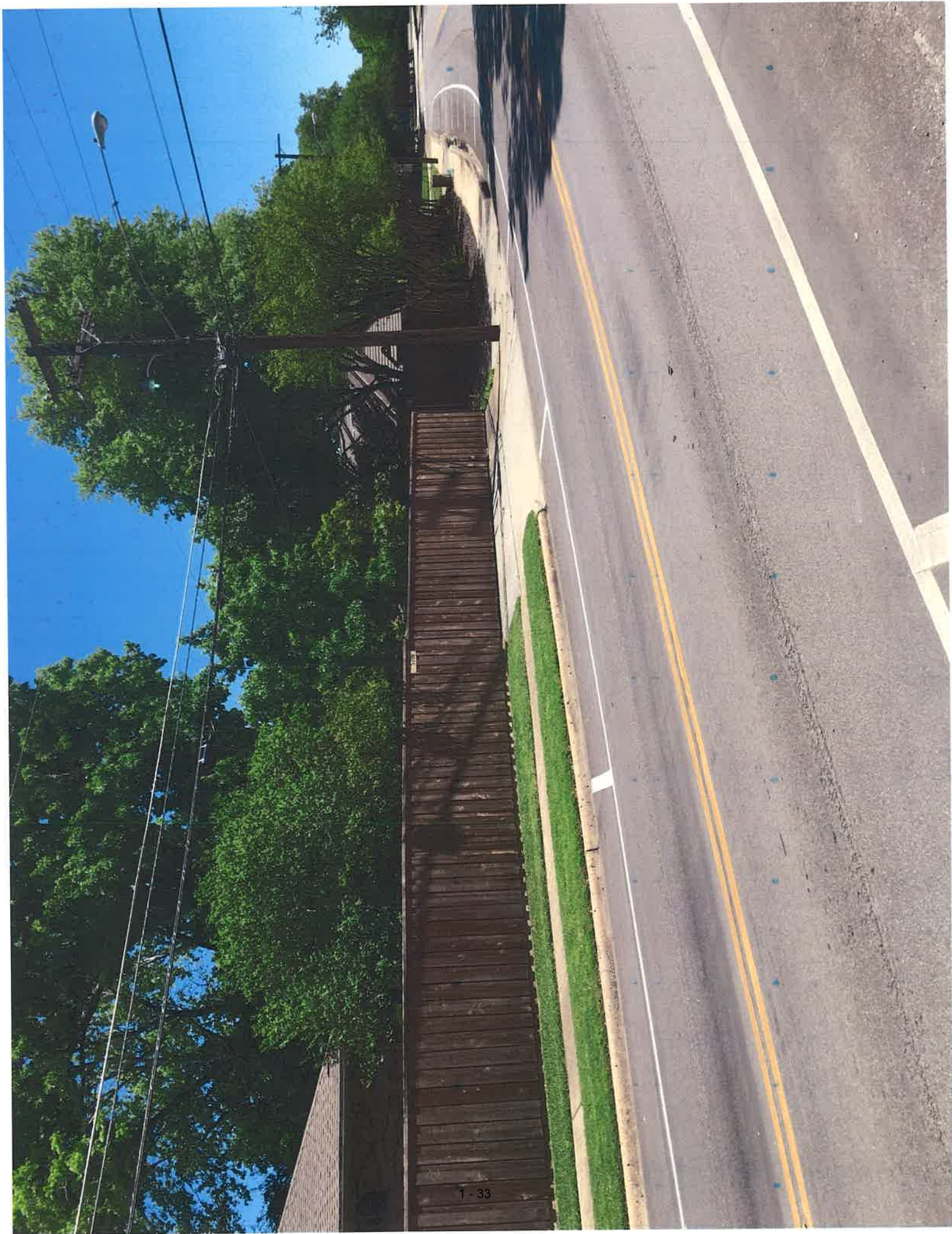
**5706 Ridgetown Circle**

**Dallas, TX 75230**

**@ Nuestra**







**5909 Azalea Lane**

**Dallas, TX 75230**

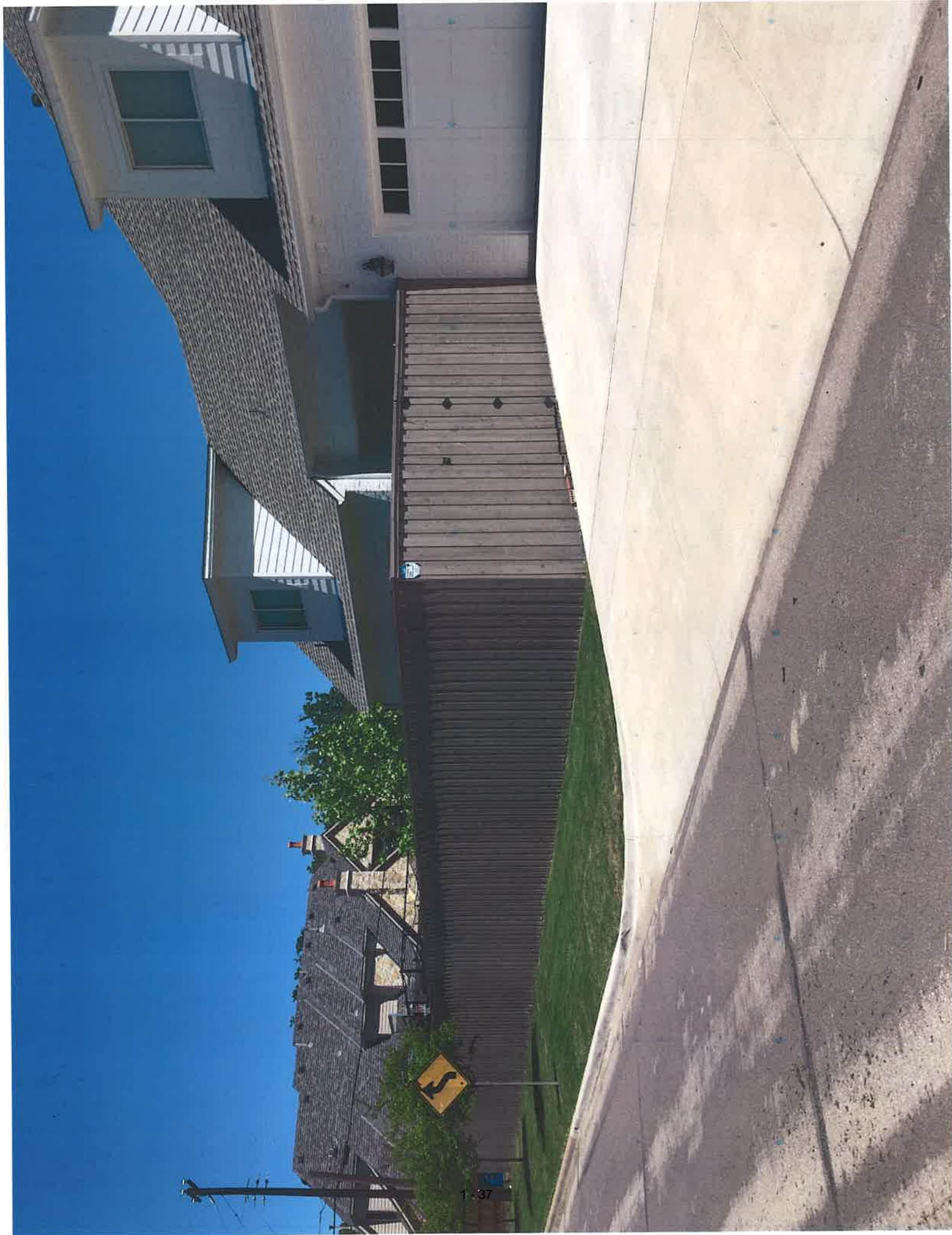
**@ Jamestown**



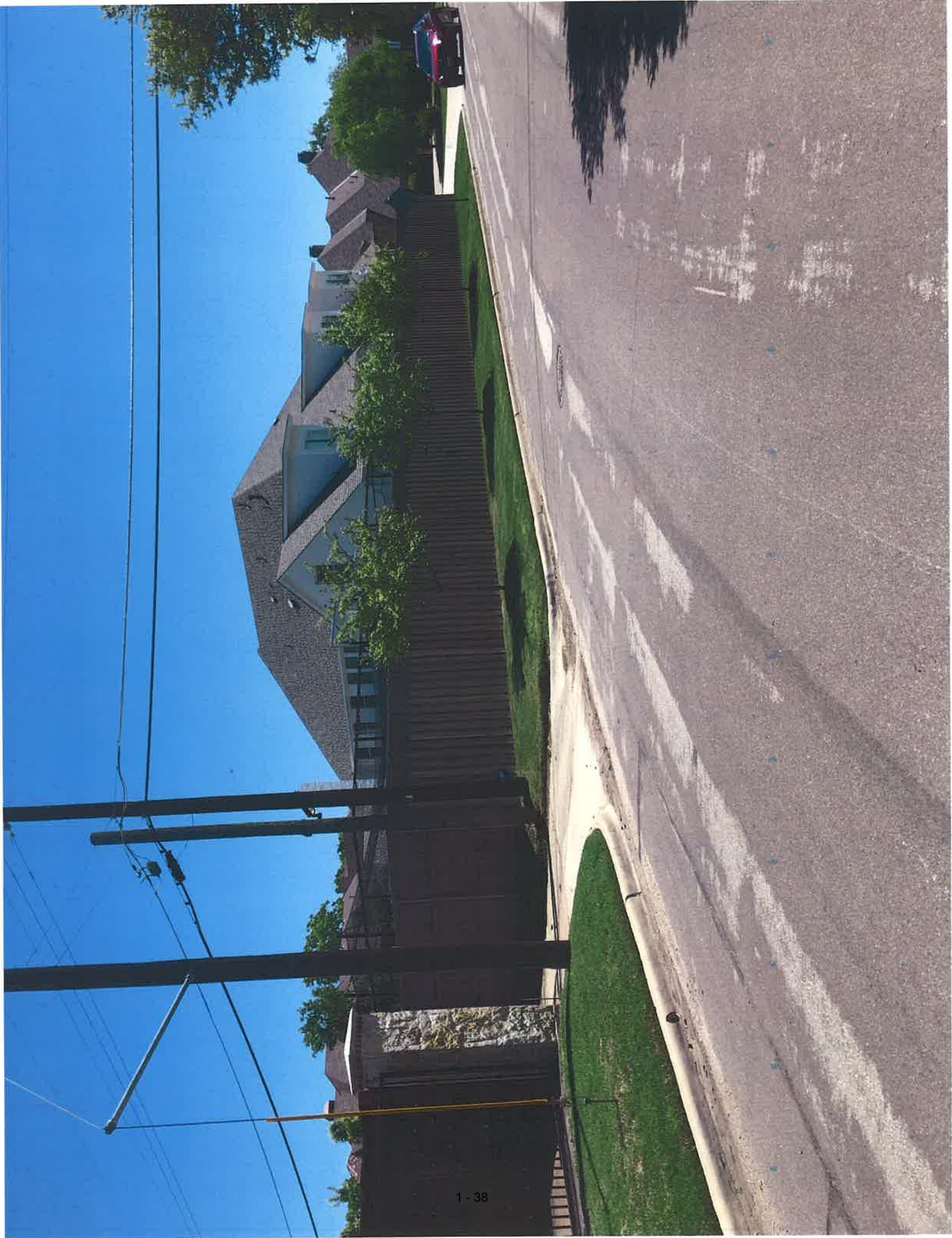
Azalea Ln 5900

WARNING  
  
CRIME WATCH AREA  
WE WILL BE  
TO THE POL.





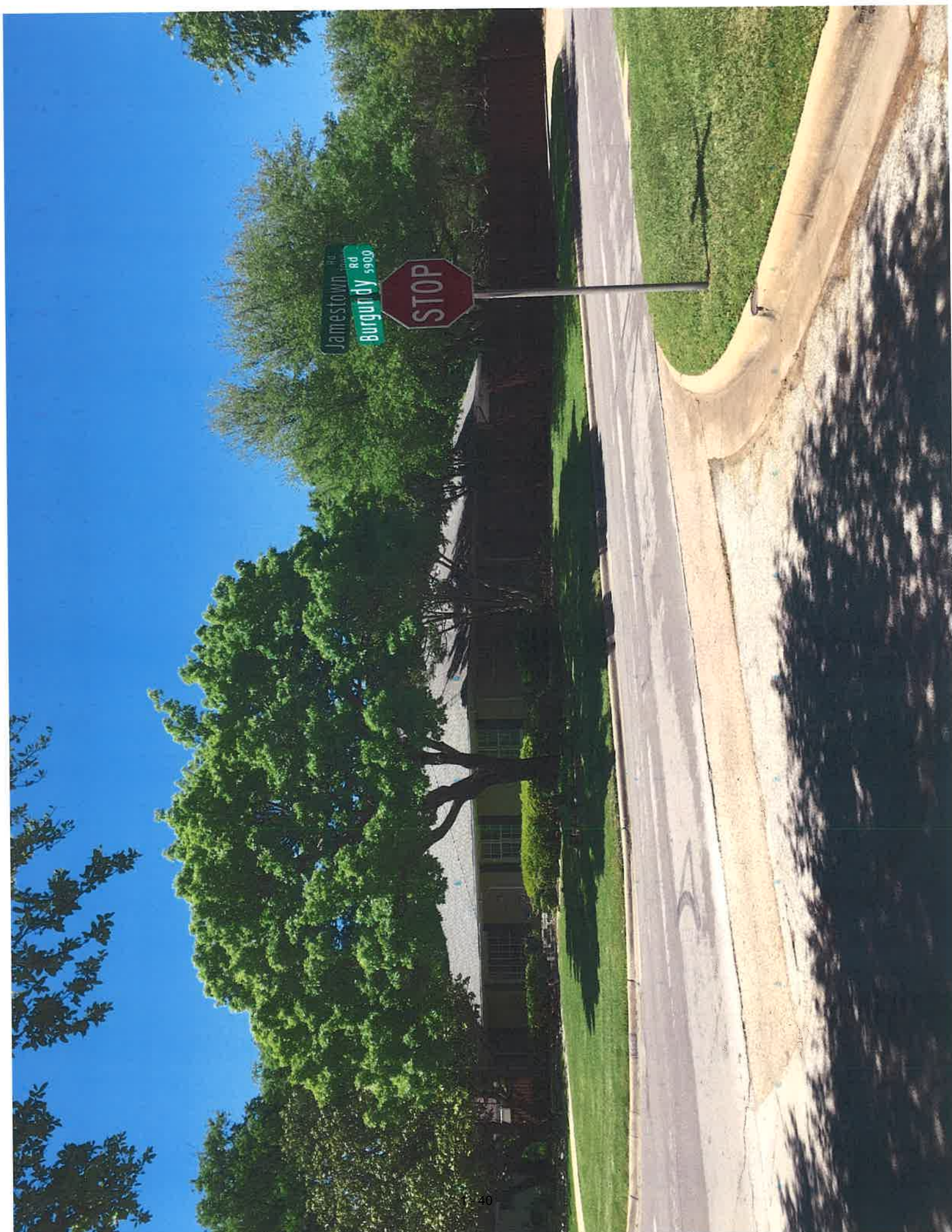




**5859 Burgundy Road**

**Dallas, TX 75230**

**@ Jamestown**











**5849 Gramercy Place**

**Dallas, TX 75230**

**@ Jamestown**





Jamestown Rd Pl 5800  
Gramercy

WARNING  
DOGS IN THIS AREA









**5639 Willow Lane**

**Dallas, TX 75230**

**@ Nuestra**









**5707 Willow Lane**

**Dallas, TX 75230**

**@ Nuestra**







**5909 Elderwood Drive**

**Dallas, TX 75230**

**@ Jamestown**

Elderwood Dr  
Rd 100  
Jamestown 11200

STOP  
ALL WAY





5723 Meadow Crest Drive  
Dallas, TX 75230  
@ Jamestown



**5624 Williamstown Road**

**Dallas, TX 75230**

**@ Nuestra**









**5624 Melshire Drive**

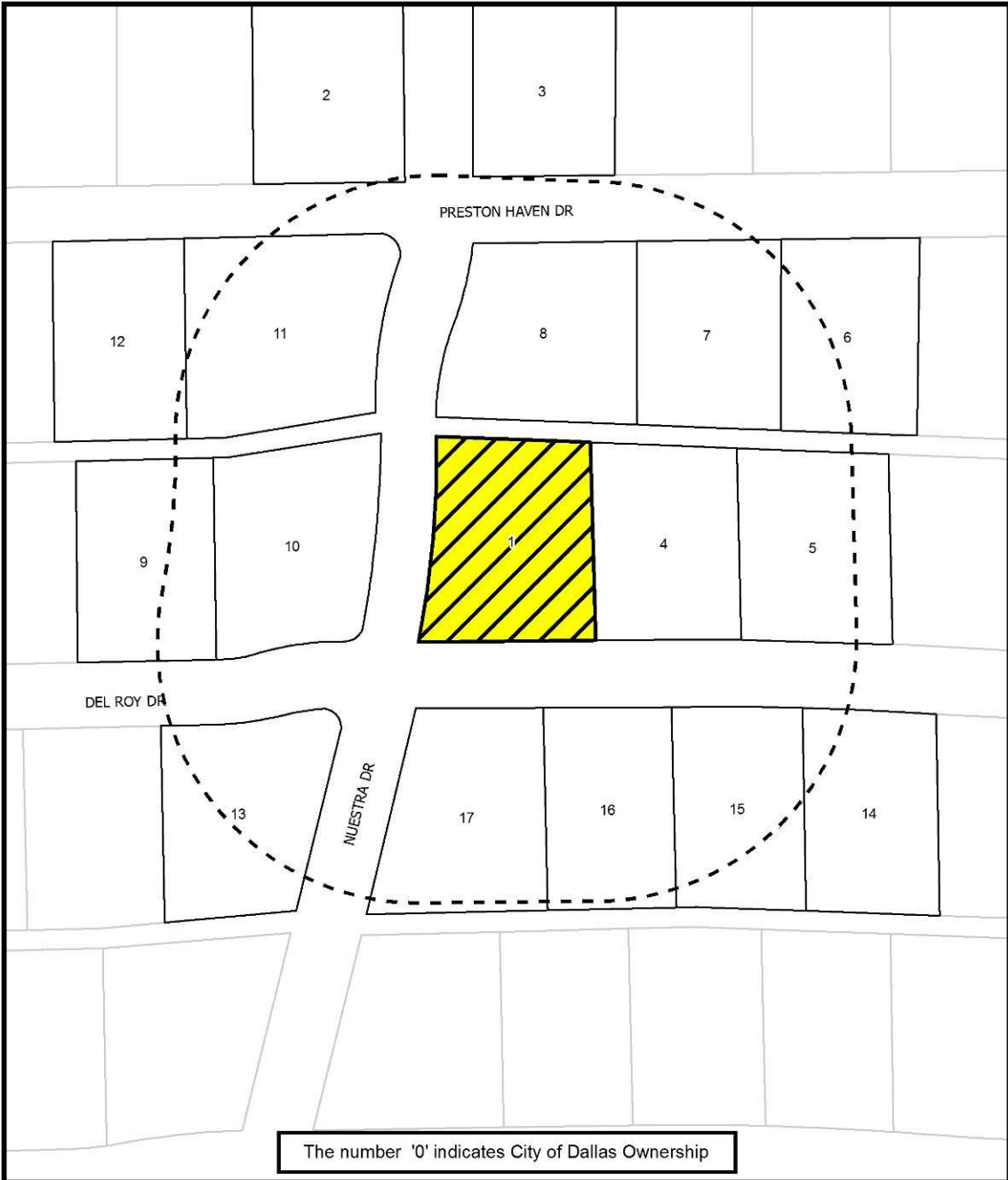
**Dallas, TX 75230**

**@ Nuestra**









|  |  |             |                      |           |                                    |  |
|--|--|-------------|----------------------|-----------|------------------------------------|--|
| <br>1:1,200 | <h2 style="text-align: center;">NOTIFICATION</h2> <table border="1" style="width: 100%;"> <tr> <td style="text-align: center;"><b>200'</b></td> <td>AREA OF NOTIFICATION</td> </tr> <tr> <td style="text-align: center;"><b>17</b></td> <td>NUMBER OF PROPERTY OWNERS NOTIFIED</td> </tr> </table> | <b>200'</b> | AREA OF NOTIFICATION | <b>17</b> | NUMBER OF PROPERTY OWNERS NOTIFIED | Case no: <u><b>BDA189-077</b></u><br>Date: <u><b>7/12/2019</b></u> |
| <b>200'</b>  | AREA OF NOTIFICATION   |             |                      |           |                                    |  |
| <b>17</b>  | NUMBER OF PROPERTY OWNERS NOTIFIED   |             |                      |           |                                    |  |

## *Notification List of Property Owners*

***BDA189-077***

### *17 Property Owners Notified*

| <i>Label #</i> | <i>Address</i>        | <i>Owner</i>                  |
|----------------|-----------------------|-------------------------------|
| 1              | 5609 DEL ROY DR       | ALLGOOD ARNOLD ALEXANDER &    |
| 2              | 5565 PRESTON HAVEN DR | CHANDLER LAURA B & GARVIN L   |
| 3              | 5709 PRESTON HAVEN DR | FANT J ANDERSON JR            |
| 4              | 5609 DEL ROY DR       | WILLIAMSBURG CUSTOM HOMES INC |
| 5              | 5627 DEL ROY DR       | SANDERS REVOCABLE TRUST       |
| 6              | 5726 PRESTON HAVEN DR | WELSH JONATHAN L & JENNIFER L |
| 7              | 5718 PRESTON HAVEN DR | BUONAMICI LIVING TRUST        |
| 8              | 5710 PRESTON HAVEN DR | MORGAN BRIAN L & LAURIE D     |
| 9              | 5539 DEL ROY DR       | ONEAL JOHN S                  |
| 10             | 5547 DEL ROY DR       | GOLDBERG RICHARD ALAN &       |
| 11             | 5564 PRESTON HAVEN DR | ARMITAGE JOSEPH &             |
| 12             | 5550 PRESTON HAVEN DR | CHAU QUYEN H &                |
| 13             | 5544 DEL ROY DR       | MORRIS MARTY &                |
| 14             | 5630 DEL ROY DR       | GREENSTEIN ARTHUR &           |
| 15             | 5622 DEL ROY DR       | DELONG GARY R & NORMA J       |
| 16             | 5614 DEL ROY DR       | GILLESPIE CANDACE             |
| 17             | 5606 DEL ROY DR       | ELLIS BRAD R & CINDI A        |

**FILE NUMBER:** BDA189-086(SL)

**BUILDING OFFICIAL'S REPORT:** Application of Joseph Thomas Murts, represented by Tommy Dewitt, for a variance to the front yard setback regulations at 6761 Country Club Circle. This property is more fully described as Lot 5, Block N/2799, and is zoned CD 2 (Tract III), which requires a front yard setback of 60 feet. The applicant proposes to construct and/or maintain a structure and provide a 24 foot front yard setback, which will require a 36 foot variance to the front yard setback regulations.

**LOCATION:** 6771 Country Club Circle

**APPLICANT:** Joseph Thomas Murts  
Represented by Tommy Dewitt

**REQUESTS:**

The following requests for variances to the front yard setback regulations of up to 36' have made on a site developed with a single family home use/structure to:

1. Construct and maintain an addition that would connect an existing nonconforming single family home structure to an existing nonconforming detached garage/accessory – an addition that is proposed to be located 24' from one of the site's two front property lines (Gaston Avenue) or 36' into this 60' front yard setback;
2. To address/remedy the existing single family home and garage structures built in the early 80's that are nonconforming structures located 30' from the site's Gaston Avenue front property line or 30' into this 60' front yard setback, and to address/remedy the aforementioned existing single family home structure located 30' from the other front property line on Country Club Circle or 30' into this 60' front yard setback.

**STANDARD FOR A VARIANCE:**

Section 51(A)-3.102(d)(10) of the Dallas Development Code specifies that the board has the power to grant variances from the front yard, side yard, rear yard, lot width, lot depth, lot coverage, floor area for structures accessory to single family uses, height, minimum sidewalks, off-street parking or off-street loading, or landscape regulations provided that the variance is:

- (A) not contrary to the public interest when, owing to special conditions, a literal enforcement of this chapter would result in unnecessary hardship, and so that the spirit of the ordinance will be observed and substantial justice done;
- (B) necessary to permit development of a specific parcel of land that differs from other parcels of land by being of such a restrictive area, shape, or slope, that it cannot be developed in a manner commensurate with the development upon other parcels of land with the same zoning; and

(C) not granted to relieve a self-created or personal hardship, nor for financial reasons only, nor to permit any person a privilege in developing a parcel of land not permitted by this chapter to other parcels of land with the same zoning.

**STAFF RECOMMENDATION:**

Approval, subject to the following condition:

- Compliance with the submitted site plan is required.

Rationale:

- Staff concluded that the subject site is unique and different from most lots in the CD 2 (Tract 111) zoning district in that it is irregular in shape and it is restrictive in area due to having two, 60’ front yard setbacks when most lots in this zoning district have one 60’ front yard setback.
- Staff concluded that the applicant has shown by submitting a document indicating among other things that that the square footage of the home on the subject site with the proposed addition at 4,500 square feet in area is commensurate to 10 other homes in the same zoning district that averages about 4,700 square feet in area.

**BACKGROUND INFORMATION:**

**Zoning:**

- Site: CD 2 (Conservation District, Tract III)
- North: CD 2 (Conservation District, Tract III)
- South: CD 2 (Conservation District, Tract III)
- East: PD 517 (Planned Development)
- West: CD 2 (Conservation District, Tract III)

**Land Use:**

The subject site is developed with a single family home. The areas to the north, south, and west are developed with single family uses; the area to the east is developed with a country club use (Lakewood Country Club).

**Zoning/BDA History:**

There has not been any recent related board or zoning cases recorded either on or in the immediate vicinity of the subject site.

**GENERAL FACTS /STAFF ANALYSIS (front yard):**

- The requests for variances to the front yard setback regulations of up to 36’ in this case focuses on:
  1. Constructing/maintaining an addition that would connect an existing nonconforming single family home structure to an existing nonconforming

detached garage/accessory – an addition that is proposed to be located 24' from one of the site's two front property lines (Gaston Avenue) or 36' into this 60' front yard setback;

2. Addressing/remedying the existing single family home and garage structures built in the early 80's that are nonconforming structures located 30' from one of the site's front property lines (Gaston Avenue) or 30' into this 60' front yard setback, and to address/remedy the aforementioned existing single family home structure located 30' from the other front property line (Country Club Circle) or 30' into this 60' front yard setback.
- The property is located in CD 2 (Tract 111) zoning district which requires a minimum front yard setback of 60 feet.
  - The subject site is located at the southwest corner of Gaston Avenue and Country Club Circle. Regardless of how the existing structure is oriented to front Country Club Circle, the subject site has 60' front yard setbacks along both street frontages. The site has a 60' front yard setback along Country Club Circle, the shorter of the two frontages, which is always deemed the front yard setback on a corner lot in this zoning district. The site also has a 60' front yard setback along Gaston Avenue, the longer of the two frontages of this corner lot, which is typically regarded as a cornerside yard where a 15' side yard setback is required. However, the site's Gaston Avenue frontage that functions as a side yard on the property is treated as a front yard setback nonetheless to maintain the continuity of the established front yard setback established by the lots to the west that front/are oriented north towards Gaston Avenue.
  - The submitted site plan indicates that a proposed structure is located as close as 24' from the Gaston Avenue front property line and an existing structure located as close as 30' from the Country Club Circle front property line where a variance of up to 36' is requested.
  - DCAD records indicate "main improvement" for the property at 6761 Country Club Circle is a structure built in 1984 with 3,537 square feet of living/total area, and with "additional improvements" that are listed as a 575 square foot detached garage, and a pool.
  - While the existing single family home and garage is located in what is now 60' front yard setbacks, it is assumed that these structure are nonconforming structures because records show that the main improvement/structures on this site were built in the early 1980's and the setback is more than 30' from the front property lines.
  - Prior to the creation of CD 2 in 1988, the subject site and surrounding properties had been zoned R-10 where the typical lot size is 10,000 square feet and where the front yard setback is 30'.
  - The code defines nonconforming structure as a structure that does not conform to the regulations of the code, but which was lawfully constructed under the regulations in force at the time of construction.
  - The code states that the right to rebuild a nonconforming structure ceases if the structure is destroyed by the intentional act of the owner or the owner's agent.
  - The code states that a person may renovate, remodel, repair, rebuild, or enlarge a nonconforming structure if the work does not cause the structure to become more nonconforming as to the yard, lot, and space regulations.

- The application has informed staff that he has chosen to seek variance to the front yard setback regulations in part for the new addition in one of the two front yard setbacks, and in part to address/remedy the existing nonconforming structures in both front yard setbacks.
- The subject site is flat, irregular in shape, and according to the application is 0.5 acres (or approximately 22,000 square feet) in area. The site has two 60' front yard setbacks and two 6' side yard setbacks. The site is zoned CD 2 (Tract III) where lots typically have one 60' front yard setback, two 6' side yard setbacks, and one 6' rear yard setback.
- The applicant has submitted a document representing that the development on this lot with the proposed addition would be 4,500 square feet in area and the average of 10 others in the same zoning district is about 4,700 square feet in area.
- The applicant has the burden of proof in establishing the following:
  - That granting the variances to the front yard setback regulations will not be contrary to the public interest when, owing to special conditions, a literal enforcement of this chapter would result in unnecessary hardship, and so that the spirit of the ordinance will be observed and substantial justice done.
  - The variances are necessary to permit development of the subject site that differs from other parcels of land by being of such a restrictive area, shape, or slope, that the subject site cannot be developed in a manner commensurate with the development upon other parcels of land in districts with the same CD 2 (Tract III) zoning classification.
  - The variances would not be granted to relieve a self-created or personal hardship, nor for financial reasons only, nor to permit any person a privilege in developing this parcel of land (the subject site) not permitted by this chapter to other parcels of land in districts with the same CD 2 (Tract III) zoning classification.
- If the Board were to grant the variance requests, and impose the submitted site plan as a condition, the structures in the front yard setbacks would be limited to what is shown on this document.

**Timeline:**

- May 21, 2019: The applicant submitted an "Application/Appeal to the Board of Adjustment" and related documents which have been included as part of this case report.
- July 10, 2019: The Board of Adjustment Secretary randomly assigned this case to Board of Adjustment Panel B.
- July 10, 2019: The Board of Adjustment Chief Planner/Board Administrator emailed the applicant's representative the following information:
- a copy of the application materials including the Building Official's report on the application;
  - an attachment that provided the public hearing date and panel that will consider the application; the July 31<sup>st</sup> deadline to submit additional evidence for staff to factor into their analysis; and the



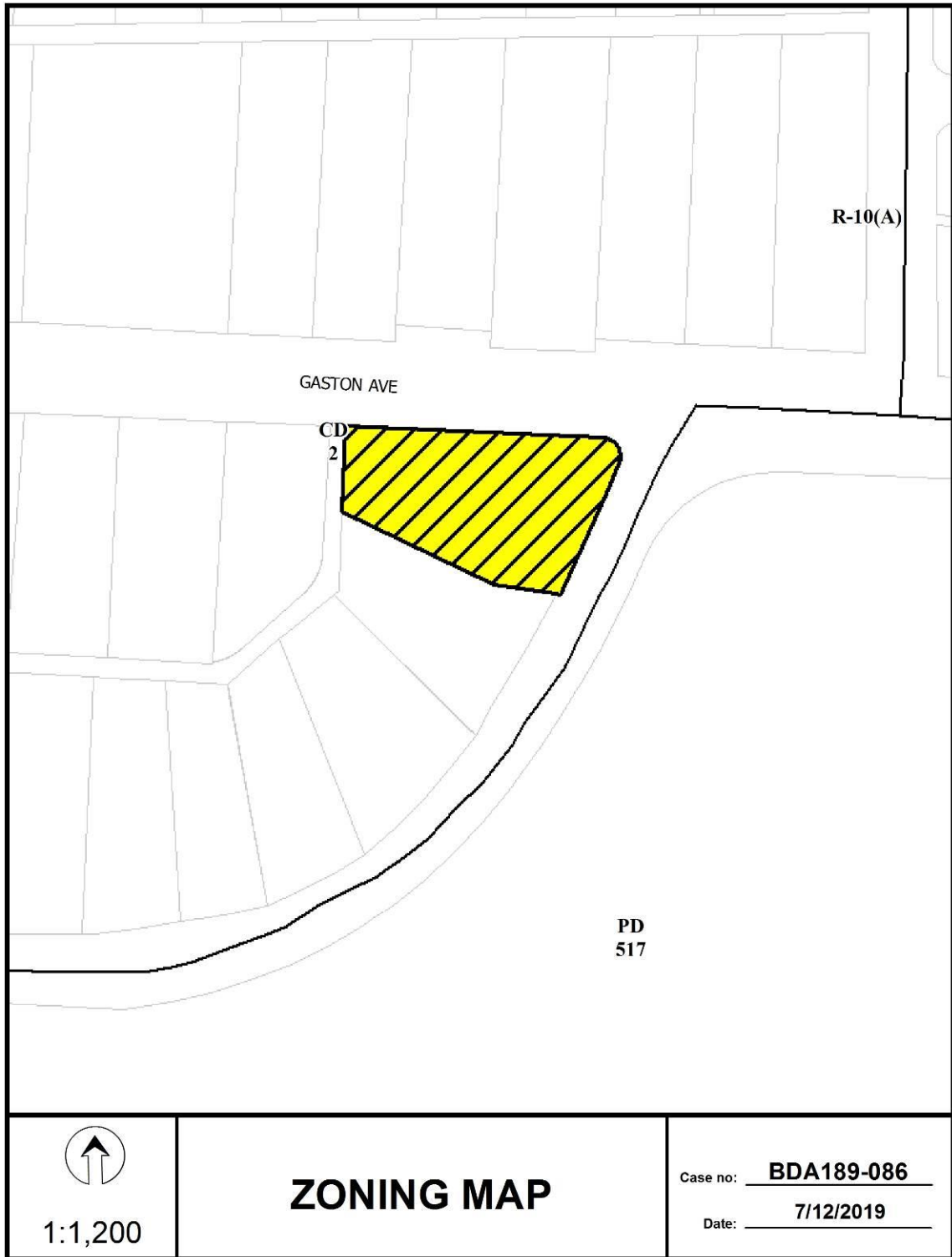
August 9<sup>th</sup> deadline to submit additional evidence to be incorporated into the Board's docket materials;

- the criteria/standard that the board will use in their decision to approve or deny the request; and
- the Board of Adjustment Working Rules of Procedure pertaining to "documentary evidence."

August 6, 2019: The applicant's representative submitted additional information to staff beyond what was submitted with the original application (see Attachment A).

August 6, 2019: The Board of Adjustment staff review team meeting was held regarding this request and the others scheduled for the August public hearings. Review team members in attendance included: the Sustainable Development and Construction Assistant Director, the Building Official, the Assistant Building Official, the Board of Adjustment Chief Planner/Board Administrator, the Sustainable Development and Construction Senior Engineer, the Building Inspection Senior Plans Examiner/Development Code Specialist, and the Assistant City Attorney to the Board.

No review comment sheets were submitted in conjunction with this application.





1:1,200

# AERIAL MAP

Case no: BDA189-086

Date: 7/12/2019

Please find below comps for homes within CD2 Tract 3.

Our proposed changes to the square footage will be around 4500 square feet, which are comparable to 10 homes within CD2 Tract 3.

|    | <b>Property Address</b>  | <b>Sq. Footage</b> | <b>Comments</b> |
|----|--------------------------|--------------------|-----------------|
|    | <b>6761 Country Club</b> | <b>3537</b>        | <b>Current</b>  |
|    | <b>6761 Country Club</b> | <b>4500</b>        | <b>Proposed</b> |
| 1  | 6745 Country Club        | 4310               |                 |
| 2  | 6703 Country Club        | 4074               |                 |
| 3  | 6645 Country Club        | 5039               |                 |
| 4  | 6639 Country Club        | 4637               |                 |
| 5  | 6743 Gaston              | 5126               |                 |
| 6  | 6751 Gaston              | 4831               |                 |
| 7  | 2301 Brendenwood         | 4715               |                 |
| 8  | 6715 Gaston              | 5136               |                 |
| 9  | 6758 Avalon              | 4746               |                 |
| 10 | 6748 Avalon              | 4398               |                 |
|    | Average Sq. Footage      | 4701               |                 |



City of Dallas

B

APPLICATION/APPEAL TO THE BOARD OF ADJUSTMENT

Case No.: BDA 189-086

Date: 5-21-19

Data Relative to Subject Property:

Location address: 6761 Country Club Cir Zoning District: Q-2 tract 3

Lot No.: 5 Block No.: 1/2799 Acreage: .5 Census Tract: 100

Street Frontage (in Feet): 1) 209 2) 120 3) \_\_\_\_\_ 4) \_\_\_\_\_ 5) \_\_\_\_\_

To the Honorable Board of Adjustment :

Owner of Property (per Warranty Deed): Joseph Thomas Murts and pasty kay Jesus

Applicant: Joseph Murts Telephone: 303-886-7344

Mailing Address: 6761 Country Club Cir, Dallas Zip Code: 75214

E-mail Address: Joseph.murts@gmail.com

Represented by: Tommy Dewitt Telephone: 214-454-9932

Mailing Address: 1105 Ramsey Dr, Lucas, TX Zip Code: 75002

E-mail Address: Tommy@BohrtDFW.com

Affirm that an appeal has been made for a Variance  or Special Exception \_\_\_\_\_, of 1) a variance of a 30' front yard set back providing a 24' front yard set back  
2) requesting a 9' side yard set back and providing a 6' side yard set back

Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to grant the described appeal for the following reason:

with a double 60' front yard set back it makes it possible to build on the lot and makes the house now not conforming.

Note to Applicant: If the appeal requested in this application is granted by the Board of Adjustment, a permit must be applied for within 180 days of the date of the final action of the Board, unless the Board specifically grants a longer period.

Affidavit

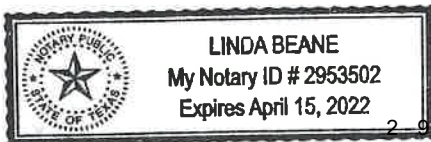
Before me the undersigned on this day personally appeared JOSEPIA MURTS  
(Affiant/Applicant's name printed)

who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner/or principal/or authorized representative of the subject property.

Respectfully submitted: [Signature]  
(Affiant/Applicant's signature)

Subscribed and sworn to before me this 10th day of May, 2019

(Rev. 08-01-11)



[Signature]  
Notary Public in and for Dallas County, Texas

MEMORANDUM OF  
ACTION TAKEN BY THE  
BOARD OF ADJUSTMENT

Date of Hearing \_\_\_\_\_

Appeal was--Granted OR Denied

Remarks \_\_\_\_\_

Chairman

**Building Official's Report**

I hereby certify that Joseph Thomas Murts  
represented by Tommy Dewitt  
did submit a request for a variance to the front yard setback regulations  
at 6761 Country Club Circle

BDA189-086. Application of Joseph Thomas Murts represented by Tommy Dewitt for a variance to the front yard setback regulations at 6761 COUNTRY CLUB CIR. This property is more fully described as Lot 5, Block N/2799, and is zoned CD-2 (Tract III), which requires a front yard setback of 60 feet. The applicant proposes to construct a single family residential structure and provide a 24 foot front yard setback, which will require a 36 foot variance to the front yard setback regulations.

Sincerely,

*Philip Sikes*  
Philip Sikes, Building Official



*9/11/11*

BRENDENY

2805  
CASTLE

2774

CLUB CIR.

PEARSON

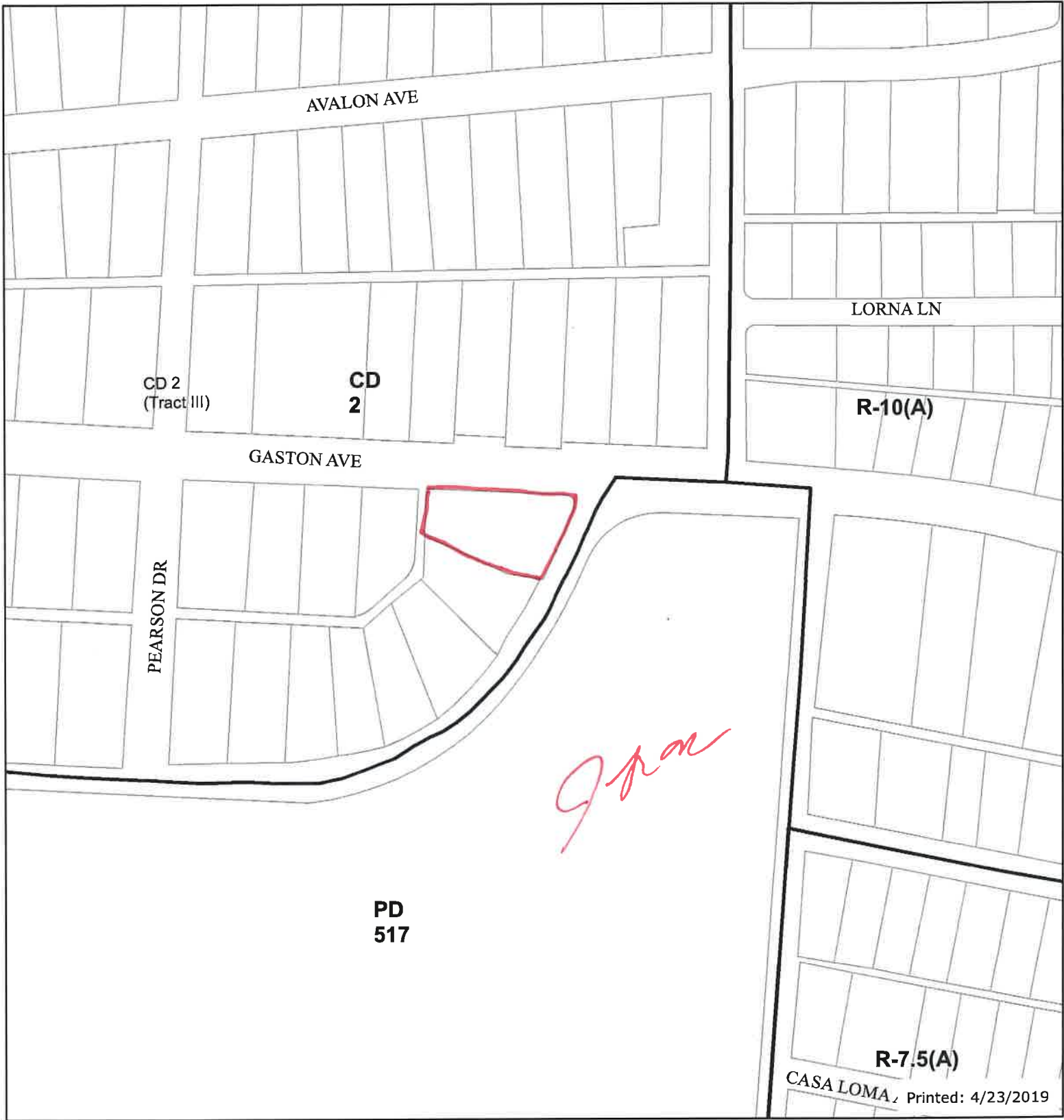
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2799/N

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| 9-A    | 9-B    | 9-C    | 10     | 11    | 11-A   | 12     | 13    | 14    | 15    |       |     |     |     |     |
| 250.71 | 246.66 | 242.57 | 242.37 | 248.9 | 232.25 | 228.1  | 243.1 | 237.3 | 231.4 | 229.2 | 220 |     |     |     |



### Legend

- |                      |                                |                       |                            |
|----------------------|--------------------------------|-----------------------|----------------------------|
| City Limits          | railroad                       | Dry Overlay           | CD Subdistricts            |
| School               | Certified Parcels              | D                     | PD Subdistricts            |
| Floodplain           | Base Zoning                    | D-1                   | PDS Subdistricts           |
| 100 Year Flood Zone  | PD193 Oak Lawn                 | CP                    | NSO Subdistricts           |
| Mill's Creek         | Dallas Environmental Corridors | SP                    | NSO_Overlay                |
| Peak's Branch        | SPSP Overlay                   | MD Overlay            | Escarpment Overlay         |
| X Protected by Levee | Deed Restrictions              | Historic Subdistricts | Parking Management Overlay |
| Parks                | SUP                            | Historic Overlay      | S12 Front Overlay          |
|                      |                                | Height Map Overlay    |                            |

This data is to be used for graphical representation only. The accuracy is not to be taken/used as data produced by a Registered Professional Land Surveyor (RPLS) for the State of Texas. This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries. (Texas Government Code § 2051.102)



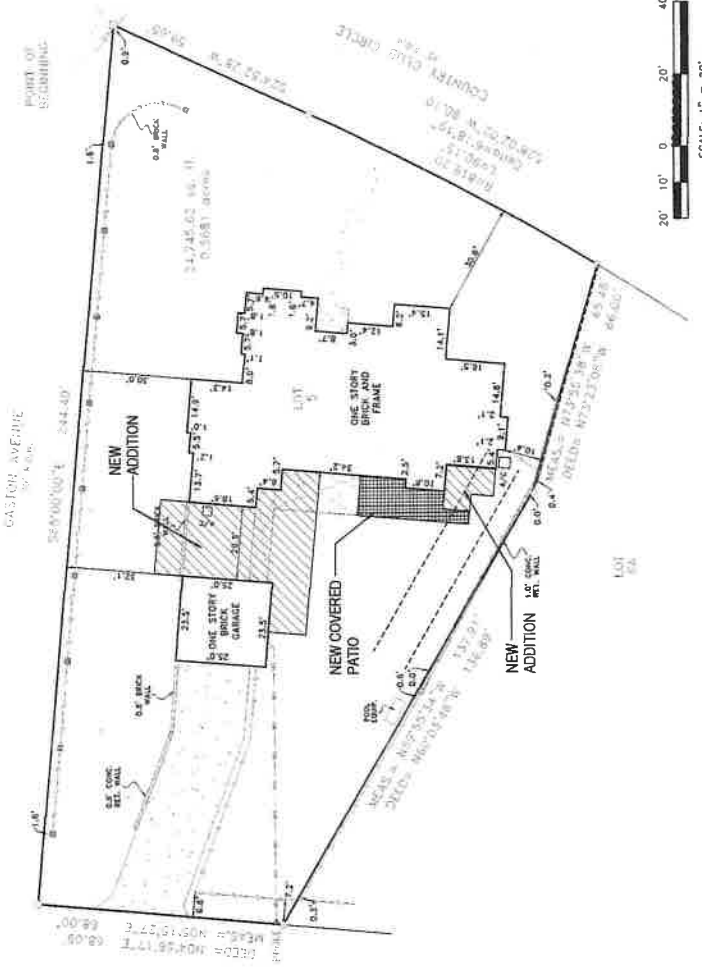




- GENERAL REQUIREMENTS - WALLS**
1. ALL WALLS TO BE CONFORMANT WITH THE FOLLOWING:
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- GENERAL REQUIREMENTS - ROOFS**
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1 Site Plan  
SCALE: 1" = 20'

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6761 COUNTRY CLUB  
DALLAS, TX

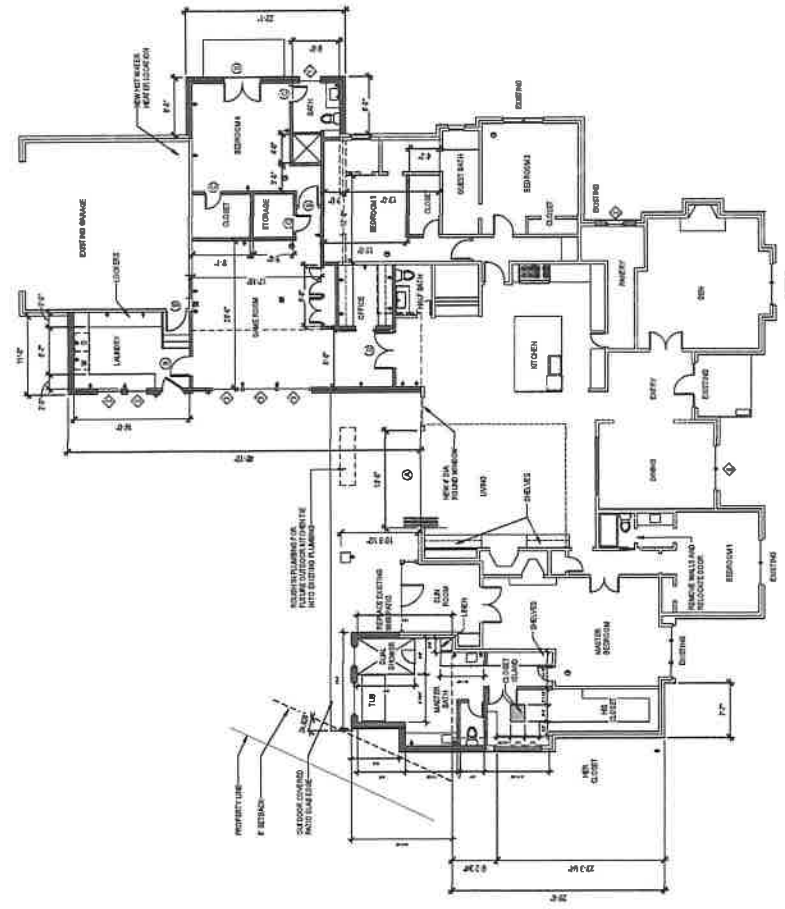
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6761 COUNTRY CLUB  
DALLAS, TX

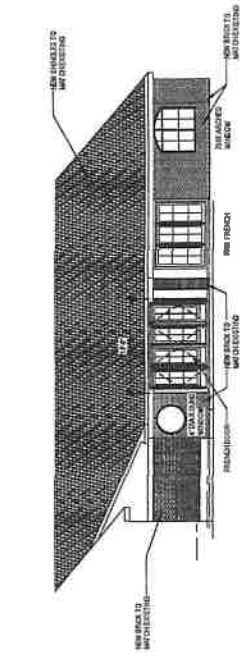
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PLAN

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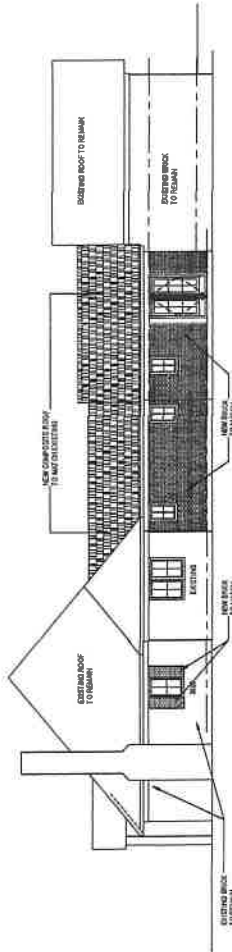


1 PROPOSED PLAN  
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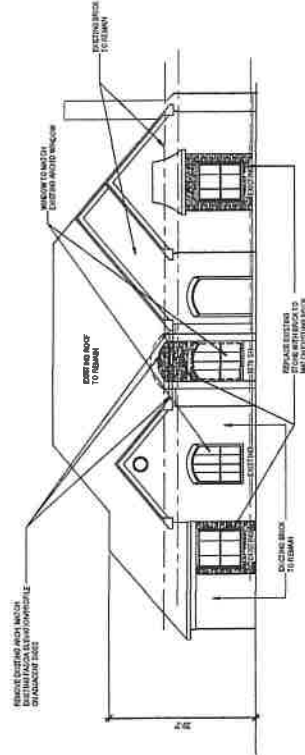




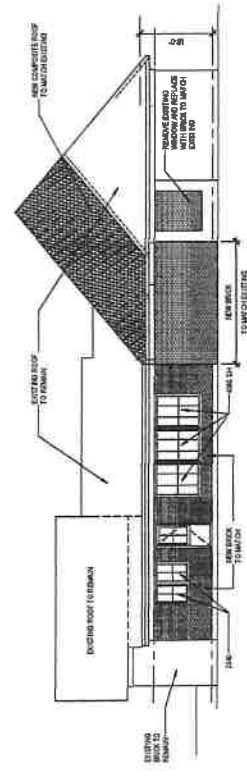
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4 NORTH ELEVATION  
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1 EAST ELEVATION  
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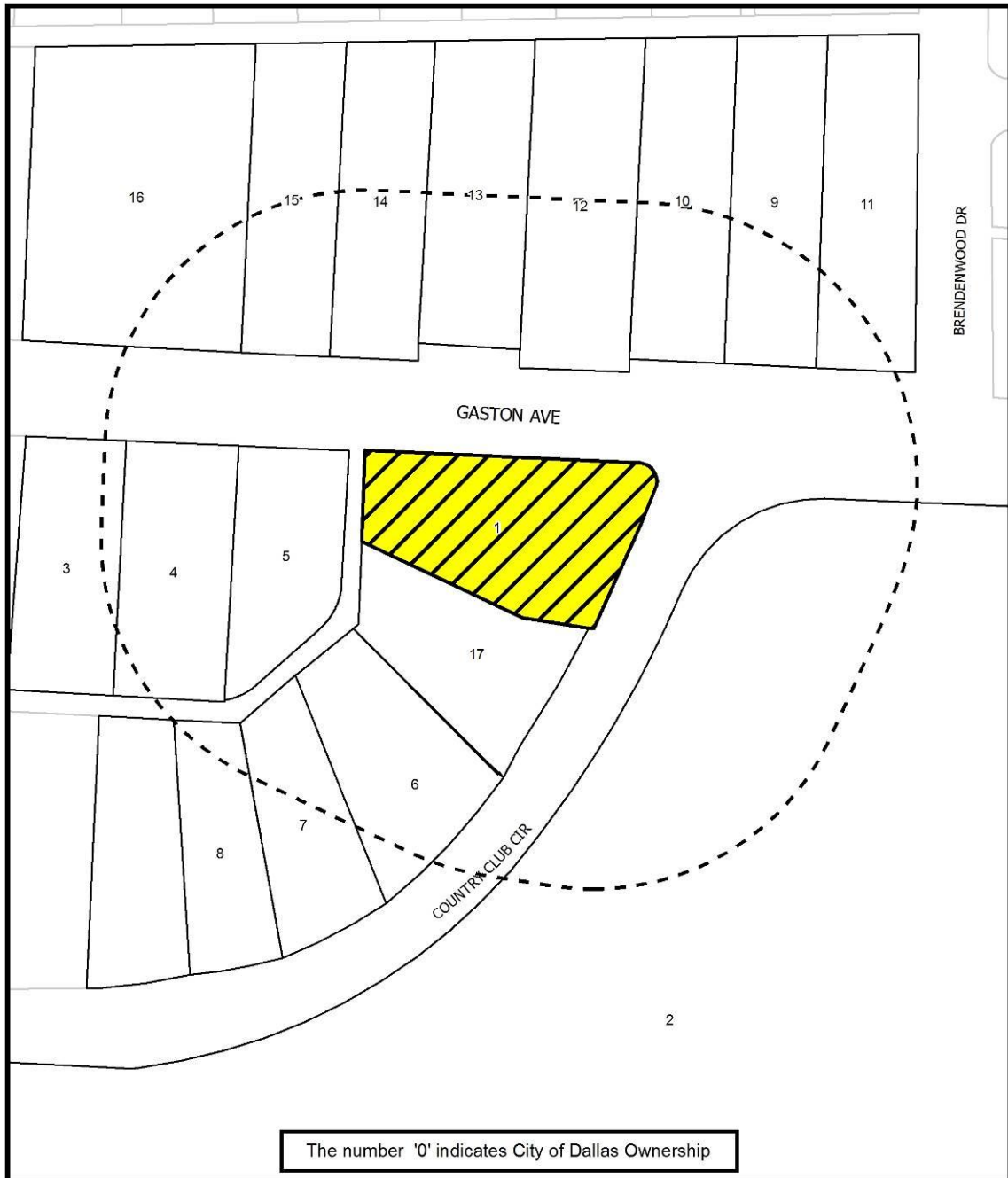
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6761 COUNTRY CLUB  
DALLAS, TX

EXTERIOR  
ELEVATIONS

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|  |  |                        |                            |
|--|--|------------------------|----------------------------|
| <br>1:1,200 | <b>NOTIFICATION</b>  |                        | Case no: <b>BDA189-086</b> |
|  | <div style="border: 1px solid black; padding: 2px; display: inline-block;">200'</div> AREA OF NOTIFICATION<br><div style="border: 1px solid black; padding: 2px; display: inline-block;">17</div> NUMBER OF PROPERTY OWNERS NOTIFIED | Date: <b>7/12/2019</b> |                            |

## ***Notification List of Property Owners***

***BDA189-086***

### ***17 Property Owners Notified***

| <b><i>Label #</i></b> | <b><i>Address</i></b> | <b><i>Owner</i></b>           |
|-----------------------|-----------------------|-------------------------------|
| 1                     | 6761 COUNTRY CLUB CIR | MURT JOSEPH THOMAS &          |
| 2                     | 1912 ABRAMS RD        | LAKEWOOD COUNTRY CLUB         |
| 3                     | 6706 GASTON AVE       | FRANKIEWICZ JAMES S & LIA     |
| 4                     | 6714 GASTON AVE       | PRESTON DAVID EDWARD          |
| 5                     | 6726 GASTON AVE       | SMITH MATTHEW M &             |
| 6                     | 6737 COUNTRY CLUB CIR | LOONEY GEORGE MICHAEL &       |
| 7                     | 6733 COUNTRY CLUB CIR | DUNN WILLIAM DAVID &          |
| 8                     | 6729 COUNTRY CLUB CIR | ERIKSON BRIAN W               |
| 9                     | 6757 GASTON AVE       | GUAJARDO DONNA                |
| 10                    | 6751 GASTON AVE       | KLEIN ERIC & CLAIRE           |
| 11                    | 6759 GASTON AVE       | BARON JEFFREY R & ELIZABETH A |
| 12                    | 6743 GASTON AVE       | MOSELEY KATE                  |
| 13                    | 6735 GASTON AVE       | MEYER KARL F &                |
| 14                    | 6731 GASTON AVE       | TERRILL RICHARD LESLIE &      |
| 15                    | 6725 GASTON AVE       | ORTEGON COURTNEY & ANTHONY    |
| 16                    | 6715 GASTON AVE       | TODD BRETT &                  |
| 17                    | 6745 COUNTRY CLUB CIR | EHRENBERG ROXANNE             |

**FILE NUMBER:** BDA189-087(SL)

**BUILDING OFFICIAL'S REPORT:** Application of Enrique Bernal, represented by Nathan Forti, for a variance to the front yard setback regulations at 437 Singleton Boulevard. This property is more fully described as Lot 3&4, Block 7093, and is zoned IR, which requires a front yard setback of 15 feet. The applicant proposes to construct and/or maintain a structure and provide a 2 foot 8 inch front yard setback, which will require a 12 foot 4 inch variance to the front yard setback regulations.

**LOCATION:** 437 Singleton Boulevard

**APPLICANT:** Erica Bernal  
Represented by Nathan Forti

**REQUEST:**

A request for a variance to the front yard setback regulations of 12' 4" is made to construct and maintain an approximately 184 square foot awning "structure" (approximately 46' x 4') that would attach to an existing nonconforming structure, and be located 2' 8" from one of the site's two front property lines (Singleton Boulevard) or 12' 4" into this 15' front yard setback on a site developed with a nonconforming commercial/retail use/structure.

**STANDARD FOR A VARIANCE:**

Section 51(A)-3.102(d)(10) of the Dallas Development Code specifies that the board has the power to grant variances from the front yard, side yard, rear yard, lot width, lot depth, lot coverage, floor area for structures accessory to single family uses, height, minimum sidewalks, off-street parking or off-street loading, or landscape regulations provided that the variance is:

- (A) not contrary to the public interest when, owing to special conditions, a literal enforcement of this chapter would result in unnecessary hardship, and so that the spirit of the ordinance will be observed and substantial justice done;
- (B) necessary to permit development of a specific parcel of land that differs from other parcels of land by being of such a restrictive area, shape, or slope, that it cannot be developed in a manner commensurate with the development upon other parcels of land with the same zoning; and
- (C) not granted to relieve a self-created or personal hardship, nor for financial reasons only, nor to permit any person a privilege in developing a parcel of land not permitted by this chapter to other parcels of land with the same zoning.

**STAFF RECOMMENDATION:**

Approval, subject to the following condition:

- Compliance with the submitted site plan is required.

Rationale:

- Staff concluded that the subject site is unique and different from most lots in the IR zoning district in that it is restrictive in area with only about 5,300 square feet.
- Staff concluded that the applicant has shown by submitting a document indicating among other things that the average square footage of the lots in the same IR zoning is about 76,000 square feet or about 70,000 square feet larger than that of the subject site.
- Staff concluded that granting this variance is not contrary to the public interest since if granted with the submitted site plan imposed as a condition, the only structure that would be allowed to encroach into a front yard setback is an approximately 184 square foot awning “structure” (approximately 46’ x 4’) that would attach to an existing nonconforming structure located 2’ 8” from one of the site’s two front property lines (Singleton Boulevard) or 12’ 4” into this 15’ front yard setback.

**BACKGROUND INFORMATION:**

**Zoning:**

Site: IR (Industrial/research)  
North: IR (Industrial/research)  
South: IR (Industrial/research)  
East: IR (Industrial/research)  
West: CR (Community retail)

**Land Use:**

The subject site is developed with a commercial/retail structure. The areas to the north, east and west are developed with commercial uses; and the area to the south is developed with multifamily use.

**Zoning/BDA History:**

There has not been any recent related board or zoning cases recorded either on or in the immediate vicinity of the subject site.

**GENERAL FACTS /STAFF ANALYSIS (front yard):**

- The request for a variance to the front yard setback regulations in this case focuses on constructing/maintaining an approximately 184 square foot awning “structure” (approximately 46’ x 4’) that would attach to an existing nonconforming structure and be located 2’ 8” from one of the site’s two front property lines (Singleton Boulevard) or 12’ 4” into this 15’ front yard on a site developed with a nonconforming commercial/retail use/structure.



- The property is located in an IR zoning district which requires a minimum front yard setback of 15 feet.
- The site is located at the northeast corner of Singleton Boulevard and Bataan Street. The site has two front yard setbacks as any corner lot would have in a zoning district other than single family, duplex, or agricultural district.
- The submitted site plan indicates a “one story brick and frame” structure with an awning structure located 2’ 8” from the Singleton Boulevard front property line or 12’ 4” into this 15’ front yard setback.
- DCAD records indicate “main improvement” for the property at 437 Singleton Boulevard is a “free standing retail store” built in 1941 with 2,175 square feet of total area, and a “utility building” built in 1945 with 456 square feet.
- Building Inspection staff states that the existing structure is a nonconforming structure.
- The code defines nonconforming structure as a structure that does not conform to the regulations of the code, but which was lawfully constructed under the regulations in force at the time of construction.
- The code states that the right to rebuild a nonconforming structure ceases if the structure is destroyed by the intentional act of the owner or the owner’s agent.
- The code states that a person may renovate, remodel, repair, rebuild, or enlarge a nonconforming structure if the work does not cause the structure to become more nonconforming as to the yard, lot, and space regulations.
- The application has informed staff that he has chosen to seek variance to the front yard setback regulations only for the awning structure to be located in the Singleton Boulevard front yard setback.
- The subject site is flat, rectangular in shape, and approximately 5,300 square feet in area. The site has two 15’ front yard setbacks as would any corner lot would have in a zoning district other than single family, duplex, or agricultural district.
- The applicant’s representative has submitted a document that lists 18 other properties where the average of lot size is about 76,000 square feet (or about 70,000 square feet larger than the square footage of the site).
- The applicant has the burden of proof in establishing the following:
  - That granting the variance to the front yard setback regulations will not be contrary to the public interest when, owing to special conditions, a literal enforcement of this chapter would result in unnecessary hardship, and so that the spirit of the ordinance will be observed and substantial justice done.
  - The variance is necessary to permit development of the subject site that differs from other parcels of land by being of such a restrictive area, shape, or slope, that the subject site cannot be developed in a manner commensurate with the development upon other parcels of land in districts with the same IR zoning classification.
  - The variance would not be granted to relieve a self-created or personal hardship, nor for financial reasons only, nor to permit any person a privilege in developing this parcel of land (the subject site) not permitted by this chapter to other parcels of land in districts with the same IR zoning classification.
- If the Board were to grant the variance request, and impose the submitted site plan as a condition, the structure in the front yard setback would be limited to what is

shown on this document which in this case is a new awning structure in the Singleton Boulevard front yard setback.

**Timeline:**

May 21, 2019: The applicant submitted an “Application/Appeal to the Board of Adjustment” and related documents which have been included as part of this case report.

July 10, 2019: The Board of Adjustment Secretary randomly assigned this case to Board of Adjustment Panel B.

July 10, 2019: The Board of Adjustment Chief Planner/Board Administrator emailed the applicant’s representative the following information:

- a copy of the application materials including the Building Official’s report on the application;
- an attachment that provided the public hearing date and panel that will consider the application; the July 31<sup>st</sup> deadline to submit additional evidence for staff to factor into their analysis; and the August 9<sup>th</sup> deadline to submit additional evidence to be incorporated into the Board’s docket materials;
- the criteria/standard that the board will use in their decision to approve or deny the request; and
- the Board of Adjustment Working Rules of Procedure pertaining to “documentary evidence.”

July 31, 2019: The applicant’s representative submitted additional information to staff beyond what was submitted with the original application (see Attachment A).

August 6, 2019: The Board of Adjustment staff review team meeting was held regarding this request and the others scheduled for the August public hearings. Review team members in attendance included: the Sustainable Development and Construction Assistant Director, the Building Official, the Assistant Building Official, the Board of Adjustment Chief Planner/Board Administrator, the Sustainable Development and Construction Senior Engineer, the Building Inspection Senior Plans Examiner/Development Code Specialist, and the Assistant City Attorney to the Board.

No review comment sheets were submitted in conjunction with this application.



1:1,200

# ZONING MAP

Case no: BDA189-087

Date: 7/15/2019



  
 1:1,200

# AERIAL MAP

Case no: BDA189-087  
 Date: 7/15/2019

BDA189-087  
Attach A  
pg 1

**Long, Steve**

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**From:** nate.forti@bluebonnetconstructionllc.com  
**Sent:** Wednesday, July 31, 2019 3:59 PM  
**To:** Long, Steve  
**Subject:** Re: FW: BDA189-087, Property at 437 Singleton Boulevard  
**Attachments:** Singleton Tattoo Comps.xlsx

here is the table of comps showing other nearby property's lot coverage's.

Nate

On 2019-07-31 02:18 PM, Long, Steve wrote:

Dear Mr. Forti,

Several weeks ago we had a conversation about how you could consider strengthening your application with the submittal of additional information to the attached code standard.

Are you intending to do so? (Today is the deadline).

Steve

---

**From:** Long, Steve  
**Sent:** Thursday, July 18, 2019 1:11 PM  
**To:** nate.forti@bluebonnetconstructionLLC.com  
**Cc:** Trammell, Charles <charles.trammell@dallascityhall.com>  
**Subject:** FW: BDA189-087, Property at 437 Singleton Boulevard

Dear Mr. Forti,

This is to follow-up on the conversation we just had where I will prepare a case report that describes your request for a variance to the front yard setback regulations only to construct and maintain a new awning structure to be located in the Singleton Boulevard front yard setback, and not to address the existing nonconforming structure located in the Singleton Boulevard and Bataan Street front yard setbacks.

PDA 139-087  
 Atten A  
 pg 2

| Description                  | Address Number | Address Name   | Address Name | Zone | Lot Size sqft |
|------------------------------|----------------|----------------|--------------|------|---------------|
| 1 Apartment                  | 320            | Singleton Blvd | Bldg 1       | I/R  | 211702        |
| 2 Retail Strip               | 320            | Singleton Blvd | Bldg 1       | I/R  | 211702        |
| 3 Apartment                  | 320            | Singleton Blvd | Bldg 2       | I/R  | 211702        |
| 4 Retail Strip               | 320            | Singleton Blvd | Bldg 2       | I/R  | 211702        |
| 5 Parking Garage             | 320            | Singleton Blvd |              | I/R  | 211702        |
| 6 Parking Garage             | 320            | Singleton Blvd |              | I/R  | 211702        |
| 7 Storage Warehouse          | 331            | Singleton Blvd |              | I/R  | 21292         |
| 8 Convenience Store          | 353            | Singleton Blvd |              | I/R  | 12929         |
| 9 Storage Warehouse          | 355            | Singleton Blvd |              | I/R  | 15692         |
| 10 Warehouse/Office          | 408            | Singleton Blvd |              | I/R  | 27739         |
| 11 Storage Warehouse         | 423            | Singleton Blvd |              | I/R  | 43560         |
| 12 Retail Store              | 429            | Singleton Blvd |              | I/R  | 6000          |
| 13 Retail Store              | 437            | Singleton Blvd |              | I/R  | 5300          |
| 14 Storage Warehouse         | 500            | Singleton Blvd |              | I/R  | 69324         |
| 15 Restaurant                | 602            | Singleton Blvd |              | I/R  | 6850          |
| 16 Retail Strip              | 604            | Singleton Blvd |              | I/R  | 6875          |
| 17 Storage Warehouse         | 626            | Singleton Blvd |              | I/R  | 13965         |
| 18 Converted Service Station | 740            | Singleton Blvd |              | I/R  | 19702         |
| 19 Retail                    | 730            | Singleton Blvd |              | I/R  | 14684         |

Total Average      76441.2  
 Under Sqft by      71141.2



City of Dallas

APPLICATION/APEAL TO THE BOARD OF ADJUSTMENT

Case No.: BDA 189-087

Data Relative to Subject Property:

Date: 5-21-19

Location address: 437 Singleton Blvd Dallas TX 75212 Zoning District: I/R

Lot No.: 344 Block No.: 7093 Acreage: 0.12 Census Tract: 101.02

Street Frontage (in Feet): 1) 105.78 2) 51.98 3) \_\_\_\_\_ 4) \_\_\_\_\_ 5) \_\_\_\_\_

To the Honorable Board of Adjustment :

Owner of Property (per Warranty Deed): Enrique Bernal - ETK USA Enterprises LLC

Applicant: Enrique Bernal Telephone: 214 505 3004

Mailing Address: 1239 Whispering Oaks Desoto TX Zip Code: 75115

E-mail Address: ejoytattoo@gmail.com

Represented by: Nathan Forti Telephone: 214-864-9845

Mailing Address: 5019 Stoneleigh Ave Dallas TX Zip Code: 75235

E-mail Address: nate.forti@bluebonnetconstructionllc.com

Affirm that an appeal has been made for a Variance  or Special Exception \_\_\_\_\_, of Encroachment  
of the Front Yard Set Back 12' 4" into the required  
15' FYSB + provide A 2' 8" FYSB

Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to grant the described appeal for the following reason:

To install an awning across the front of the  
building and to make the property more comparable to  
the surrounding properties in the area.

Note to Applicant: If the appeal requested in this application is granted by the Board of Adjustment, a permit must be applied for within 180 days of the date of the final action of the Board, unless the Board specifically grants a longer period.

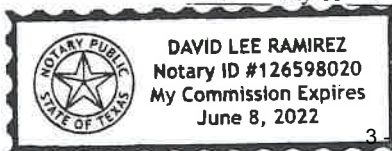
Affidavit

Before me the undersigned on this day personally appeared Enrique Bernal  
(Affiant/Applicant's name printed)

who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner/or principal/or authorized representative of the subject property.

Respectfully submitted: [Signature]  
(Affiant/Applicant's signature)

Subscribed and sworn to before me this 7<sup>th</sup> day of May, 2019



[Signature]  
Notary Public in and for Dallas County, Texas

MEMORANDUM OF  
ACTION TAKEN BY THE  
BOARD OF ADJUSTMENT

Date of Hearing \_\_\_\_\_

Appeal was--Granted OR Denied

Remarks \_\_\_\_\_

Chairman

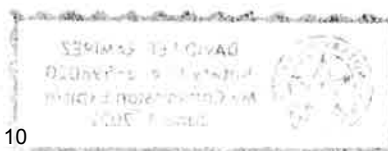
**Building Official's Report**

I hereby certify that Enrique Bernal  
represented by NATHAN FORTI  
did submit a request for a variance to the front yard setback regulations  
at 437 Singleton Blvd.

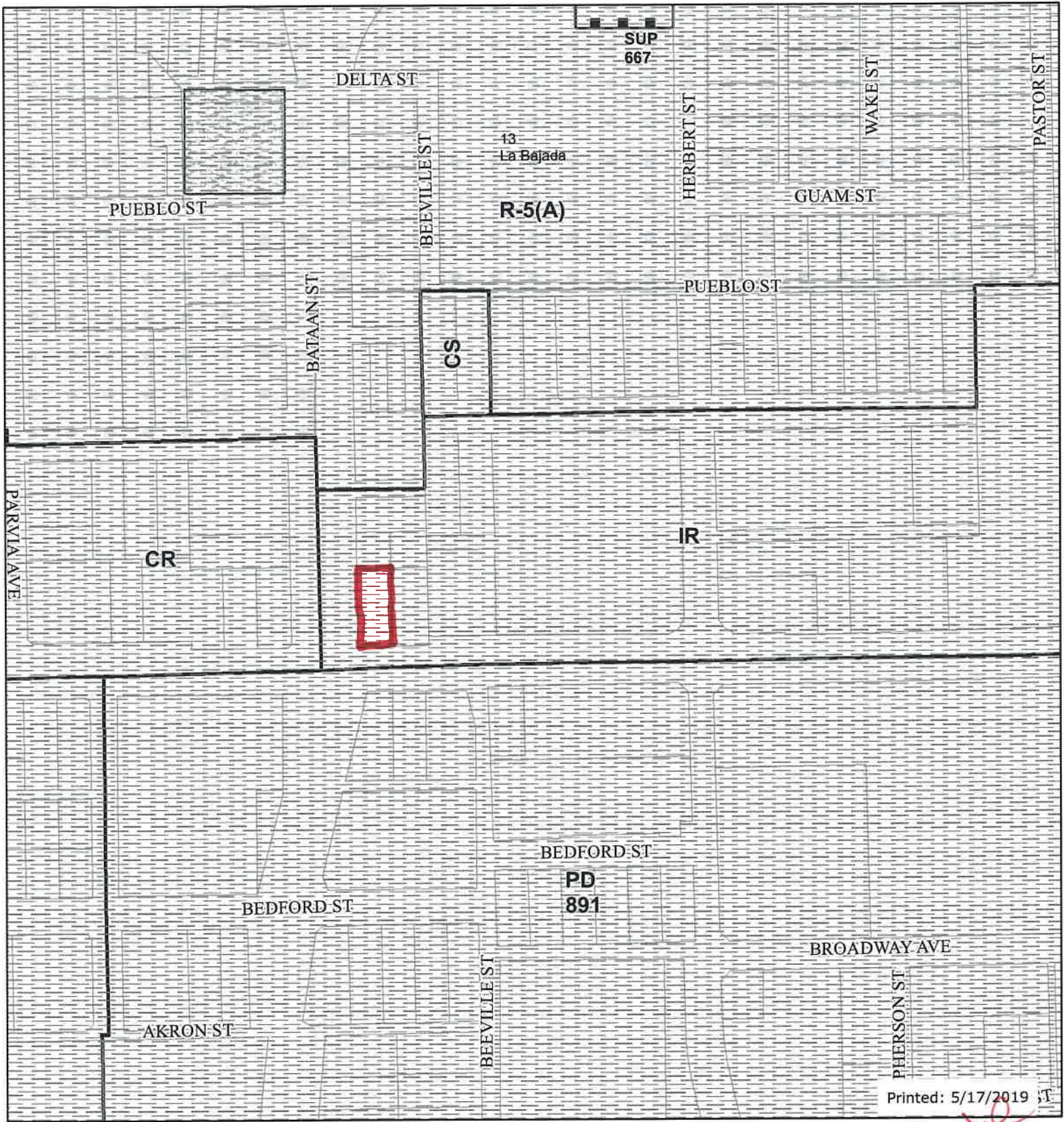
BDA189-087. Application of Enrique Bernal represented by NATHAN FORTI for a variance to the front yard setback regulations at 437 SINGLETON BLVD. This property is more fully described as Lot 3&4, Block 7093, and is zoned IR, which requires a front yard setback of 15 feet. The applicant proposes to construct and maintain a non-residential structure and provide a 2 foot 8 inch front yard setback, which will require a .12 foot 4 inch variance to th front yard setback regulations.

Sincerely,

*Philip Sikes*  
Philip Sikes, Building Official







Printed: 5/17/2019

### Legend

- |                      |                                |                       |                            |
|----------------------|--------------------------------|-----------------------|----------------------------|
| City Limits          | railroad                       | Dry Overlay           | CD Subdistricts            |
| School               | Certified Parcels              | D                     | PD Subdistricts            |
| Floodplain           | Base Zoning                    | D-1                   | PDS Subdistricts           |
| 100 Year Flood Zone  | PD193 Oak Lawn                 | CP                    | NSO Subdistricts           |
| Mill's Creek         | Dallas Environmental Corridors | SP                    | NSO_Overlay                |
| Peak's Branch        | SPSP Overlay                   | MD Overlay            | Escarpment Overlay         |
| X Protected by Levee | Deed Restrictions              | Historic Subdistricts | Parking Management Overlay |
| Parks                | SUP                            | Historic Overlay      | Height Front Overlay       |
|                      |                                | Height Map Overlay    |                            |

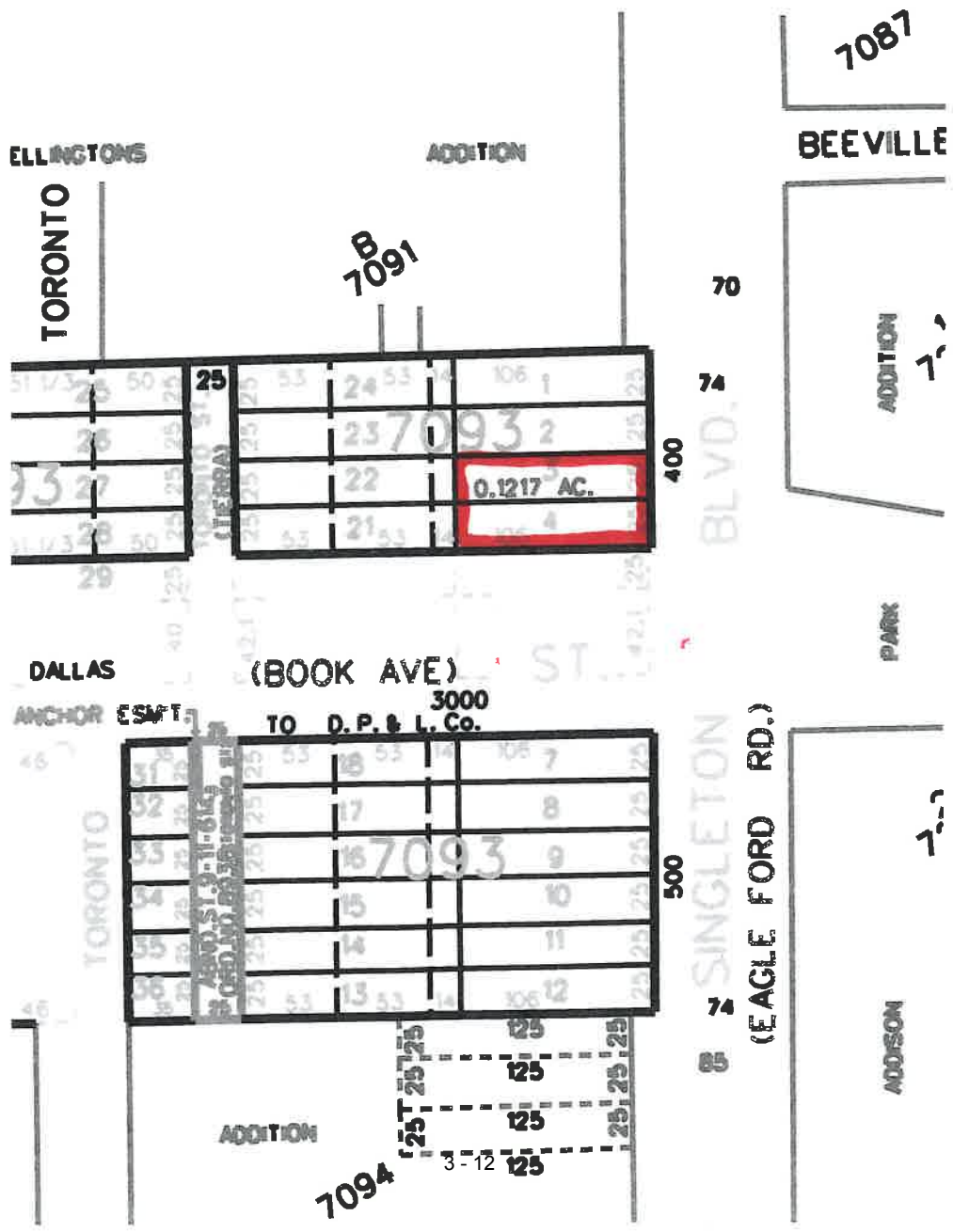
This data is to be used for graphical representation only. The accuracy is not to be taken/used as data produced by a Registered Professional Land Surveyor (RPLS) for the State of Texas. 'This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.' (Texas Government Code § 2051.102)



OF DALLAS PLAT BOOKS

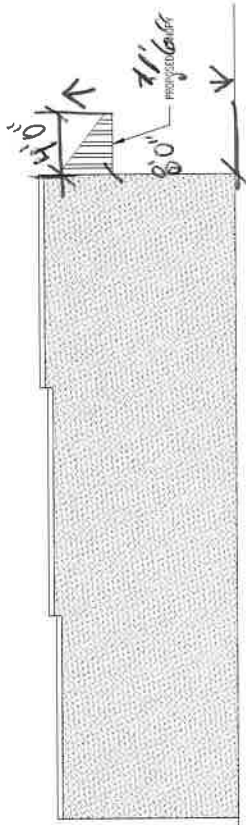
VALLEY PARK

SCALE 100 FT. EQUALS 1 INCH

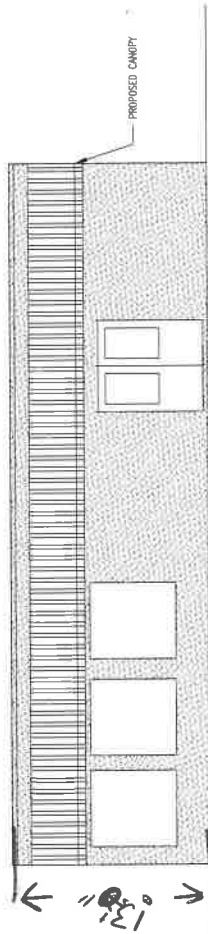




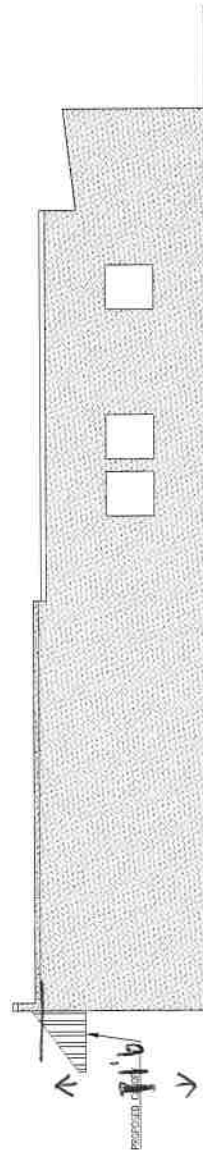
437 SINGLETON BLVD.



1 WEST ELEVATION  
1/4"=1'-0" @Z2834



2 NORTH ELEVATION  
1/4"=1'-0" @Z2834



3 EAST ELEVATION  
1/4"=1'-0" @Z2834



|  |  |  |                            |
|--|--|--|----------------------------|
| <br>1:1,200 | <b>NOTIFICATION</b>  |  | Case no: <b>BDA189-087</b> |
|  | <div style="border: 1px solid black; padding: 2px; display: inline-block;">200'</div> AREA OF NOTIFICATION<br><div style="border: 1px solid black; padding: 2px; display: inline-block;">12</div> NUMBER OF PROPERTY OWNERS NOTIFIED |  | Date: <b>7/15/2019</b>     |

## ***Notification List of Property Owners***

***BDA189-087***

### ***12 Property Owners Notified***

| <b><i>Label #</i></b> | <b><i>Address</i></b> | <b><i>Owner</i></b>        |
|-----------------------|-----------------------|----------------------------|
| 1                     | 437 SINGLETON BLVD    | EJK USA ENTERPRISE LLC     |
| 2                     | 422 SINGLETON BLVD    | WEST DALLAS INV L P        |
| 3                     | 423 SINGLETON BLVD    | WEST DALLAS INVESTMENTS L  |
| 4                     | 425 SINGLETON BLVD    | WEST DALLAS INVESTMENTS    |
| 5                     | 453 TORONTO ST        | WEST DALLAS INVESTMENTS    |
| 6                     | 424 TORONTO ST        | WORKFORE MULTIFAMILY LLC   |
| 7                     | 3001 BATAAN ST        | HUERTA YSIDRO              |
| 8                     | 507 SINGLETON BLVD    | WEST DALLAS INVESTMENTS LP |
| 9                     | 3106 BATAAN ST        | IGLESIA DE DIOS MANANTIA   |
| 10                    | 3012 BATAAN ST        | CASTILLO NATIVIDAD M &     |
| 11                    | 3106 BATAAN ST        | IGLESIA DE DIOS MANATIALE  |
| 12                    | 438 SINGLETON BLVD    | WEST DALLAS NVESTMENTS LP  |

**FILE NUMBER:** BDA189-090(SL)

**BUILDING OFFICIAL'S REPORT:** Application of Elton Johnson for a variance to the side yard setback regulations at 7132 Casa Loma Avenue. This property is more fully described as Lot 8, Block B/2742, and is zoned R-7.5(A), which requires a side yard setback of 5 feet. The applicant proposes to construct and/or maintain a structure and provide a 4 foot 7 inch side yard setback, which will require a 5 inch variance to the side yard setback regulations.

**LOCATION:** 7132 Casa Loma Avenue

**APPLICANT:** Elton Johnson

**REQUEST:**

A request for a variance to the side yard setback regulations of 5" is made to maintain an existing two-story single family home structure with, according to the application, approximately 4,100 square foot of area, that is located as close as 4' 7" from the site's western side property line or as much as 5" into this 5' side yard setback.

**STANDARD FOR A VARIANCE:**

Section 51(A)-3.102(d)(10) of the Dallas Development Code specifies that the board has the power to grant variances from the front yard, side yard, rear yard, lot width, lot depth, lot coverage, floor area for structures accessory to single family uses, height, minimum sidewalks, off-street parking or off-street loading, or landscape regulations provided that the variance is:

- (A) not contrary to the public interest when, owing to special conditions, a literal enforcement of this chapter would result in unnecessary hardship, and so that the spirit of the ordinance will be observed and substantial justice done;
- (B) necessary to permit development of a specific parcel of land that differs from other parcels of land by being of such a restrictive area, shape, or slope, that it cannot be developed in a manner commensurate with the development upon other parcels of land with the same zoning; and
- (C) not granted to relieve a self-created or personal hardship, nor for financial reasons only, nor to permit any person a privilege in developing a parcel of land not permitted by this chapter to other parcels of land with the same zoning.

**STAFF RECOMMENDATION:**

Approval, subject to the following condition:

- Compliance with the submitted site plan is required.

Rationale:

- Staff concluded that the subject site is unique and different from most lots in the R-7.5(A) zoning district in that it is slightly irregular in shape and restrictive in area with about 500 square feet less than the typical 7,500 square feet on lots in the R-7.5(A) zoning district.
- Staff concluded that the applicant has shown by submitting a document indicating among other things that the home on the subject site with approximately 4,100 square feet of living area is commensurate or less than the average of 15 other homes in the same R-7.5(A) zoning district that have an average living area square footage of about 4,600 square feet.
- Staff concluded that granting this variance is not contrary to the public interest since if granted with the submitted site plan imposed as a condition, only a portion of the home on the site would be in the site's western side yard setback by as much as 5".

**BACKGROUND INFORMATION:**

**Zoning:**

Site: R-7.5(A) (Single family district 7,500 square-feet)  
North: R-7.5(A) (Single family district 7,500 square-feet)  
South: R-7.5(A) (Single family district 7,500 square-feet)  
East: R-7.5(A) (Single family district 7,500 square-feet)  
West: R-7.5(A) (Single family district 7,500 square-feet)

**Land Use:**

The subject site is developed with a single family home structure/use. The areas to the north, east, south and west are developed with single family uses.

**Zoning/BDA History:**

There has not been any recent related board or zoning cases recorded either on or in the immediate vicinity of the subject site.

**GENERAL FACTS /STAFF ANALYSIS:**

- This request for variance to the side yard setback regulations of 5" focuses on maintaining an existing two-story single family home structure with, according to the application, approximately 4,100 square foot of area, that is located as close as 4' 7" from the site's western side property line or as much as 5" into this 5' side yard setback.
- The property is located in an R-7.5(A) zoning district which requires a minimum side yard setback of 5 feet.
- The submitted site plan indicates that the structure is located 4' 7" from the site's western side property line or 5" into this 5' side yard setback.



- DCAD records indicate the “main improvement” for the property at 7132 Casa Loma Avenue is a structure built in 2017 with 4,162 square feet of living/total area, and the “additional improvements” to be a 505 square foot attached garage.
- The subject site is flat, slightly irregular in shape, and, according to the application, is 0.161 acres (or about 7,000 square feet) in area. The site is zoned R-7.5(A) where lots are typically 7,500 square feet in area.
- The applicant has submitted a document indicating that the average of living area square footage of 15 other homes in R-7.5(A) is approximately 4,600 square feet.
- The applicant has the burden of proof in establishing the following:
  - That granting the variance to the side yard setback regulations will not be contrary to the public interest when, owing to special conditions, a literal enforcement of this chapter would result in unnecessary hardship, and so that the spirit of the ordinance will be observed and substantial justice done.
  - The variance is necessary to permit development of the subject site that differs from other parcels of land by being of such a restrictive area, shape, or slope, that the subject site cannot be developed in a manner commensurate with the development upon other parcels of land in districts with the same R-7.5(A) zoning classification.
  - The variance would not be granted to relieve a self-created or personal hardship, nor for financial reasons only, nor to permit any person a privilege in developing this parcel of land (the subject site) not permitted by this chapter to other parcels of land in districts with the same R-7.5(A) zoning classification.
- If the Board were to grant the variance request, and impose the submitted site plan as a condition, the structure in the side yard setback would be limited to what is shown on this document– which in this case is a structure as close as located 4’ 7” from the site’s western side property line (or as much as 5” into this 5’ side yard setback).

**Timeline:**

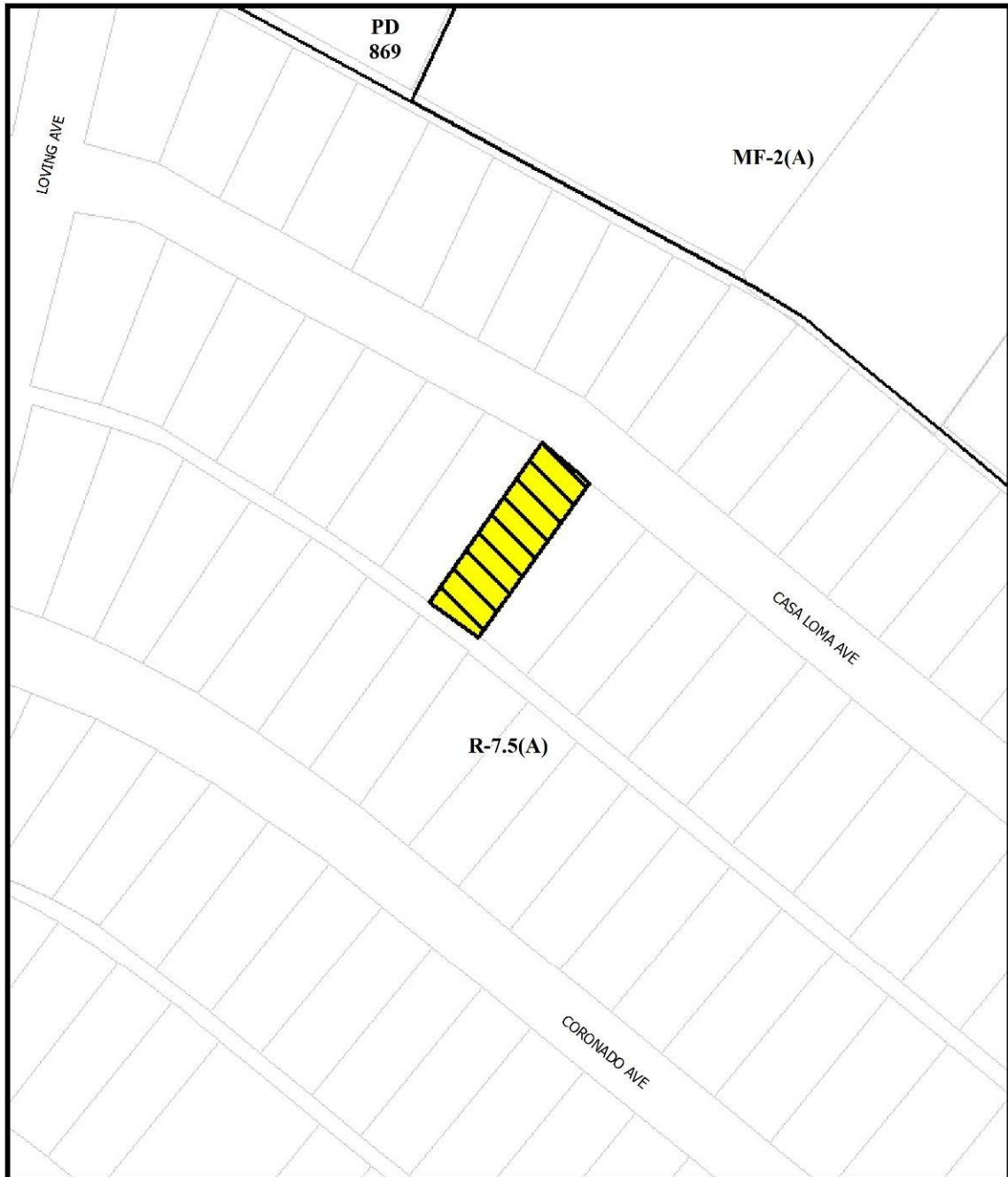
- May 29, 2019: The applicant submitted an “Application/Appeal to the Board of Adjustment” and related documents which have been included as part of this case report.
- July 10, 2019: The Board of Adjustment Secretary randomly assigned this case to Board of Adjustment Panel B.
- July 10, 2019: The Board of Adjustment Chief Planner/Board Administrator emailed the applicant the following information:
- a copy of the application materials including the Building Official’s report on the application;
  - an attachment that provided the public hearing date and panel that will consider the application; the July 31<sup>st</sup> deadline to submit additional evidence for staff to factor into their analysis; and the August 9<sup>th</sup> deadline to submit additional evidence to be incorporated into the Board’s docket materials;

- the criteria/standard that the board will use in their decision to approve or deny the request; and
- the Board of Adjustment Working Rules of Procedure pertaining to “documentary evidence.”

August 1, 2019: The applicant submitted additional information to staff beyond what was submitted with the original application (see Attachment A).

August 6, 2019: The Board of Adjustment staff review team meeting was held regarding this request and the others scheduled for the August public hearings. Review team members in attendance included: the Sustainable Development and Construction Assistant Director, the Building Official, the Assistant Building Official, the Board of Adjustment Chief Planner/Board Administrator, the Sustainable Development and Construction Senior Engineer, the Building Inspection Senior Plans Examiner/Development Code Specialist, and the Assistant City Attorney to the Board.

No review comment sheets were submitted in conjunction with this application.

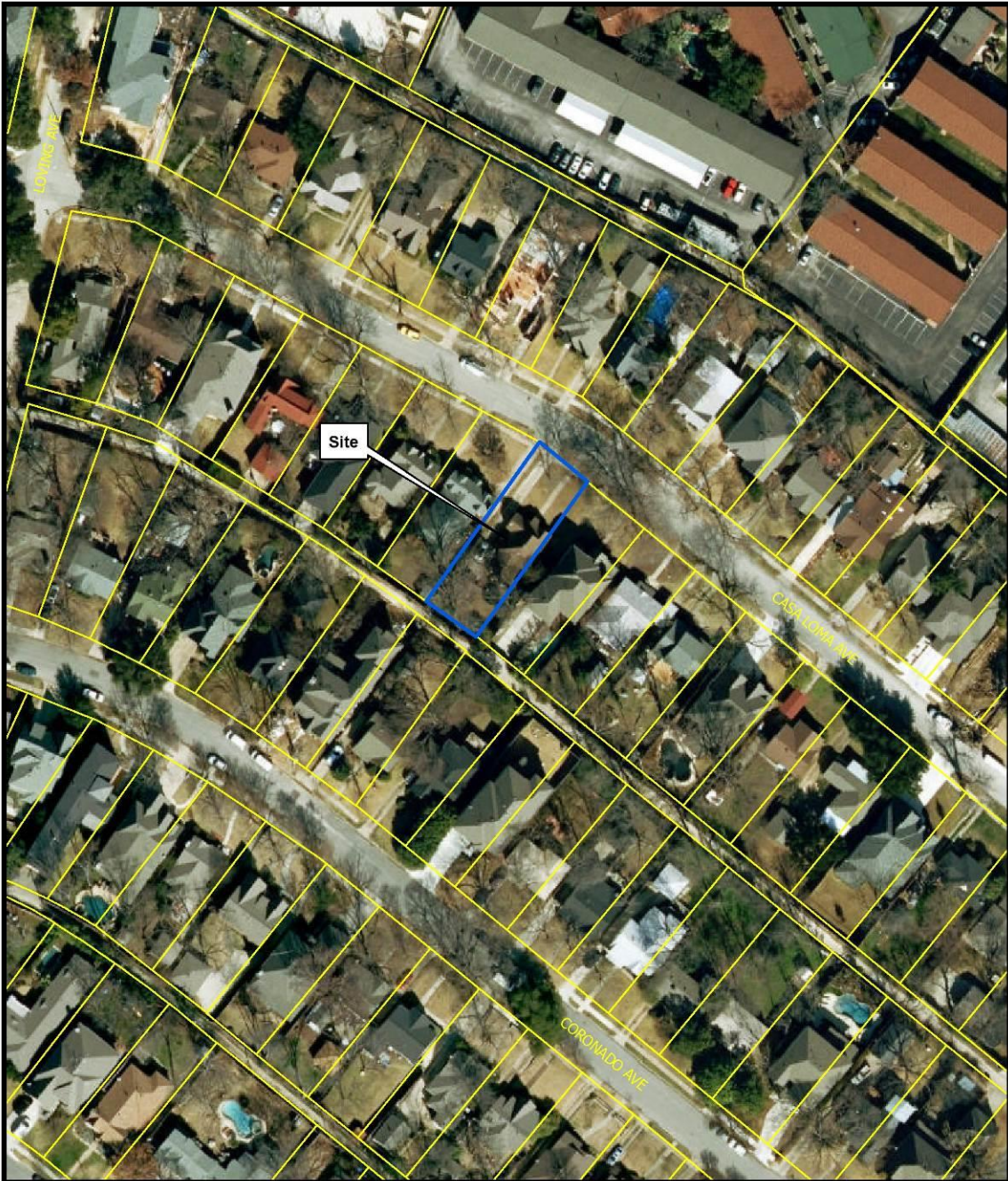


1:1,200

# ZONING MAP

Case no: BDA189-090

Date: 7/12/2019



1:1,200

# AERIAL MAP

Case no: BDA189-090

Date: 7/12/2019

BDA189-090

Attch A

PS1

July 31, 2019

City of Dallas  
Steve Long  
1500 Marilla Street, 5BN  
Dallas, TX 75201

To Whom It May Concern:

This letter is an addendum to the request for a variance at 7132 Casa Loma, Dallas TX 75214 which will outline the reasons we feel that the variance should be awarded. Firstly, we have a restricted lot size on which to operate. Our lot at 7025 square feet per DCAD records is smaller than the regular lot size of 7500 square feet for properties zoned in the R75 zoning. In addition, our lot is not a perfect rectangle, it is slightly irregular shaped. Finally, our house total square footage is smaller than comparable houses in the R75 zoning. Please see the attached chart showing houses in the area zoned R75, with an average square footage of 4570, which demonstrates that our house is less than the average. We believe that these factors are explanations for our modest variance request.

Finally, while I am aware that the reason for the request should not sway the decision, I would like to include the fact that I am the builder that took over the building of the project after the house was already placed on the property. The prior builders left the investor with the project half done.

Thank you for your consideration in this matter.

Sincerely,



Elton Johnson  
Homestead Concepts  
214-336-7219

| <u>Address</u> | <u>Lot</u><br><u>Sq Footage</u> | <u>Sq Footage</u><br><u>Living Area</u> | <u>Sq Footage</u><br><u>addl</u> | <u>Sq Footage</u><br><u>TOTAL</u> |
|----------------|---------------------------------|---|----------------------------------|-----------------------------------|
| 7027 Casa Loma | 8250                            | 4619                                    | 463                              | 5082                              |
| 7046 Casa Loma | 8113                            | 4388                                    | 858                              | 5246                              |
| 7043 Casa Loma | 8250                            | 4391                                    | 835                              | 5226                              |
| 7302 Casa Loma | 8152                            | 4852                                    | 552                              | 5404                              |
| 7055 Casa Loma | 9900                            | 4713                                    | 871                              | 5584                              |
| 6857 Coronado  | 8250                            | 4647                                    | 1054                             | 5701                              |
| 6843 Coronado  | 8100                            | 4326                                    | 876                              | 5202                              |
| 7031 Coronado  | 8692                            | 4363                                    | 950                              | 5313                              |
| 7223 Coronado  | 7375                            | 4340                                    | 678                              | 5018                              |
| 6942 La Vista  | 8008                            | 5031                                    | 658                              | 5689                              |
| 6946 La Vista  | 8151                            | 4633                                    | 488                              | 5121                              |
| 7019 La Vista  | 8195                            | 5008                                    | 529                              | 5537                              |
| 7207 La Vista  | 7456                            | 4251                                    | 582                              | 4833                              |
| 1810 Loving    | 9362                            | 4334                                    | 574                              | 4908                              |
| 7030 Clayton   | 8400                            | 4659                                    | 696                              | 5355                              |
|                |                                 |   |                                  | 0                                 |
|                |                                 |   |                                  | 0                                 |
|                | 124654                          | 68555                                   | 10664                            | 79219                             |
| <b>AVERAGE</b> | <b>8310.267</b>                 | <b>4570.333</b>                         | <b>710.9333</b>                  | <b>5281.267</b>                   |



City of Dallas

APPLICATION/APPEAL TO THE BOARD OF ADJUSTMENT

Case No.: BDA 189-090

Date: 5-29-19

Data Relative to Subject Property:

Location address: 7132 Casa Loma Zoning District: R7.5(A)

Lot No.: 8 Block No.: B/2742 Acreage: .161 Census Tract: 1.00

Street Frontage (in Feet): 1) 50' 2) 3) 4) 5)

To the Honorable Board of Adjustment :

Owner of Property (per Warranty Deed): ZRH BROTHERS PROPERTIES / Raul Ruiz

Applicant: Elton Johnson Telephone: 214-336-7219

Mailing Address: 5930 Royal Lane #E104 Zip Code: 75230

E-mail Address: elton.johnson22@gmail.com

Represented by: Telephone:

Mailing Address: Zip Code:

E-mail Address:

Affirm that an appeal has been made for a Variance [checked], or Special Exception, of 5" to the required 5' SYSB + provide A 4' 7" Side yard setback

Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to grant the described appeal for the following reason: My lot is 7025 sq ft the average is 7608 sq ft my structure is 4147 sq ft in 2 story structure. I took over job site from contractor who poured slab incorrectly.

Note to Applicant: If the appeal requested in this application is granted by the Board of Adjustment, a permit must be applied for within 180 days of the date of the final action of the Board, unless the Board specifically grants a longer period.

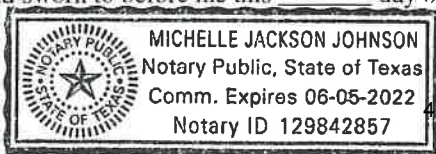
Affidavit

Before me the undersigned on this day personally appeared Elton Johnson Raul Ruiz (Affiant/Applicant's name printed)

who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner/or principal/or authorized representative of the subject property.

Respectfully submitted: [Signature] (Affiant/Applicant's signature)

Subscribed and sworn to before me this 22 day of May, 2020



[Signature] Notary Public in and for Dallas County, Texas

MEMORANDUM OF  
ACTION TAKEN BY THE  
BOARD OF ADJUSTMENT

Date of Hearing \_\_\_\_\_

Appeal was--Granted OR Denied

Remarks \_\_\_\_\_

Chairman

**Building Official's Report**

I hereby certify that Elton Johnson

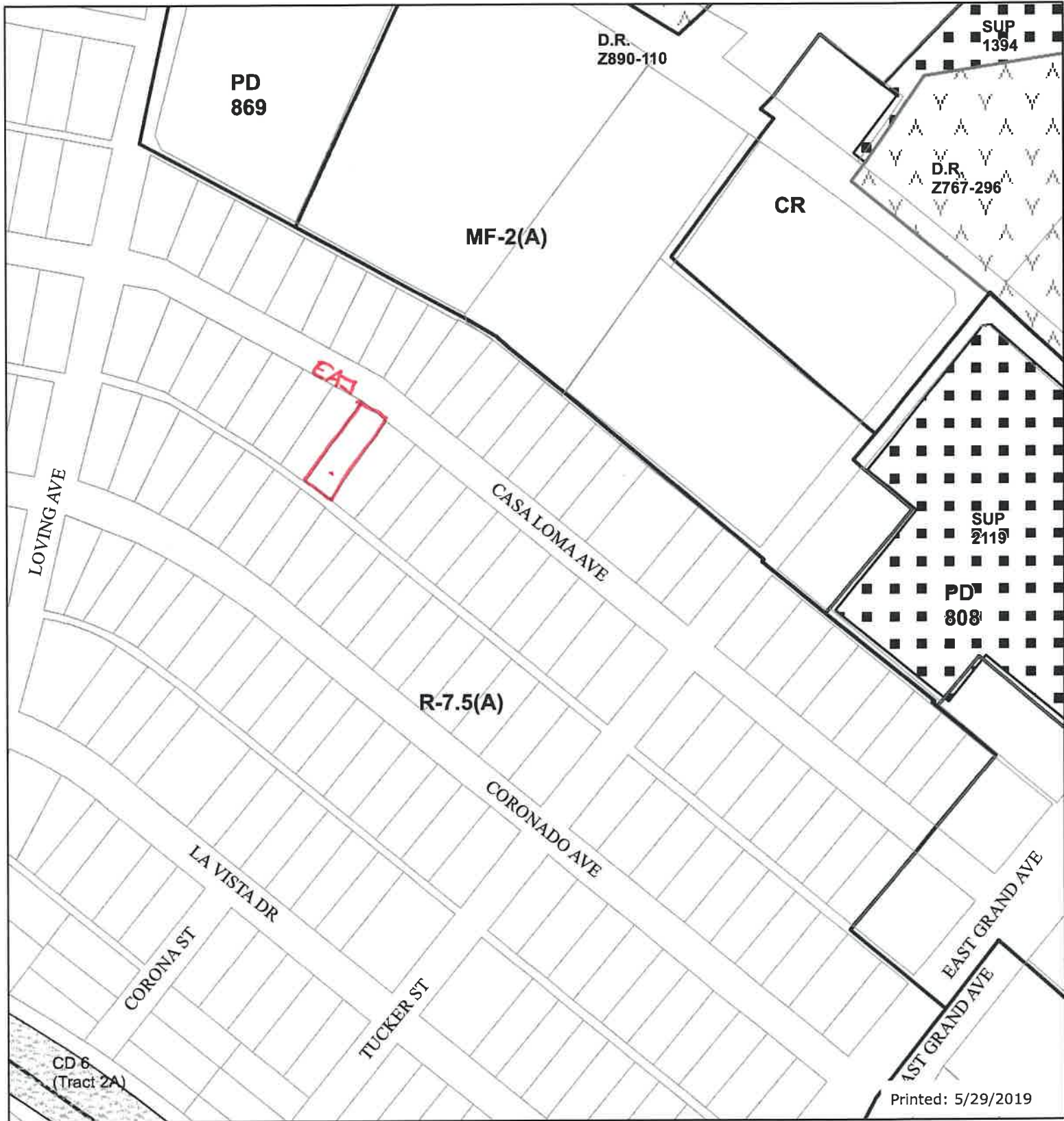
did submit a request for a variance to the side yard setback regulations  
at 7132 Casa Loma Avenue

BDA189-090. Application of Elton Johnson for a variance to the side yard setback regulations at 7132 CASA LOMA AVE. This property is more fully described as Lot 8, Block B/2742, and is zoned R-7.5(A), which requires a side yard setback of 5 feet. The applicant proposes to construct and maintain a single family residential structure and provide a 4 foot 7 inch side yard setback, which will require a 5 inch variance to the side yard setback regulations.

Sincerely,

*Philip Sikes*  
Philip Sikes, Building Official





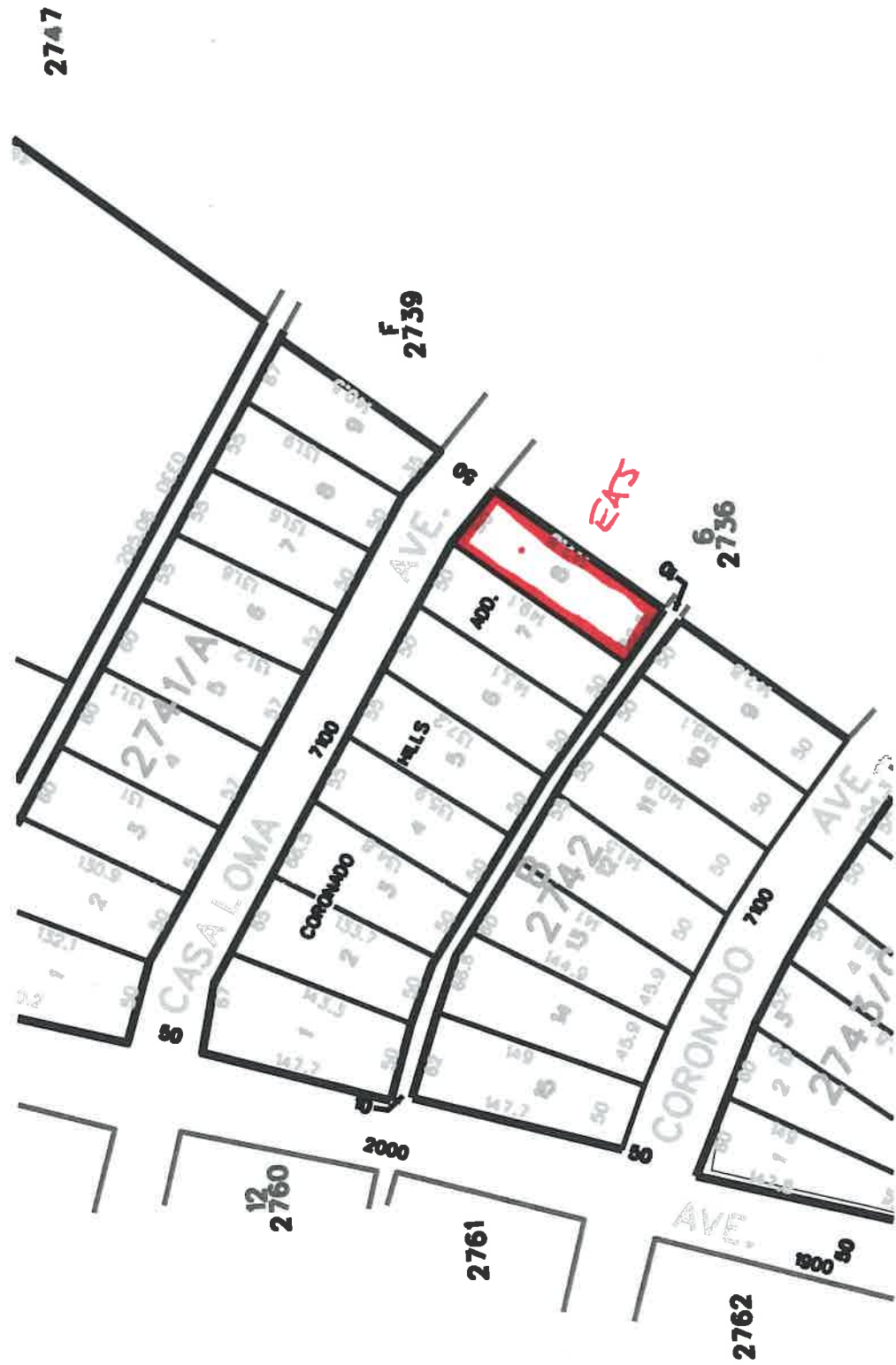
Printed: 5/29/2019

### Legend

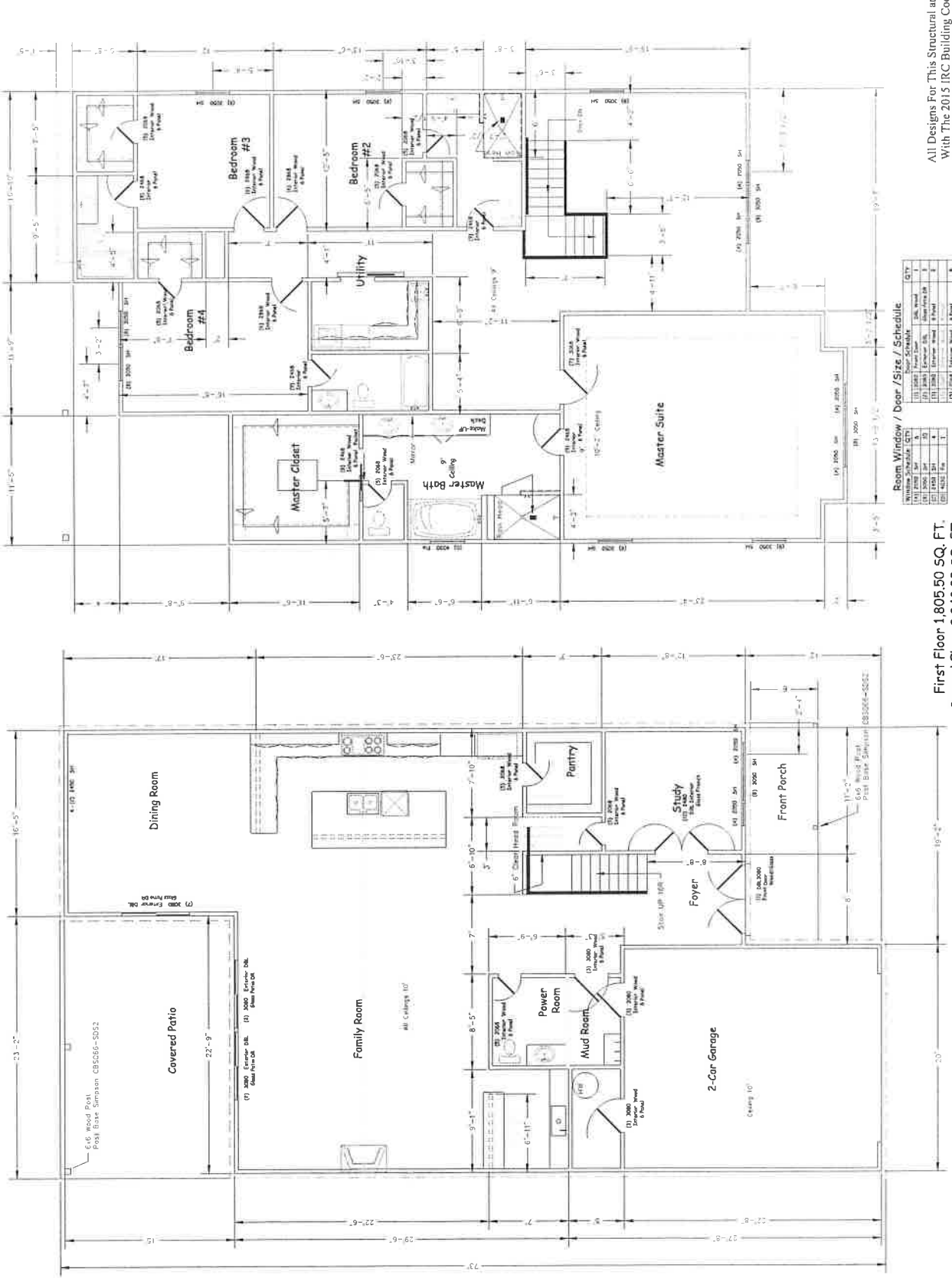
- |                      |                                |                              |                            |
|----------------------|--------------------------------|------------------------------|----------------------------|
| City Limits          | railroad                       | <b>Dry Overlay</b>           | CD Subdistricts            |
| School               | Certified Parcels              | D                            | PD Subdistricts            |
| <b>Floodplain</b>    | Base Zoning                    | D-1                          | PDS Subdistricts           |
| 100 Year Flood Zone  | PD193 Oak Lawn                 | CP                           | NSO Subdistricts           |
| Mill's Creek         | Dallas Environmental Corridors | SP                           | NSO_Overlay                |
| Peak's Branch        | SPSP Overlay                   | MD Overlay                   | Escarpment Overlay         |
| X Protected by Levee | Deed Restrictions              | <b>Historic Subdistricts</b> | Parking Management Overlay |
| Parks                | SUP                            | Historic Overlay             | Shaded Front Overlay       |
|                      |                                | Height Map Overlay           |                            |

This data is to be used for graphical representation only. The accuracy is not to be taken/used as data produced by a Registered Professional Land Surveyor (RPLS) for the State of Texas. This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries. (Texas Government Code § 2051.102)









Room Window / Door / Size / Schedule

| Window Schedule (W) | Door Schedule (D) | Size          | Qty |
|---------------------|-------------------|---------------|-----|
| W1                  | D1                | 3'-0" x 6'-0" | 1   |
| W2                  | D2                | 3'-0" x 6'-0" | 1   |
| W3                  | D3                | 3'-0" x 6'-0" | 1   |
| W4                  | D4                | 3'-0" x 6'-0" | 1   |
| W5                  | D5                | 3'-0" x 6'-0" | 1   |
| W6                  | D6                | 3'-0" x 6'-0" | 1   |
| W7                  | D7                | 3'-0" x 6'-0" | 1   |
| W8                  | D8                | 3'-0" x 6'-0" | 1   |
| W9                  | D9                | 3'-0" x 6'-0" | 1   |
| W10                 | D10               | 3'-0" x 6'-0" | 1   |
| W11                 | D11               | 3'-0" x 6'-0" | 1   |
| W12                 | D12               | 3'-0" x 6'-0" | 1   |
| W13                 | D13               | 3'-0" x 6'-0" | 1   |
| W14                 | D14               | 3'-0" x 6'-0" | 1   |
| W15                 | D15               | 3'-0" x 6'-0" | 1   |
| W16                 | D16               | 3'-0" x 6'-0" | 1   |
| W17                 | D17               | 3'-0" x 6'-0" | 1   |
| W18                 | D18               | 3'-0" x 6'-0" | 1   |
| W19                 | D19               | 3'-0" x 6'-0" | 1   |
| W20                 | D20               | 3'-0" x 6'-0" | 1   |

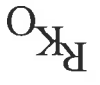
First Floor 1,805.50 SQ. FT.  
 Second Floor 2,342.30 SQ. FT.  
 Total 4,147.80 SQ. FT.

All Designs For This Structural are in Compliance  
 With The 2015 IRC Building Codes

Scale : 1/4" = 1'

First Floor, Floor Plan  
 E:\P\01\0A\01.com

A New Residence  
 7132 Casa Loma Ave.  
 Dallas, Texas 75214

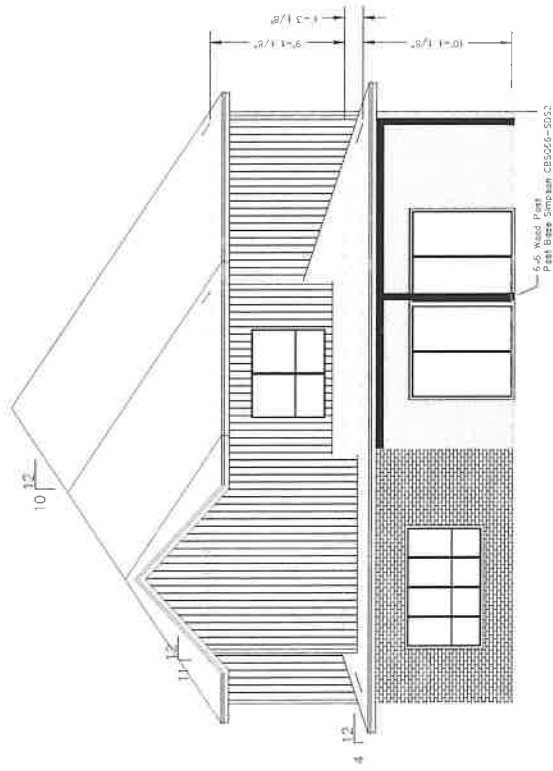


RKO  
 101.27.19

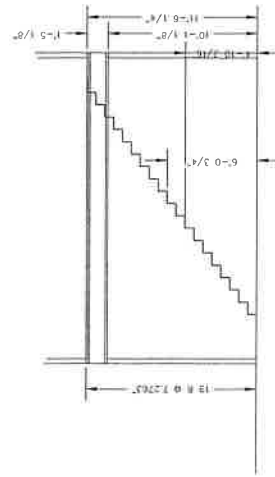
213-17

File Number

AI



**Back Elevation**



**Stair Detail**

- Corice Notes:**
- 5/4 x 6" LP SmartSide Fascia Trim
  - 5/4 LP SmartSide Frieze Trim
  - LP SmartSide 12" Vented Soffit
  - 5/4 x 4" LP SmartSide Trim
  - 5/4 x 6" LP SmartSide Band Board Trim
  - LP SmartSide 6" with 2" Bate Board
  - Porch Sill: Smart Sill E/P LP 5/16"
  - LP SolidStart Laminated Strand Lumber (LP LSL)

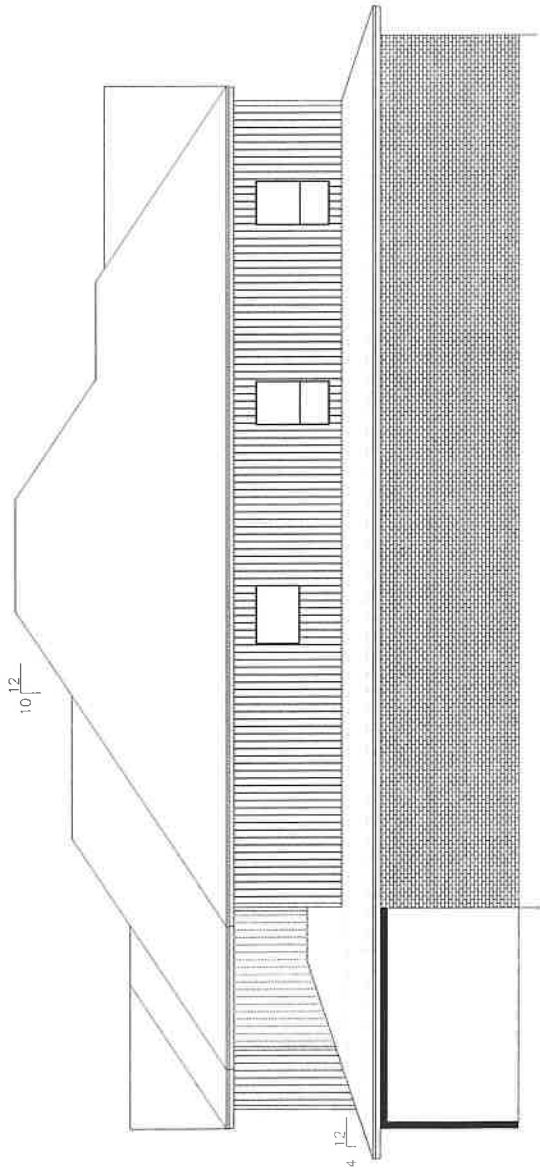


**Front Elevation**

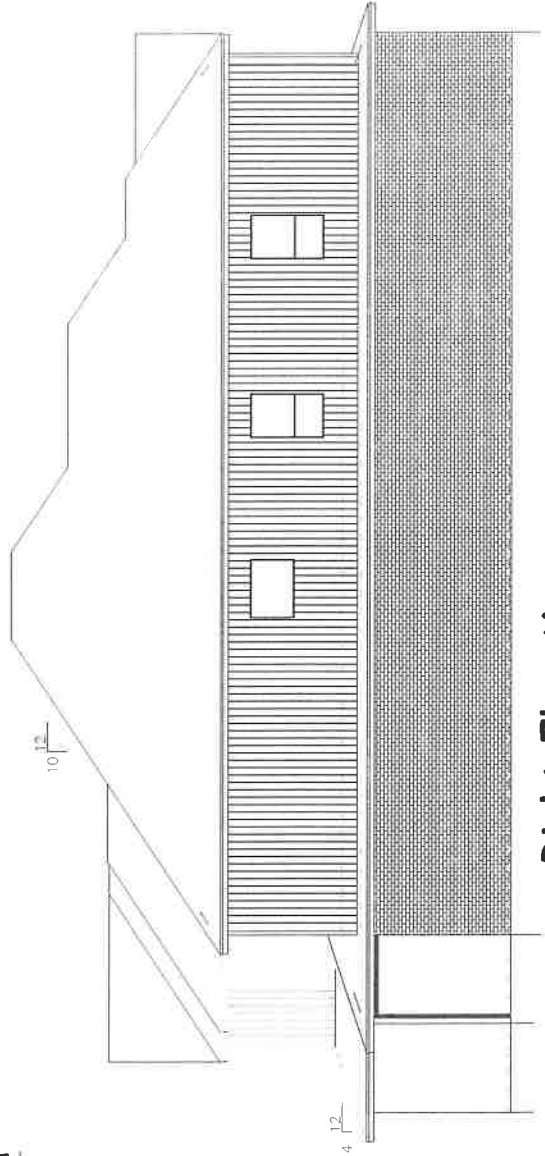
Energy Code 2015 Windows:..... Per Table R402.1.2  
 RB Reliability Spec.....  
 U-Value 0.35  
 SHGC = solar heat gain co-efficient = 0.25  
 Low-E Glass w/Argon Gas  
 Vinyl Window series 105 Single Hung  
 Wood Window Single Hung/ Fix/ Vertical Swing

All Designs For This Structural are In Compliance  
 With The 2015 IRC Building Codes

Scale : 1/4" = 1'



**Left Elevation**



**Right Elevation**

All Designs For This Structural are In Compliance  
With The 2015 IRC Building Codes

Scale : 1/4" = 1'

Left and Right Elevations  
Richard H. O'Dell 817-291-5928  
EPRK@AOL.com

A New Residence  
7132 Casa Loma Ave.  
Dallas, Texas 75214



RNO  
10/12/17

213-17

File Number  
213-17

A3



|  |  |             |                      |           |                                    |  |
|--|--|-------------|----------------------|-----------|------------------------------------|--|
| <br>1:1,200 | <h2 style="text-align: center;">NOTIFICATION</h2> <table border="1" style="width: 100%;"> <tr> <td style="text-align: center;"><b>200'</b></td> <td>AREA OF NOTIFICATION</td> </tr> <tr> <td style="text-align: center;"><b>29</b></td> <td>NUMBER OF PROPERTY OWNERS NOTIFIED</td> </tr> </table> | <b>200'</b> | AREA OF NOTIFICATION | <b>29</b> | NUMBER OF PROPERTY OWNERS NOTIFIED | Case no: <u><b>BDA189-090</b></u><br>Date: <u><b>7/12/2019</b></u> |
| <b>200'</b>  | AREA OF NOTIFICATION   |             |                      |           |                                    |  |
| <b>29</b>  | NUMBER OF PROPERTY OWNERS NOTIFIED   |             |                      |           |                                    |  |

## *Notification List of Property Owners*

***BDA189-090***

### ***29 Property Owners Notified***

| <b><i>Label #</i></b> | <b><i>Address</i></b> | <b><i>Owner</i></b>            |
|-----------------------|-----------------------|--------------------------------|
| 1                     | 7132 CASA LOMA AVE    | FOCIS HOLDING GROUP LLC &      |
| 2                     | 7215 CORONADO AVE     | SAVARD RYAN &                  |
| 3                     | 7211 CORONADO AVE     | HEED CYNTHIA LOUISE            |
| 4                     | 7207 CORONADO AVE     | SCHMIDT MARC & JULIE           |
| 5                     | 7203 CORONADO AVE     | SHORT BONNIE S                 |
| 6                     | 7206 CASA LOMA AVE    | DUBOSE BRUCE & KATHERINE OWENS |
| 7                     | 7210 CASA LOMA AVE    | PAMPEL ANTHONY R & MAUDE M     |
| 8                     | 7214 CASA LOMA AVE    | MEBFICASA LOMA LLC             |
| 9                     | 7215 CASA LOMA AVE    | TAYLOR SUSAN D                 |
| 10                    | 7211 CASA LOMA AVE    | THOMPSON MARGARET A            |
| 11                    | 7207 CASA LOMA AVE    | BONIFAY MATTHEW & ALLISON      |
| 12                    | 7203 CASA LOMA AVE    | MARQUARDT KARA & ERIK BRICKER  |
| 13                    | 7130 GASTON AVE       | C & B POWER INC                |
| 14                    | 7115 CASA LOMA AVE    | WINGO CINDY L                  |
| 15                    | 7119 CASA LOMA AVE    | CARLOCK THOMAS R & LAREN K     |
| 16                    | 7123 CASA LOMA AVE    | GROSS SUZANNE L                |
| 17                    | 7127 CASA LOMA AVE    | ARNOLD JEFFERSON L & MICHELLE  |
| 18                    | 7131 CASA LOMA AVE    | ANNETT MICHELLE A              |
| 19                    | 7135 CASA LOMA AVE    | HARMON BRUCE & ANN C           |
| 20                    | 7110 CASA LOMA AVE    | MEYERS CRAIG & KALLIE          |
| 21                    | 7114 CASA LOMA AVE    | COBB ALYSON JOYCE              |
| 22                    | 7120 CASA LOMA AVE    | CALDWELL ELIZA FELDER &        |
| 23                    | 7124 CASA LOMA AVE    | POUND BARRY G & LUCINDA A      |
| 24                    | 7128 CASA LOMA AVE    | GERMANY EUGENE B II &          |
| 25                    | 7127 CORONADO AVE     | FOX SARAH                      |
| 26                    | 7123 CORONADO AVE     | SHERER CHANCE &                |



07/12/2019

| <b>Label #</b> | <b>Address</b>    | <b>Owner</b>       |
|----------------|-------------------|--------------------|
| 27             | 7119 CORONADO AVE | MOORE MYRA &       |
| 28             | 7111 CORONADO AVE | TAYLOR ROBERT NEIL |
| 29             | 7204 GASTON AVE   | POWER 7204 LP      |

**FILE NUMBER:** BDA189-055(SL)

**ORIGINAL BUILDING OFFICIAL'S REPORT:** Application of Michael Farah to appeal the decision of the administrative official at 1906 Greenville Avenue. This property is more fully described as Lot 3 & 4, Block 1907, and is zoned PD 842, which requires that the Building Official shall revoke a certificate of occupancy if the use or occupancy authorized by the certificate of occupancy has been discontinued for six months or more, per Paragraph (7) 306.13, Revocation of Certificate of Occupancy, of Chapter 52, Administrative Procedures for the Construction Codes, of the Dallas City Code.

**REVISED BUILDING OFFICIAL'S REPORT:** Application of Michael Farah to appeal the decision of the administrative official at 1906 Greenville Avenue that revoked the certificate of occupancy and determined that the right to carry forward delta credits were terminated. This property is more fully described as Lot 3 & 4, Block 1907, and is zoned PD 842 (MD-1), which states that the right to nonconforming delta parking credits are lost if the use is vacant for twelve months or more, and also requires that the Building Official shall revoke a certificate of occupancy if the use or occupancy authorized by the certificate of occupancy has been discontinued for six months or more, per Paragraph (7) 306.13, Revocation of Certificate of Occupancy, of Chapter 52, Administrative Procedures for the Construction Codes, of the Dallas City Code.

**LOCATION:** 1906 Greenville Avenue

**APPLICANT:** Michael Farah  
Represented by Jonathan Vinson of Jackson Walker

**REQUEST:**

A request is made to appeal the decision of the administrative official, more specifically, the Assistant Building Official's revocation of a certificate of occupancy and determination that the right to carry forward delta credits were terminated for a commercial amusement (inside) use at 1906 Greenville Avenue.

**STANDARD FOR APPEAL FROM DECISION OF AN ADMINISTRATIVE OFFICIAL:**

Dallas Development Code Sections 51A-3.102(d)(1) and 51A-4.703(a)(2) state that any aggrieved person may appeal a decision of an administrative official when that decision concerns issues within the jurisdiction of the Board of Adjustment.

The Board of Adjustment may hear and decide an appeal that alleges error in a decision made by an administrative official. Tex. Local Gov't Code Section 211.009(a)(1).

Administrative official means that person within a city department having the final decision-making authority within the department relative to the zoning enforcement issue. Dallas Development Code Section 51A-4.703(a)(2).

**BACKGROUND INFORMATION:**

**Zoning:**

Site: PD 842, MD-1 (Planned Development, Modified Delta Overlay)  
North: PD 842, MD-1 (Planned Development, Modified Delta Overlay)  
South: PD 842, MD-1 (Planned Development, Modified Delta Overlay)  
East: PD 842, MD-1 (Planned Development, Modified Delta Overlay)  
West: PD 842, MD-1 (Planned Development, Modified Delta Overlay)

**Land Use:**

The subject site is developed with a vacant commercial structure. The areas to the north, south, and west are developed with commercial/retail uses; and the area to the east is developed with residential uses.

**Zoning/BDA History:**

1. Z189-167, Property at 1906 Greenville Avenue (the subject site) A request for a Specific Use Permit (SUP) for late hours establishment in conjunction with a restaurant without drive-in or drive-through service use has been filed but has not been scheduled for a City Plan Commission hearing.

**GENERAL FACTS/STAFF ANALYSIS:**

- The board shall have all the powers of the administrative official on the action appealed. The board may in whole or in part affirm, reverse, or amend the decision of the official.

**Timeline:**

March 14, 2019: The applicant submitted an “Application/Appeal to the Board of Adjustment” and related documents which have been included as part of this case report.

April 8, 2019: The Board of Adjustment Secretary randomly assigned this case to Board of Adjustment Panel B.

- April 8, 2019: The Board Administrator emailed the applicant's representative the following information:
- an attachment that provided the appeal date and panel that will consider the appeal; the May 1<sup>st</sup> deadline to submit additional evidence for staff to factor into their analysis (with a notation that staff does not form a recommendation on this type of appeal); and the May 10<sup>th</sup> deadline to submit additional evidence to be incorporated into the Board's docket materials;
  - the outline of procedure for appeals from decisions of the building official to the board of adjustment; and
  - the Board of Adjustment Working Rules of Procedure pertaining to "documentary evidence."
- May 7, 2019: The Board of Adjustment staff review team meeting was held regarding this request and the others scheduled for the May public hearings. Review team members in attendance included the Sustainable Development and Construction Assistant Director, the Building Official, the Board of Adjustment Chief Planner/Board Administrator, the Building Inspection Chief Planner, the Sustainable Development and Construction Senior Engineer, the Chief Arborist, the Sustainable Development and Construction Department Board of Adjustment Senior Planner, and the Assistant City Attorney to the Board.
- No review comment sheets were submitted in conjunction with this appeal.
- May 22, 2019: Staff informed the Board of Adjustment at the May 22<sup>nd</sup> briefing/hearing that they could not consider this appeal given an error with the news advertisement and notice sent to property owners, and that this appeal would be re-advertised and re-noticed for the Board of Adjustment Panel B June 19<sup>th</sup> hearing.
- May 29, 2019: The Board Administrator emailed the applicant's representative the following information:
- an attachment that provided the appeal date and panel that will consider the appeal; the May 29<sup>th</sup> deadline to submit additional evidence for staff to factor into their analysis (with a notation that staff does not form a recommendation on this type of appeal); and the June 7<sup>th</sup> deadline to submit additional evidence to be incorporated into the Board's docket materials;
  - the outline of procedure for appeals from decisions of the building official to the board of adjustment; and
  - the Board of Adjustment Working Rules of Procedure pertaining to "documentary evidence."

- May 31, 2019: The assistant city attorney assisting the administrative official submitted documentation on this appeal to the Board Administrator (see Attachment A).
- June 4, 2019: The Board of Adjustment staff review team meeting was held regarding this request and the others scheduled for the June public hearings. Review team members in attendance included: the Sustainable Development and Construction Assistant Director, the Building Official, the Assistant Building Official, the Board of Adjustment Chief Planner/Board Administrator, the Chief Arborist, the Sustainable Development and Construction Department Conservation District Chief Planner, the Building Inspection Senior Plans Examiner/Development Code Specialist, and the Assistant City Attorney to the Board.
- No review comment sheets were submitted in conjunction with this application.
- June 19, 2019: The Board of Adjustment conducted a hearing on the appeal and delayed action until August 21<sup>st</sup>.
- June 20, 2019: The Board Administrator wrote the applicant a letter of the board's action; the July 31<sup>st</sup> deadline to submit additional evidence for staff to factor into their analysis; and the August 9<sup>th</sup> deadline to submit additional evidence to be incorporated into the Board's docket materials.
- July 30, 2019: The Building Inspection Senior Plans Examiner/Development Code Specialist emailed an amended Building Official's report on this appeal to the Board Administrator (see Attachment B).
- July 31, 2019: The applicant submitted additional documentation on this appeal to the Board Administrator beyond what was submitted with the original application and at the June 19<sup>th</sup> hearing (see Attachment C).
- August 6, 2019: The Board of Adjustment staff review team meeting was held regarding this request and the others scheduled for the August public hearings. Review team members in attendance included: the Sustainable Development and Construction Assistant Director, the Building Official, the Assistant Building Official, the Board of Adjustment Chief Planner/Board Administrator, the Sustainable Development and Construction Senior Engineer, the Building Inspection Senior Plans Examiner/Development Code Specialist, and the Assistant City Attorney to the Board.

No review comment sheets were submitted in conjunction with this application.

August 9, 2019: The applicant and the applicant's representative submitted additional documentation on this appeal to the Board Administrator beyond what was submitted with the original application and at the June 19<sup>th</sup> hearing (see Attachments D and E).

**BOARD OF ADJUSTMENT ACTION: June 19, 2019**

**APPEARING IN FAVOR:** Johnathan Vinson, 2323 Ross Ave., #600, Dallas, TX  
Ryan Tinch, 1906 Greenville Ave., Dallas, TX  
Michael Farah, 1906 Greenville Ave., Dallas, TX

**APPEARING IN OPPOSITION:** Sonia Syed, 1500 Marilla St., 7DN, Dallas, TX  
Megan Wimer, 320 E. Jefferson, Dallas, TX

**MOTION: Williams**

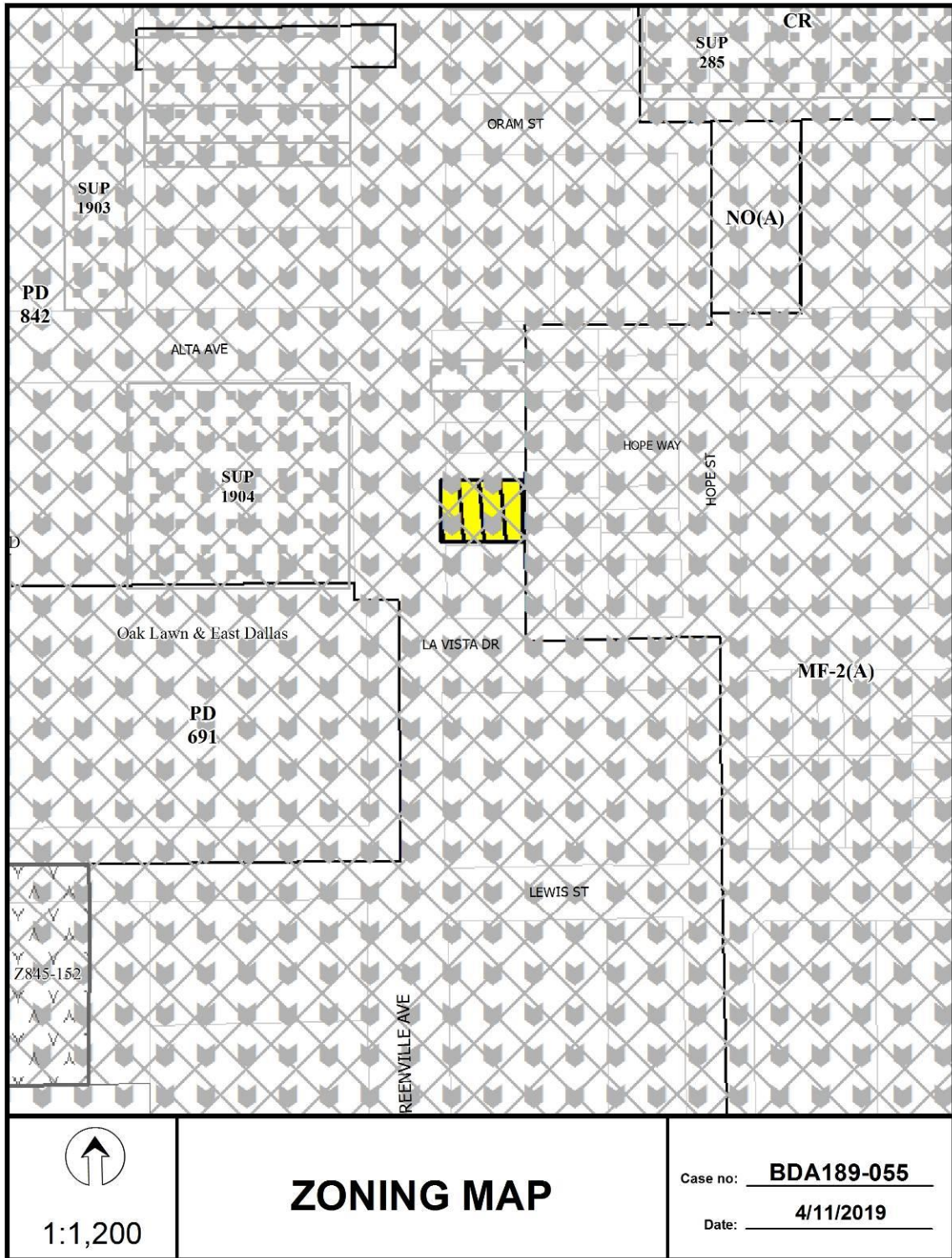
I move that the Board of Adjustment, in Appeal No. BDA 189-055, hold this matter under advisement until August 21, 2019.

**SECONDED: Hounsel**

**AYES:** 5 - Beikman, Hampton, Milliken, Hounsel, Williams

**NAYS:** 0 -

**MOTION PASSED:** 5 – 0 (unanimously)



1:1,200

# ZONING MAP

Case no: BDA189-055

Date: 4/11/2019



1:1,200

# AERIAL MAP

Case no: BDA189-055

Date: 4/11/2019



BDA 189-055

\*Hick A

1



**City of Dallas**

May 31, 2019

*Via Email to BDA Secretary*

Board of Adjustment, Panel B  
1500 Marilla St., 5BN  
Dallas, Texas 75201

Re: City Staff's Brief in Response to the Appeal of the Building Official's Decision as to 1906 Greenville, BDA 189-055

Dear Board Members:

Below is a summary the of key points that will be addressed by City staff in response to the appeal of the building official's decision in BDA 189-055.

**I. Facts**

A certificate of occupancy (No. 1704261114) (the "CO") was issued in June 2017 relating to the property located at 1906 Greenville Avenue, Dallas, Texas 75206 (legal description: lot 3 and 4 block 1907) (the "Property"). The CO was issued for a commercial amusement (inside) use. In the land use statement submitted by a representative of the Property owner to support the commercial amusement use, he stated, "Greenville Event Center is intended to utilize this property as an inside commercial amusement for corporate office meetings, wedding receptions, reunions, holiday gatherings, gala dinners for private events/ banquets." (Ex. A). The Property had 33 delta credits.

On February 28, 2019, Megan Wimer, Assistant Building Official, sent a letter to the Property owner, Greenville Parks, LP, stating that the CO was revoked and the right to carry

BDA189-055  
attach A 2

Board of Adjustment, Panel B  
May 31, 2019  
Page 2

forward the 33 delta credits was terminated. (Ex. B). Megan Wimer based the decision on the fact that the use was discontinued and the Property remained vacant for a 12 months. (*Id.*)

The applicant has appealed the building official's decision to revoke the CO and terminate the right to carry 33 delta credits for the use on the Property.

## II. Reason for Revocation and Termination

Under Chapter 52, Section 306.13 ("52-306.13") of the Dallas City Code, the building official is required to revoke a certificate of occupancy if he determines that "the use or occupancy authorized by the certificate of occupancy has been discontinued for six months or more." (Ex. C). The utility bills for the Property from February 2018 to February 2019 indicate that the bills were of such minimal amounts that use of the property as a commercial amusement would be unsustainable. (Ex. D).

Further, under Dallas City Ordinance 22472, which amended Dallas City Ordinance 19726, the ordinance that established the modified delta overlay district for the area where the Property is located, Section 5 states, "the right to carry forward nonconforming parking and loading spaces under the delta theory terminates when a use is discontinued or remains vacant for 12 months or more." (Ex. E). The building official based her decision on evidence that the level of water usage at the Property demonstrated that use of the Property as a commercial amusement would be unsustainable, and accordingly, the use had been discontinued and the Property vacant for the required period of time. (Ex. D).

Board of Adjustment, Panel B  
May 31, 2019  
Page 3

**IV. Relief Requested**

The building official's decision was proper, and the City requests that the decision be affirmed. The panel should sustain the building official's decision to revoke the CO at the Property and terminate the right to carry 33 delta credits.

Respectfully,

Sonia T. Syed  
Assistant City Attorney  
214-670-3950  
Sonia.syed@dallascityhall.com

On behalf of the building official

Greenville Parks, LP

May 10, 2017

City of Dallas  
(Zoning Section)  
320 E. Jefferson Room 115  
Dallas, TX 75203

RE: Land Use Statement for 1906 Greenville Ave.

Greenville Event Center is intended to utilize this property as an inside commercial amusement for corporate office meetings, wedding receptions, reunions, holiday gatherings, gala dinners for private events/banquets.

There will be no alcohol nor food prep at the location, food will not be catered in for events, if any food is to be provided it will be provided by the person who rents the space. This location will have a refrigerator but will not have any cooking equipment. We will not be selling any products.

The location will be open for customers by appointment only 7 days a week, Monday thru Sunday, hours of operation varies base upon rental use. Hours are from 8:00 a.m. to 12:00 a.m. the building will have to be cleaned and everyone out by midnight.

Sincerely,

*Ryan Brandon Tinch*  
Owner

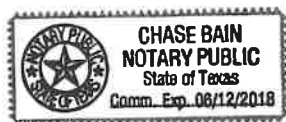
STATE OF TEXAS

COUNTY OF DALLAS

BEFORE ME, the undersigned Notary Public, on this day personally appeared

Ryan Brandon Tinch, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein expressed, and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this is the 16<sup>th</sup> day of May, 2017.



Chase Bain

Notary Public in and for the State of Texas



## CITY OF DALLAS

February 28, 2019

CERTIFIED MAIL NO. 7017 1000 0000 9418 8925

Greenville Parks, LP  
2170 Matlock Road #110  
Mansfield, TX 76063

**RE: Revocation of Certificate of Occupancy No. 1704261114 for a commercial amusement (inside) use at 1906 Greenville Avenue ("the Property")**

Dear Greenville Parks, LP:

This letter is to inform you that the above-referenced certificate of occupancy, issued on June 26, 2017, is hereby revoked.

The building official is required to revoke a certificate of occupancy if the use or occupancy authorized by the certificate of occupancy has been discontinued for six months or more.<sup>1</sup> Furthermore, the right to carry forward nonconforming parking and loading spaces under the delta theory terminates when a use is discontinued or remains vacant for 12 months or more.<sup>2</sup>

It has been brought to our attention and confirmed through research, including invoices obtained from Dallas Water Utilities for account number 100820110, that the Property has remained vacant for 12 months or more. Therefore, **Certificate of Occupancy No. 1704261114 for a commercial amusement (inside) use is hereby revoked and the right to carry forward the 33 delta credits that were reinstated by special exception (BDA 156-010) has terminated.** Any use operating on the Property without a certificate of occupancy is an illegal land use that must immediately cease operating.<sup>3</sup> The commercial amusement (inside) use may not operate until a new certificate of occupancy is issued that complies with all city codes.

This decision is final unless appealed to the Board of Adjustment within fifteen days after the date of this letter.<sup>4</sup> If you have any questions, please contact me at 214-948-4501.

Sincerely,

Megan Wimer, AICP, CBO  
Assistant Building Official  
Building Inspection Division

cc: Kris Sweckard, Director, Sustainable Development and Construction  
Lynetta Kidd, Director, Code Compliance  
Phil Sikes, CBO, Building Official  
Kiesha Kay, Chief Planner  
Tammy Palomino, Executive Assistant City Attorney  
Casey Burgess, Executive Assistant City Attorney

- <sup>1</sup> Paragraph (7) 306.13, "Revocation of Certificate of Occupancy," of Chapter 52, "Administrative Procedures for the Construction Codes," of the Dallas City Code.
- <sup>2</sup> Section 5 of Ordinance No. 19726 which established the Modified Delta Overlay District No. 1 (the Greenville Avenue Modified Delta Overlay District).
- <sup>3</sup> Section 51A-1.104, "Certificate of Occupancy," of Chapter 51A of the Dallas Development Code; Subsection 306.1, "Use or Occupancy," of Chapter 52, "Administrative Procedures for the Construction Codes," of the Dallas City Code.
- <sup>4</sup> Paragraph (2) of Section 306.15, "Appeals of Actions and Determinations," of Chapter 52, "Administrative Procedures for the Construction Codes," of the Dallas City Code; and Section 51A-4.703(a)(2), "Board of Adjustment Hearing Procedures," of Chapter 51A of the Dallas Development Code.

Sustainable Development and Construction Department - Building Inspection - 320 E. Jefferson Blvd., Rm. 204 - (214) 948-4320

### 306.12 Voiding of certificate of occupancy.

**306.12.1 Void *ab initio*.** A certificate of occupancy shall be void *ab initio* if the use or occupancy authorized by that certificate of occupancy is not commenced before the 120<sup>th</sup> day after the date of its issuance unless one or more extensions are granted under Subsection 306.12.2, in which case the certificate of occupancy shall be void *ab initio* if the use or occupancy is not commenced during the extended time period(s). (Ord. 26029; 26579)

**306.12.2 Extensions of time.** The building official may grant one or more extensions of time for periods not exceeding 120 days each if the building official finds that circumstances beyond the control of the holder of the certificate of occupancy have prevented the use or occupancy from being commenced. If a request for extension is made by the applicant or the applicant's agent, the request must be in writing and made within the time period sought to be extended. (Ord. 26029; 26579)

**306.12.3 Void.** A certificate of occupancy shall be void if:

1. A specific use permit required by the *Dallas Development Code* to operate the use or occupancy expires; or
2. A compliance date for the use or occupancy set by ordinance or the board of adjustment in accordance with the *Dallas Development Code* has passed. (Ord. 26579)

**306.13 Revocation of certificate of occupancy.** The building official shall revoke a certificate of occupancy if the building official determines that:

1. the certificate of occupancy is issued in error;
2. the certificate of occupancy is issued on the basis of false, incomplete, or incorrect information supplied;
3. a use or occupancy is being operated in a manner that is a substantial danger of injury or an adverse health impact to any person or property and is in violation of the codes, the *Dallas Development Code*, other city ordinances, rules, or regulations, or any county, state, or federal laws or regulations;
4. the structure or portion of the structure is a substantial danger of injury or an adverse health impact to any person or property and is in violation of the codes, the *Dallas Development Code*, other city ordinances, rules, or regulations, or any county, state, or federal laws or regulations;
5. a required city, county, state, or federal license, permit, or registration to operate the use or occupancy has not been issued, has been revoked, or has expired;

## Ex. C

6. the holder of the certificate of occupancy has refused, upon request, to supply the building official with records needed to document the percentage of gross revenue on a quarterly (three-month) basis derived from the sale or service of alcoholic beverages within the required time period; or
7. the use or occupancy authorized by the certificate of occupancy has been discontinued for six months or more. (Ord. 26029; 26579)

**306.14 Written notice.** Written notice of any action taken or determination made by the building official under this section must be given to the owner of the structure and land and to the operator of the use or occupancy at the address shown on the certificate of occupancy by certified mail with a five-day return receipt requested or by hand-delivery. Except when a compliance date has been set in accordance with the *Dallas Development Code*, the notice must state that the action taken or determination made by the building official is final unless appealed. The fact that the notice is returned undelivered or that the return receipt is not signed by the addressee shall not affect the validity of the notice. (Ord. 26579)

**306.15 Appeal of actions and determinations.** Any action taken or determination made by the building official under this section shall be final unless appealed as follows:

1. If the action taken or determination made was pursuant to the codes, an appeal must be made to the building inspection advisory, examining, and appeals board in accordance with Section 208 before the 15<sup>th</sup> day after written notice of the action taken or determination made is given in accordance with Section 306.14; or
2. Except as provided in Paragraph 3, if the action taken or determination made was pursuant to the *Dallas Development Code*, an appeal must be made to the board of adjustment in accordance with the *Dallas Development Code*.
3. A certificate of occupancy that is void because a compliance date for the use or occupancy set by ordinance or the board of adjustment in accordance with the *Dallas Development Code* has passed may not be appealed under this subsection. (Ord. 26029; 26579)

**306.16 Stay pending appeal.** An appeal of an action taken or determination made by the building official under this section stays all proceedings in furtherance of the action taken or determination made that is appealed unless the building official certifies in writing to the appropriate board facts supporting the building official's opinion that a stay would cause imminent peril to life or property. Then, the proceedings may be stayed only by a restraining order granted by the district court, after notice to the building official, if due cause is shown. (Ord. 26579)

BDA: 89-055  
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Amount Due by 02/28/2018.....\$0.85  
Amount Due after 02/28/2018.....\$1.55



**City of Dallas**

Internet: www.dallascityhall.com  
Call / Llame: (214)651-1441

Customer Name: FARAH REAL ESTATE NATALIE GROUND  
Account Number: 100820110  
Service Address: 1906 GREENVILLE AVE

Invoice: 051051322567 Issued: 02/13/2018 Page 1 of 1

**INVOICE SUMMARY**

|                         |               |
|-------------------------|---------------|
| Previous Balance        | -\$13.10      |
| Payment(s)              | \$0.00        |
| Other Transaction(s)    | \$0.00        |
| Balance Forward         | -\$13.10      |
| <b>Current Charges</b>  |               |
| Water Charges           | \$5.33        |
| Sewer Charges           | \$4.78        |
| Storm Water Charges     | \$3.84        |
| Total Current Charges   | \$13.95       |
| <b>Total Amount Due</b> | <b>\$0.85</b> |

**Utilities**

Service from 01/14/2018 to 02/13/2018 for 31 days

| Service Provided          | Meter Number | Read Previous | Read 02/13/2018 | Usage in 100 GALS | Usage Charge | Base Charge   | Total          |
|---------------------------|--------------|---------------|-----------------|-------------------|--------------|---------------|----------------|
| Water                     | 882837       | 6             | 6               | 0                 |              | \$5.33        | \$5.33         |
| Sewer                     | 882837       | 6             | 6               | 0                 |              | \$4.78        | \$4.78         |
| Surcharge Class 4 Average |              |               |                 | 0                 | 0            |               | \$0.00         |
| <b>Sewer Charges</b>      |              |               |                 | <b>0</b>          |              | <b>\$4.78</b> | <b>\$4.78</b>  |
| Storm Water Charges       |              |               |                 |                   |              |               | \$3.84         |
| <b>Utility Charges</b>    |              |               |                 |                   |              |               | <b>\$13.95</b> |

06-000 Q



**City of Dallas**

Account Number:  
100820110

Amount Due by 02/28/2018.....\$0.85  
Amount Due after 02/28/2018.....\$1.55

FARAH REAL ESTATE NATALIE GROUNDS  
2170 MATLOCK  
MANSFIELD TX 76063

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Amount Due by 04/02/2018.....\$13.83  
Amount Due after 04/02/2018.....\$14.57



**City of Dallas**

Internet: www.dallascityhall.com  
Call / Liame: (214)651-1441

Customer Name: FARAH REAL ESTATE NATALIE GROUND  
Account Number: 100820110  
Service Address: 1906 GREENVILLE AVE

Invoice: 050752317357 Issued: 03/16/2018 Page 1 of 1

**INVOICE SUMMARY**

|                         |                |
|-------------------------|----------------|
| Previous Balance        | \$0.85         |
| Payment(s)              | -\$1.85        |
| Other Transaction(s)    | \$0.04         |
| Balance Forward         | -\$0.96        |
| <b>Current Charges</b>  |                |
| Water Charges           | \$5.71         |
| Sewer Charges           | \$5.24         |
| Storm Water Charges     | \$3.84         |
| Total Current Charges   | \$14.79        |
| <b>Total Amount Due</b> | <b>\$13.83</b> |

**Utilities**

Service from 02/14/2018 to 03/15/2018 for 30 days

| Service Provided         | Meter Number | Read Previous | Read 03/15/2018 | Usage in 100 GALS | Usage Charge  | Base Charge   | Total          |
|--------------------------|--------------|---------------|-----------------|-------------------|---------------|---------------|----------------|
| Water                    | 882837       | 6             | 7               | 1                 | \$0.38        | \$5.33        | \$5.71         |
| Sewer                    | 882837       | 6             | 7               | 1                 | \$0.42        | \$4.78        | \$5.20         |
| Surchage Class 4 Average |              |               |                 | 1                 | \$0.04        |               | \$0.04         |
| <b>Sewer Charges</b>     |              |               |                 | 1                 | <b>\$0.46</b> | <b>\$4.78</b> | <b>\$5.24</b>  |
| Storm Water Charges      |              |               |                 |                   |               |               | \$3.84         |
| <b>Utility Charges</b>   |              |               |                 |                   |               |               | <b>\$14.79</b> |

06-000 Q



**City of Dallas**

Account Number:  
100820110

Amount Due by 04/02/2018.....\$13.83  
Amount Due after 04/02/2018.....\$14.57

FARAH REAL ESTATE NATALIE GROUNDS  
2170 MATLOCK  
MANSFIELD TX 76063

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Amount Due by 04/27/2018.....\$13.95  
 Amount Due after 04/27/2018.....\$14.65



City of Dallas

Customer Name: FARAH REAL ESTATE NATALIE GROUND  
 Account Number: 100820110  
 Service Address: 1906 GREENVILLE AVE

Internet: www.dallascityhall.com  
 Call / Llame: (214)651-1441

Invoice: 051201088431 Issued: 04/12/2018 Page 1 of 1

**INVOICE SUMMARY**

|                         |                |
|-------------------------|----------------|
| Previous Balance        | \$13.83        |
| Payment(s)              | -\$13.83       |
| Other Transaction(s)    | \$0.00         |
| Balance Forward         | \$0.00         |
| <b>Current Charges</b>  |                |
| Water Charges           | \$5.33         |
| Sewer Charges           | \$4.78         |
| Storm Water Charges     | \$3.84         |
| Total Current Charges   | \$13.95        |
| <b>Total Amount Due</b> | <b>\$13.95</b> |

**Utilities**

Service from 03/16/2018 to 04/12/2018 for 28 days

| Service Provided          | Meter Number | Read Previous | Read 04/12/2018 | Usage in 100 GALS | Usage Charge | Base Charge   | Total          |
|---------------------------|--------------|---------------|-----------------|-------------------|--------------|---------------|----------------|
| Water                     | 882837       | 7             | 7               | 0                 |              | \$5.33        | \$5.33         |
| Sewer                     | 882837       | 7             | 7               | 0                 |              | \$4.78        | \$4.78         |
| Surcharge Class 4 Average |              |               |                 | 0                 | 0            |               | \$0.00         |
| <b>Sewer Charges</b>      |              |               |                 | <b>0</b>          |              | <b>\$4.78</b> | <b>\$4.78</b>  |
| Storm Water Charges       |              |               |                 |                   |              |               | \$3.84         |
| <b>Utility Charges</b>    |              |               |                 |                   |              |               | <b>\$13.95</b> |

06-000 Q



City of Dallas

Account Number:  
 100820110

FARAH REAL ESTATE NATALIE GROUNDS  
 2170 MATLOCK  
 MANSFIELD TX 76063

Amount Due by 04/27/2018.....\$13.95  
 Amount Due after 04/27/2018.....\$14.65

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Amount Due by 05/30/2018.....\$13.95  
Amount Due after 05/30/2018.....\$14.65



**City of Dallas**

Internet: www.dallascityhall.com  
Call / Email: (214)651-1441

Customer Name: FARAH REAL ESTATE NATALIE GROUND  
Account Number: 100820110  
Service Address: 1906 GREENVILLE AVE

Invoice: 051001399897 Issued: 05/15/2018 Page 1 of 1

| INVOICE SUMMARY         |                |
|-------------------------|----------------|
| Previous Balance        | \$13.95        |
| Payment(s)              | -\$13.95       |
| Other Transaction(s)    | \$0.00         |
| Balance Forward         | \$0.00         |
| <b>Current Charges</b>  |                |
| Water Charges           | \$5.33         |
| Sewer Charges           | \$4.78         |
| Storm Water Charges     | \$3.84         |
| Total Current Charges   | \$13.95        |
| <b>Total Amount Due</b> | <b>\$13.95</b> |

| Utilities   |              |               |                 |                   |              |               |                |
|---|--------------|---------------|-----------------|-------------------|--------------|---------------|----------------|
| Service from 04/13/2018 to 05/15/2018 for 33 days |              |               |                 |                   |              |               |                |
| Service Provided                                  | Meter Number | Read Previous | Read 05/15/2018 | Usage in 100 GALS | Usage Charge | Base Charge   | Total          |
| Water   | 882837       | 7             | 7               | 0                 |              | \$5.33        | \$5.33         |
| Sewer   | 882837       | 7             | 7               | 0                 |              | \$4.78        | \$4.78         |
| Surcharge Class 4 Average                         |              |               |                 | 0                 | 0            |               | \$0.00         |
| <b>Sewer Charges</b>                              |              |               |                 | 0                 |              | <b>\$4.78</b> | <b>\$4.78</b>  |
| Storm Water Charges                               |              |               |                 |                   |              |               | \$3.84         |
| <b>Utility Charges</b>                            |              |               |                 |                   |              |               | <b>\$13.95</b> |

06-000 Q



**City of Dallas**

Account Number:  
100820110

Amount Due by 05/30/2018.....\$13.95  
Amount Due after 05/30/2018.....\$14.65

FARAH REAL ESTATE NATALIE GROUNDS  
2170 MATLOCK  
MANSFIELD TX 76063

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Attach A 12

Amount Due by 06/29/2018.....\$0.70  
Amount Due after 06/29/2018.....\$1.40



**City of Dallas**

Customer Name: FARAH REAL ESTATE NATALIE GROUND  
Account Number: 100820110  
Service Address: 1906 GREENVILLE AVE

Internet: www.dallascityhall.com  
Call / Llame: (214)651-1441

Invoice: 050652767261 Issued: 06/14/2018 Page 1 of 1

**INVOICE SUMMARY**

|                         |               |
|-------------------------|---------------|
| Previous Balance        | \$13.95       |
| Payment(s)              | -\$27.90      |
| Other Transaction(s)    | \$0.70        |
| Balance Forward         | -\$13.25      |
| <b>Current Charges</b>  |               |
| Water Charges           | \$5.33        |
| Sewer Charges           | \$4.78        |
| Storm Water Charges     | \$3.84        |
| Total Current Charges   | \$13.95       |
| <b>Total Amount Due</b> | <b>\$0.70</b> |

**Utilities**

Service from 05/16/2018 to 06/14/2018 for 30 days

| Service Provided          | Meter Number | Read Previous | Read 06/14/2018 | Usage in 100 GALS | Usage Charge | Base Charge   | Total          |
|---------------------------|--------------|---------------|-----------------|-------------------|--------------|---------------|----------------|
| Water                     | 882837       | 7             | 7               | 0                 |              | \$5.33        | \$5.33         |
| Sewer                     | 882837       | 7             | 7               | 0                 |              | \$4.78        | \$4.78         |
| Surcharge Class 4 Average |              |               |                 | 0                 | 0            |               | \$0.00         |
| <b>Sewer Charges</b>      |              |               |                 | 0                 |              | <b>\$4.78</b> | <b>\$4.78</b>  |
| Storm Water Charges       |              |               |                 |                   |              |               | \$3.84         |
| <b>Utility Charges</b>    |              |               |                 |                   |              |               | <b>\$13.95</b> |

06-000 Q



**City of Dallas**

Account Number:  
100820110

FARAH REAL ESTATE NATALIE GROUNDS  
2170 MATLOCK  
MANSFIELD TX 76063

Amount Due by 06/29/2018.....\$0.70  
Amount Due after 06/29/2018.....\$1.40

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Amount Due by 07/27/2018.....\$14.69  
 Amount Due after 07/27/2018.....\$15.39



City of Dallas

Internet: www.dallascityhall.com  
 Call / Lline: (214)651-1441

Customer Name: FARAH REAL ESTATE NATALIE GROUND  
 Account Number: 100820110  
 Service Address: 1906 GREENVILLE AVE

Invoice: 050552880240 Issued: 07/12/2018 Page 1 of 1

**INVOICE SUMMARY**

|                         |                |
|-------------------------|----------------|
| Previous Balance        | \$0.70         |
| Payment(s)              | \$0.00         |
| Other Transaction(s)    | \$0.04         |
| Balance Forward         | \$0.74         |
| <b>Current Charges</b>  |                |
| Water Charges           | \$5.33         |
| Sewer Charges           | \$4.78         |
| Storm Water Charges     | \$3.84         |
| Total Current Charges   | \$13.95        |
| <b>Total Amount Due</b> | <b>\$14.69</b> |

**Utilities**

Service from 06/15/2018 to 07/12/2018 for 28 days

| Service Provided         | Meter Number | Read Previous | Read 07/12/2018 | Usage in 100 GALS | Usage Charge | Base Charge   | Total          |
|--------------------------|--------------|---------------|-----------------|-------------------|--------------|---------------|----------------|
| Water                    | 882837       | 7             | 7               | 0                 |              | \$5.33        | \$5.33         |
| Sewer                    | 882837       | 7             | 7               | 0                 |              | \$4.78        | \$4.78         |
| Surchage Class 4 Average |              |               |                 | 0                 | 0            |               | \$0.00         |
| <b>Sewer Charges</b>     |              |               |                 | 0                 |              | <b>\$4.78</b> | <b>\$4.78</b>  |
| Storm Water Charges      |              |               |                 |                   |              |               | \$3.84         |
| <b>Utility Charges</b>   |              |               |                 |                   |              |               | <b>\$13.95</b> |

06-000 Q



City of Dallas

Account Number:  
 100820110

Amount Due by 07/27/2018.....\$14.69  
 Amount Due after 07/27/2018.....\$15.39

FARAH REAL ESTATE NATALIE GROUNDS  
 2170 MATLOCK  
 MANSFIELD TX 76063

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Credit Balance - Do Not Pay.....-\$46.36



**City of Dallas**

Internet: www.dallascityhall.com

Call / Llame: (214)651-1441

Customer Name: FARAH REAL ESTATE NATALIE GROUND

Account Number: 100820110

Service Address: 1906 GREENVILLE AVE

Invoice: 050901621368 Issued: 08/13/2018 Page 1 of 1

**INVOICE SUMMARY**

|                         |                 |
|-------------------------|-----------------|
| Previous Balance        | \$14.69         |
| Payment(s)              | -\$75.00        |
| Other Transaction(s)    | \$0.00          |
| Balance Forward         | -\$60.31        |
| <b>Current Charges</b>  |                 |
| Water Charges           | \$5.33          |
| Sewer Charges           | \$4.78          |
| Storm Water Charges     | \$3.84          |
| Total Current Charges   | \$13.95         |
| <b>Total Amount Due</b> | <b>-\$46.36</b> |

**Utilities**

Service from 07/13/2018 to 08/13/2018 for 32 days

| Service Provided          | Meter Number | Read Previous | Read 08/13/2018 | Usage in 100 GALS | Usage Charge | Base Charge   | Total          |
|---------------------------|--------------|---------------|-----------------|-------------------|--------------|---------------|----------------|
| Water                     | 882837       | 7             | 7               | 0                 |              | \$5.33        | \$5.33         |
| Sewer                     | 882837       | 7             | 7               | 0                 |              | \$4.78        | \$4.78         |
| Surcharge Class 4 Average |              |               |                 | 0                 | 0            |               | \$0.00         |
| <b>Sewer Charges</b>      |              |               |                 | 0                 |              | <b>\$4.78</b> | <b>\$4.78</b>  |
| Storm Water Charges       |              |               |                 |                   |              |               | \$3.84         |
| <b>Utility Charges</b>    |              |               |                 |                   |              |               | <b>\$13.95</b> |

06-000 Q



**City of Dallas**

Account Number:  
100820110

No Payment Required.....-\$46.36

FARAH REAL ESTATE NATALIE GROUNDS  
2170 MATLOCK  
MANSFIELD TX 76063

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Credit Balance - Do Not Pay.....\$32.41



City of Dallas

Internet: www.dallascityhall.com

Call / Llame: (214)651-1441

Customer Name: FARAH REAL ESTATE NATALIE GROUND

Account Number: 100820110

Service Address: 1906 GREENVILLE AVE

Invoice: 051201159307 Issued: 09/10/2018 Page 1 of 1

INVOICE SUMMARY

|                         |                 |
|-------------------------|-----------------|
| Previous Balance        | -\$46.36        |
| Payment(s)              | \$0.00          |
| Other Transaction(s)    | \$0.00          |
| Balance Forward         | -\$46.36        |
| <b>Current Charges</b>  |                 |
| Water Charges           | \$5.33          |
| Sewer Charges           | \$4.78          |
| Storm Water Charges     | \$3.84          |
| Total Current Charges   | \$13.95         |
| <b>Total Amount Due</b> | <b>-\$32.41</b> |

Utilities

Service from 08/14/2018 to 09/10/2018 for 28 days

| Service Provided          | Meter Number | Read Previous | Read 09/10/2018 | Usage in 100 GALS | Usage Charge | Base Charge   | Total          |
|---------------------------|--------------|---------------|-----------------|-------------------|--------------|---------------|----------------|
| Water                     | 882837       | 7             | 7               | 0                 |              | \$5.33        | \$5.33         |
| Sewer                     | 882837       | 7             | 7               | 0                 |              | \$4.78        | \$4.78         |
| Surcharge Class 4 Average |              |               |                 | 0                 | 0            |               | \$0.00         |
| <b>Sewer Charges</b>      |              |               |                 | <b>0</b>          |              | <b>\$4.78</b> | <b>\$4.78</b>  |
| Storm Water Charges       |              |               |                 |                   |              |               | \$3.84         |
| <b>Utility Charges</b>    |              |               |                 |                   |              |               | <b>\$13.95</b> |

06-008 Q



City of Dallas

Account Number:  
100820110

No Payment Required.....\$32.41

FARAH REAL ESTATE NATALIE GROUNDS  
2170 MATLOCK  
MANSFIELD TX 76063



City of Dallas

Credit Balance - Do Not Pay.....-\$17.71

Customer Name: FARAH REAL ESTATE NATALIE GROUND  
 Account Number: 100820110  
 Service Address: 1906 GREENVILLE AVE

Internet: www.dallascityhall.com

Call / Llame: (214)651-1441

Invoice: 051251132641 Issued: 10/15/2018 Page 1 of 1

### INVOICE SUMMARY

|                         |                 |
|-------------------------|-----------------|
| Previous Balance        | -\$32.41        |
| Payment(s)              | \$0.00          |
| Other Transaction(s)    | \$0.00          |
| Balance Forward         | -\$32.41        |
| <b>Current Charges</b>  |                 |
| Water Charges           | \$5.70          |
| Sewer Charges           | \$5.23          |
| Storm Water Charges     | \$3.77          |
| Total Current Charges   | \$14.70         |
| <b>Total Amount Due</b> | <b>-\$17.71</b> |

### Utilities

Service from 09/11/2018 to 10/12/2018 for 32 days

| Service Provided          | Meter Number | Read Previous | Read 10/12/2018 | Usage in 100 GALS | Usage Charge  | Base Charge   | Total          |
|---------------------------|--------------|---------------|-----------------|-------------------|---------------|---------------|----------------|
| Water                     | 882837       | 7             | 8               | 1                 | \$0.37        | \$5.33        | \$5.70         |
| Sewer                     | 882837       | 7             | 8               | 1                 | \$0.41        | \$4.78        | \$5.19         |
| Surcharge Class 4 Average |              |               |                 | 1                 | \$0.04        |               | \$0.04         |
| <b>Sewer Charges</b>      |              |               |                 | 1                 | <b>\$0.45</b> | <b>\$4.78</b> | <b>\$5.23</b>  |
| Storm Water Charges       |              |               |                 |                   |               |               | \$3.77         |
| <b>Utility Charges</b>    |              |               |                 |                   |               |               | <b>\$14.70</b> |

06-000 Q



City of Dallas

Account Number:  
100820110

No Payment Required.....-\$17.71

FARAH REAL ESTATE NATALIE GROUNDS  
 2170 MATLOCK  
 MANSFIELD TX 76063



BDA189-055  
 A.H.A  
 17  
 Credit Balance - Do Not Pay.....-\$2.76



**City of Dallas**

Internet: www.dallascityhall.com

Call / Llame: (214)651-1441

Customer Name: FARAH REAL ESTATE NATALIE GROUND

Account Number: 100820110

Service Address: 1906 GREENVILLE AVE

Invoice: 050851785841 Issued: 11/12/2018 Page 1 of 1

| INVOICE SUMMARY         |                |
|-------------------------|----------------|
| Previous Balance        | -\$17.71       |
| Payment(s)              | \$0.00         |
| Other Transaction(s)    | \$0.00         |
| Balance Forward         | -\$17.71       |
| <b>Current Charges</b>  |                |
| Water Charges           | \$5.70         |
| Sewer Charges           | \$5.23         |
| Storm Water Charges     | \$4.02         |
| Total Current Charges   | \$14.95        |
| <b>Total Amount Due</b> | <b>-\$2.76</b> |

| Utilities   |              |               |                 |                   |               |               |                |
|---|--------------|---------------|-----------------|-------------------|---------------|---------------|----------------|
| Service from 10/13/2018 to 11/09/2018 for 28 days |              |               |                 |                   |               |               |                |
| Service Provided                                  | Meter Number | Read Previous | Read 11/09/2018 | Usage in 100 GALS | Usage Charge  | Base Charge   | Total          |
| Water   | 882837       | 8             | 9               | 1                 | \$0.37        | \$5.33        | \$5.70         |
| Sewer   | 882837       | 8             | 9               | 1                 | \$0.41        | \$4.78        | \$5.19         |
| Surcharge Class 4 Average                         |              |               |                 | 1                 | \$0.04        |               | \$0.04         |
| <b>Sewer Charges</b>                              |              |               |                 | 1                 | <b>\$0.45</b> | <b>\$4.78</b> | <b>\$5.23</b>  |
| Storm Water Charges                               |              |               |                 |                   |               |               | \$4.02         |
| <b>Utility Charges</b>                            |              |               |                 |                   |               |               | <b>\$14.95</b> |

06-000 Q



**City of Dallas**

Account Number:  
 100820110

No Payment Required.....-\$2.76

FARAH REAL ESTATE NATALIE GROUNDS  
 2170 MATLOCK  
 MANSFIELD TX 76063

BDA 189-055  
A444

18



# Utilities And Services

City of Dallas

Customer Name: **FARAH REAL ESTATE NATALIE  
GROUNDS**

Account Number: **100820110**

Service Address: **1906 GREENVILLE AVE**

**Amount Due by 12/28/18 \$12.19**  
**Amount Due after 12/28/18 \$12.94**

Invoice 050453058493 Issued 12/13/18 Page 1 of 2

### INVOICE SUMMARY

|   |                |
|---|----------------|
| Balance Forward                               | (\$2.76)       |
| <b>Current Charges (See back for details)</b> |                |
| Water Charges                                 | \$5.70         |
| Sewer Charges                                 | \$5.23         |
| Storm Water Charges                           | \$4.02         |
| <b>Total Current Charges</b>                  | <b>\$14.95</b> |
| <b>Total Amount Due</b>                       | <b>\$12.19</b> |

### SPECIAL MESSAGES

Call 311 to request or report an emergency water turn-off, a water main break, a water meter leak, a fire hydrant leak, or a clogged or overflowing wastewater main.

United Way Dallas wants you to be prepared for the unexpected! Boost your emergency savings and earn \$60 in rewards. Go to [SaverLife.org/Dallas](http://SaverLife.org/Dallas) to sign up today.

### WATER CONSERVATION TIP

Did you know saving water during the winter saves you money all year? Dallas averages your water use from December thru March to determine your sewer fees every year. That's an incentive to save water! For more information, go to [SaveDallasWater.com](http://SaveDallasWater.com).

### BE A GOOD NEIGHBOR!

**Operation WaterShare:** Helps pay water bills for customers facing temporary financial setbacks.

**Born to Read** Part of the Every Child Ready to Read program, Born to Read is centered in Parkland Hospital clinics. Librarians visit clinics, educate parents in the waiting rooms about brain development, share stories, give books to children.

### CONTACT US?

Phone: (214) 651-1441  
Email: [WaterSpecialtyUnit@dallascityhall.com](mailto:WaterSpecialtyUnit@dallascityhall.com)  
Mail: 1500 Marilla, 3ANorth, Dallas, TX 75201

Keep this portion for your records.

ID-20181213INVOICE XML-859-000009497

Please return this portion with your payment Q



City of Dallas

Dallas Water Utilities  
PO Box 660025  
Dallas TX 75266-0025

**ACCOUNT NUMBER:**  
100820110

**MAIL PAYMENT TO:**  
City of Dallas  
City Hall, 2D South  
Dallas TX 75277

**Amount Due by 12/28/18 \$12.19**  
**Amount Due after 12/28/18 \$12.94**  
**Operation WaterShare** \_\_\_\_\_  
**Born to Read Family Literacy** \_\_\_\_\_  
**Total Amount Enclosed** \$ \_\_\_\_\_

Check here for change of address on back

000430 000009497



FARAH REAL ESTATE NATALIE GROUNDS  
2170 MATLOCK  
MANSFIELD TX 76063



2

1008201104 00000012190 00000012946 00000000001 101 41 20183621

**UTILITY**

Service from 11/10/18 to 12/12/18 for 33 days

| <u>Service Provided</u>      | <u>Meter Number</u> | <u>Previous Read</u> | <u>12/12/18 Read</u> | <u>Usage in 100 GALS</u> | <u>Usage Charge</u> | <u>Base Charge</u> | <u>Total</u>   |
|------------------------------|---------------------|----------------------|----------------------|--------------------------|---------------------|--------------------|----------------|
| Water                        | 882837              | 9                    | 10                   | 1                        | \$0.37              | \$5.33             | \$5.70         |
| Sewer                        | 882837              | 9                    | 10                   | 1                        | \$0.41              | \$4.78             | \$5.19         |
| Surcharge Class 4 Average    |                     |                      |                      | 1                        | \$0.04              |                    | \$0.04         |
| <b>Sewer Charges</b>         |                     |                      |                      | <b>2</b>                 | <b>\$0.45</b>       | <b>\$4.78</b>      | <b>\$5.23</b>  |
| Storm Water Charges          |                     |                      |                      |                          |                     |                    | \$4.02         |
| <b>Total Utility Charges</b> |                     |                      |                      |                          |                     |                    | <b>\$14.95</b> |

**Storm Water Fee:** This fee funds the City's storm water utility, formed in 1991, to meet requirements of a federal mandate to control storm water pollution. It also pays for other routine maintenance activities that affect storm water quality.

**Surcharge:** An additional charge to restaurants, bars, food processing plants, vehicle service facilities and certain industrial processors for treatment of above normal strength wastewater.

ID-20181213INVOICE XML-860-000009497

Address Change

**City of Dallas**  
**In Person Payment Location**  
 Dallas City Hall 2D South  
 1500 Marilla Street  
 8 a.m. - 5 p.m. Monday - Friday

As provided in Section 182.052 of the Texas Utilities Code, you are hereby informed of your right to request confidentiality of your address, telephone number, social security number, and information relating to volume or units of utility usage and amounts billed to or collected from you for utility usage. To elect confidentiality, please visit [www.dwuconfidentiality.com](http://www.dwuconfidentiality.com).

Payments may be made by phone or automatically drafted monthly from your bank or credit card. For details, contact Customer Service at (214) 651-1441 or on-line at [www.dallascityhall.com](http://www.dallascityhall.com).

For a Fidelity Express location near you, please contact Customer Service at (214) 651-1441 or visit [www.dallascityhall.com](http://www.dallascityhall.com). If scheduled for disconnection, payment must be made the business day before the due date to avert this action.

In the event your check is returned for insufficient funds or uncollected funds, we may re-present your check electronically. {En el caso que su cheque sea devuelto por falta de fondos o fondos no cobrados, nosotros podemos procesar su cheque electrónicamente otra vez.}

For feedback on Inserts/Onserts, please call 311 or e-mail us at [dallas311@dallascityhall.com](mailto:dallas311@dallascityhall.com)

BDA189-055

20

Attach A

Credit Balance Do Not Pay

(\$13.68)



Utilities  
And  
Services

City of Dallas

Customer Name: FARAH REAL ESTATE NATALIE  
GROUNDS

Account Number: 100820110

Service Address: 1906 GREENVILLE AVE

Invoice 050801901449 Issued 1/14/19

Page 1 of 2

INVOICE SUMMARY

|   |                  |
|---|------------------|
| Previous Balance                              | \$12.19          |
| Payment(s)                                    | (\$40.00)        |
| Balance Forward                               | (\$27.81)        |
| <b>Current Charges (See back for details)</b> |                  |
| Water Charges                                 | \$5.33           |
| Sewer Charges                                 | \$4.78           |
| Storm Water Charges                           | \$4.02           |
| <b>Total Current Charges</b>                  | <b>\$14.13</b>   |
| <b>Total Amount Due</b>                       | <b>(\$13.68)</b> |

SPECIAL MESSAGES

Call 311 to request or report an emergency water turn-off, a water main break, a water meter leak, a fire hydrant leak, or a clogged or overflowing wastewater main.

United Way Dallas wants you to be prepared for the unexpected! Boost your emergency savings and earn \$60 in rewards. Go to [SaverLife.org/Dallas](http://SaverLife.org/Dallas) to sign up today.

WATER CONSERVATION TIP

In cool weather your landscape needs less water. Remember to switch automatic irrigation controllers to manual or the reduced seasonal setting. For more information about efficient outdoor watering, visit [SaveDallasWater.com](http://SaveDallasWater.com)

BE A GOOD NEIGHBOR!

**Operation WaterShare:** Helps pay water bills for customers facing temporary financial setbacks.

CONTACT US?

Phone: (214) 651-1441  
Email: [WaterSpecialtyUnit@dallascityhall.com](mailto:WaterSpecialtyUnit@dallascityhall.com)  
Mail: 1500 Marilla, 3ANorth, Dallas, TX 75201

Keep this portion for your records.

ID-20190114INVOICE.XML-1235-000011290

Please return this portion with your payment Q



City of Dallas

Dallas Water Utilities  
PO Box 660025  
Dallas TX 75266-0025

ACCOUNT NUMBER:  
100820110

No Payment Required

(\$13.68)

Operation WaterShare

Total Amount Enclosed

\$ \_\_\_\_\_

MAIL PAYMENT TO:

City of Dallas  
City Hall, 2D South  
Dallas TX 75277

Check here for change of address on back

000618 000011290



FARAH REAL ESTATE NATALIE GROUNDS  
2170 MATLOCK  
MANSFIELD TX 76063



**UTILITY**

Service from 12/13/18 to 1/14/19 for 33 days

| <u>Service Provided</u>      | <u>Meter Number</u> | <u>Previous Read</u> | <u>1/14/19 Read</u> | <u>Usage in 100 GALS</u> | <u>Usage Charge</u> | <u>Base Charge</u> | <u>Total</u>   |
|------------------------------|---------------------|----------------------|---------------------|--------------------------|---------------------|--------------------|----------------|
| Water                        | 882837              | 10                   | 10                  | 0                        | \$0.00              | \$5.33             | \$5.33         |
| Sewer                        | 882837              | 10                   | 10                  | 0                        | \$0.00              | \$4.78             | \$4.78         |
| Surcharge Class 4 Average    |                     |                      |                     |                          | \$0.00              |                    |                |
| <b>Sewer Charges</b>         |                     |                      |                     |                          |                     | <b>\$4.78</b>      | <b>\$4.78</b>  |
| Storm Water Charges          |                     |                      |                     |                          |                     |                    | \$4.02         |
| <b>Total Utility Charges</b> |                     |                      |                     |                          |                     |                    | <b>\$14.13</b> |

**Storm Water Fee:** This fee funds the City's storm water utility, formed in 1991, to meet requirements of a federal mandate to control storm water pollution. It also pays for other routine maintenance activities that affect storm water quality.

**Surcharge:** An additional charge to restaurants, bars, food processing plants, vehicle service facilities and certain industrial processors for treatment of above normal strength wastewater.

ID-20190114INVOICE.XML-1236-000011290

Address Change

**City of Dallas**  
**In Person Payment Location**  
 Dallas City Hall 2D South  
 1500 Marilla Street  
 8 a.m. - 5 p.m. Monday - Friday

As provided in Section 182.052 of the Texas Utilities Code, you are hereby informed of your right to request confidentiality of your address, telephone number, social security number, and information relating to volume or units of utility usage and amounts billed to or collected from you for utility usage. To elect confidentiality, please visit [www.dwuconfidentiality.com](http://www.dwuconfidentiality.com).

Payments may be made by phone or automatically drafted monthly from your bank or credit card. For details, contact Customer Service at (214) 651-1441 or on-line at [www.dallascityhall.com](http://www.dallascityhall.com).

For a Fidelity Express location near you, please contact Customer Service at (214) 651-1441 or visit [www.dallascityhall.com](http://www.dallascityhall.com). If scheduled for disconnection, payment must be made the business day before the due date to avert this action.

In the event your check is returned for insufficient funds or uncollected funds, we may re-present your check electronically. {En el caso que su cheque sea devuelto por falta de fondos o fondos no cobrados, nosotros podemos procesar su cheque electrónicamente otra vez.}

For feedback on Inserts/Onserts, please call 311 or e-mail us at [dallas311@dallascityhall.com](mailto:dallas311@dallascityhall.com)

BDA-09 - OSS  
 Attach A 22



Utilities  
 And  
 Services

City of Dallas

Customer Name: **FARAH REAL ESTATE NATALIE  
 GROUNDS**

Account Number: **100820110**

Service Address: **1906 GREENVILLE AVE**

**Amount Due by 3/1/19 \$1.27**  
**Amount Due after 3/1/19 \$2.02**

Invoice 051351048166 Issued 2/14/19 Page 1 of 2

**INVOICE SUMMARY**

|   |                |
|---|----------------|
| Balance Forward                               | (\$13.68)      |
| <b>Current Charges (See back for details)</b> |                |
| Water Charges                                 | \$5.70         |
| Sewer Charges                                 | \$5.23         |
| Storm Water Charges                           | \$4.02         |
| <b>Total Current Charges</b>                  | <b>\$14.95</b> |
| <b>Total Amount Due</b>                       | <b>\$1.27</b>  |

**SPECIAL MESSAGES**

All customers are invited to comment on the draft DWU Drought & Water Conservation Plans. Both plans are available until Feb. 28, 2019 at [bit.ly/2HKaOld](http://bit.ly/2HKaOld) (case sensitive)

Be ready for cold weather. **Wrap** outside faucets and pipes in unheated areas of your home. Visit [dwuwintertips.com](http://dwuwintertips.com) for more information.

Pay your utility bill online. It's safe and hassle free! You'll have no checks to write, bills to mail or late fees to pay! Visit [epay.dallascityhall.com](http://epay.dallascityhall.com) to sign-up.

**WATER CONSERVATION TIP**

Have you checked your toilet for leaks? Toilet flapper valves commonly leak after a year or two, but are very easy to replace. Learn how to check for this leak at [SaveDallasWater.com](http://SaveDallasWater.com) and save as much as 300 gallons of water a day!

**BE A GOOD NEIGHBOR!**

**Operation WaterShare:** Helps pay water bills for customers facing temporary financial setbacks.

**AuthorSpeak** AuthorSpeak is a program featuring presentations by prominent authors followed by a lively period of discussion. The series is presented cooperatively by the Dallas Public Library and the World Affairs Council of Dallas

**CONTACT US?**

Phone: (214) 651-1441  
 Email: [WaterSpecialtyUnit@dallascityhall.com](mailto:WaterSpecialtyUnit@dallascityhall.com)  
 Mail: 1500 Marilla, 3ANorth, Dallas, TX 75201

Keep this portion for your records.

ID-20190214\INVOICE.XML-903-000009557

Please return this portion with your payment Q



City of Dallas

Dallas Water Utilities  
 PO Box 660025  
 Dallas TX 75266-0025

**ACCOUNT NUMBER:**  
 100820110

**MAIL PAYMENT TO:**  
 City of Dallas  
 City Hall, 2D South  
 Dallas TX 75277

**Amount Due by 3/1/19 \$1.27**  
**Amount Due after 3/1/19 \$2.02**  
**Operation WaterShare** \_\_\_\_\_  
**AuthorSpeak** \_\_\_\_\_  
**Total Amount Enclosed** \$ \_\_\_\_\_

Check here for change of address on back

000452 000009557



FARAH REAL ESTATE NATALIE GROUNDS  
 2170 MATLOCK  
 MANSFIELD TX 76063



1008201104 00000001273 00000002022 00000000001 101 44 20190608

**UTILITY**

Service from 1/15/19 to 2/13/19 for 30 days

| <u>Service Provided</u>      | <u>Meter Number</u> | <u>Previous Read</u> | <u>2/13/19 Read</u> | <u>Usage in 100 GALS</u> | <u>Usage Charge</u> | <u>Base Charge</u> | <u>Total</u>   |
|------------------------------|---------------------|----------------------|---------------------|--------------------------|---------------------|--------------------|----------------|
| Water                        | 882837              | 10                   | 11                  | 1                        | \$0.37              | \$5.33             | \$5.70         |
| Sewer                        | 882837              | 10                   | 11                  | 1                        | \$0.41              | \$4.78             | \$5.19         |
| Surcharge Class 4 Average    |                     |                      |                     | 1                        | \$0.04              |                    | \$0.04         |
| <b>Sewer Charges</b>         |                     |                      |                     | 2                        | <b>\$0.45</b>       | <b>\$4.78</b>      | <b>\$5.23</b>  |
| Storm Water Charges          |                     |                      |                     |                          |                     |                    | \$4.02         |
| <b>Total Utility Charges</b> |                     |                      |                     |                          |                     |                    | <b>\$14.95</b> |

**Total Utility Charges**

**Storm Water Fee:** This fee funds the City's storm water utility, formed in 1991, to meet requirements of a federal mandate to control storm water pollution. It also pays for other routine maintenance activities that affect storm water quality.

**Surcharge:**An additional charge to restaurants, bars, food processing plants, vehicle service facilities and certain industrial processors for treatment of above normal strength wastewater.

ID-20190214\INVOICE.XML-904-000009557

Address Change

**City of Dallas**  
**In Person Payment Location**  
 Dallas City Hall 2D South  
 1500 Marilla Street  
 8 a.m. - 5 p.m. Monday - Friday

As provided in Section 182.052 of the Texas Utilities Code, you are hereby informed of your right to request confidentiality of your address, telephone number, social security number, and information relating to volume or units of utility usage and amounts billed to or collected from you for utility usage. To elect confidentiality, please visit [www.dwuconfidentiality.com](http://www.dwuconfidentiality.com).

Payments may be made by phone or automatically drafted monthly from your bank or credit card. For details, contact Customer Service at (214) 651-1441 or on-line at [www.dallascityhall.com](http://www.dallascityhall.com).

For a Fidelity Express location near you, please contact Customer Service at (214) 651-1441 or visit [www.dallascityhall.com](http://www.dallascityhall.com). If scheduled for disconnection, payment must be made the business day before the due date to avert this action.

In the event your check is returned for insufficient funds or uncollected funds, we may re-present your check electronically. {En el caso que su cheque sea devuelto por falta de fondos o fondos no cobrados, nosotros podemos procesar su cheque electrónicamente otra vez.}

For feedback on Inserts/Onserts, please call 311 or e-mail us at [dallas311@dallascityhall.com](mailto:dallas311@dallascityhall.com)



City of Dallas

STATE OF TEXAS §  
 COUNTY OF DALLAS §  
 CITY OF DALLAS §

I, **BILIERAE JOHNSON**, Assistant City Secretary, of the City of Dallas, Texas, do hereby certify that the attached is a true and correct copy of:

**ORDINANCE NO. 19726**

Which was passed by the Dallas City Council on **October 21, 1987**.

WITNESS MY HAND AND THE SEAL OF THE CITY OF DALLAS, TEXAS, this the **5<sup>th</sup>** day of **January, 2017**.

\_\_\_\_\_  
**BILIERAE JOHNSON**  
 ASSISTANT CITY SECRETARY  
 CITY OF DALLAS, TEXAS

Prepared By: CM

**Ex. E**



873376

19726

SECTION 1. That CHAPTER 51, "PART I OF THE DALLAS DEVELOPMENT CODE," of the Dallas City Code, as amended, is amended by establishing Modified Delta Overlay District No. 1 ("this district") on the following described Property, to-wit:

Tract I: Being all of City Block B/2906 bounded by Ellsworth Avenue, Greenville Avenue, Matalee Street and Worcola Street; all of City Blocks C/2907, E/2907 and A/2908 bounded by Matalee Street, Greenville Avenue, Martel Avenue and Worcola Street; all of City Block B/2909 bounded by Martel Avenue, Greenville Avenue, Longview Street and Worcola Street; all of City Blocks H/2912 and A/2913 bounded by Longview Street, Greenville Avenue, McCommas Boulevard and Worcola Street; all of City Block 1/2193 bounded by McCommas Boulevard, Greenville Avenue, Morningside Avenue and Worcola Street; all of City Block 2/2194 bounded by Morningside Avenue, Greenville Avenue, Mercedes Avenue, and Worcola Street; all of City Block 3/2890 bounded by Ellsworth Avenue, Matilda Street, Kenwood Avenue and Greenville Avenue; all of City Block 2/2889 bounded by Kenwood Avenue, Matilda Street, Penrose Avenue and Greenville Avenue; all of City Block 1/2888 bounded by Penrose Avenue, Matilda Street, Martel Street and Greenville Avenue; all of City Blocks A/2894 and 2895 bounded by Martel Avenue, Matilda Street, McCommas Boulevard and Greenville Avenue; all of City Blocks 2896 and 4/2149 bounded by McCommas Boulevard, Matilda Street, Morningside Avenue and Greenville Avenue; and all of City Block 3/2148 bounded by Morningside Avenue, Matilda Street, Mercedes Avenue and Greenville Avenue.

Tract II: Being all of City Block B/2170 bounded by Monticello Avenue, Greenville Avenue, Ridgedale Avenue and Worcola Street; all of City Block C/2171 bounded by Ridgedale Avenue, Greenville Avenue, Vanderbilt Avenue and Worcola Street; all of City Blocks D/2172 and 1/2076 bounded by Vanderbilt Avenue, Greenville Avenue, Goodwin Avenue and Worcola Street; all of City Block 8/1926 bounded by Goodwin Avenue, Greenville Avenue, Vickery Boulevard and Worcola Street; all of City Block 9/1927 bounded by Vickery Boulevard, Greenville Avenue, Miller Avenue and Worcola Street; all of City Block 1/2146 bounded by Monticello Avenue, Matilda Street, Marquita Avenue, and Greenville Avenue; all of City Blocks 1/2168 and 5/2166 bounded by Marquita Avenue, Matilda Street, Vanderbilt Avenue and Greenville Avenue; all of City Blocks 1/2164 and 1/2162 bounded by Vanderbilt Avenue, Matilda Street, Goodwin Street and Greenville Avenue; all of City Block 8/1918 bounded by Goodwin

19726

873976

Avenue, Matilda Street, Vickery Boulevard and Greenville Avenue; all of City Block 9/1919 bounded by Vickery Boulevard, Matilda Street, Llano Street and Greenville Avenue; and all of City Block 1/1885 bounded by Llano Street, Matilda Street, Velasco Avenue and Greenville Avenue.

Tract III:

Being all of City Block 8/2012 bounded by Belmont Avenue, Greenville Avenue, Richmond Avenue, and Summit Avenue; all of City Block 7/2071 and part of City Block 1982 bounded by Richmond Avenue, Greenville Avenue, Bell Avenue and Summit Avenue; part of City Block 1982 and all of City Block D/1982 bounded by Bell Avenue, Greenville Avenue, Sears Street and Summit Avenue; all of City Block C/1983 bounded by Sears Street, Greenville Avenue, Alta Street and Summit Avenue; all of City Block B/1988 bounded by Alta Street, Greenville Avenue, Lewis Street and Summit Avenue, part of City Block 1472 bounded by Lewis Street, Greenville Avenue, Ross Avenue and the westward prolongation of the centerline of Ross Avenue from Greenville Avenue to Summit Avenue, and Summit Avenue; all of City Block 17/1901 bounded by Belmont Avenue, Matilda Street, Richmond Street and Greenville Avenue; all of City Block 24/1904 bounded by Richmond Avenue, Matilda Street, Prospect Avenue and Greenville Avenue; all of City Block 1/1905 bounded by Prospect Avenue, Matilda Street, Oram Street and Greenville Avenue; all of City Block 1907 and part of City Block 1908 bounded by Oram Street, Matilda Street, LaVista Street and Greenville Avenue, all of City Blocks A/1473 and B/1474 bounded by LaVista Street, Matilda Street, Lewis Street and Greenville Avenue; and all of City Blocks F/1473 and G/1474 bounded by Lewis Street, Matilda Street, Ross Avenue and Greenville Avenue.

SECTION 2. That no nonconforming parking spaces may be carried forward by a use under the delta theory, as defined in Section 51-4.704 of CHAPTER 51, "PART I OF THE DALLAS DEVELOPMENT CODE," of the Dallas City Code, as amended, when a use located in this district is expanded.

SECTION 3. That when a use located in this district is converted to a new use having greater parking or loading requirements, the rights to any nonconforming parking or

19726

873376

loading under the delta theory may not be used to meet the new parking requirements.

SECTION 4. That when a use located in this district is converted to a new use having lesser parking or loading requirements, the rights to any portion of the nonconforming parking or loading not needed to meet the new requirements are lost.

SECTION 5 That the right to carry forward nonconforming parking and loading spaces under the delta theory terminates when a use is discontinued or remains vacant for 12 months or more. The board of adjustment may grant a special exception to this provision only if the owner can state an extreme circumstance that demonstrates that there was not an intent to abandon the use even though the use was discontinued or remained vacant for 12 months or more.

SECTION 6. That a person violating a provision of this ordinance, upon conviction, is punishable by a fine not to exceed \$2,000.

SECTION 7. That CHAPTER 51 of the Dallas City Code, as amended, shall remain in full force and effect, save and except as amended by this ordinance.

SECTION 8. That the terms and provisions of this ordinance are severable and are governed by Section 1-4 of CHAPTER 1 of the Dallas City Code, as amended.

Attach A

19726

873376

SECTION 9. That this ordinance shall take effect immediately from and after its passage and publication in accordance with the provisions of the Charter of the City of Dallas, and it is accordingly so ordained.

APPROVED AS TO FORM:

ANAESLIE MUNCY, City Attorney

BY *Lyndee Alden Stinson*  
Assistant City Attorney

Passed and correctly enrolled OCT 21 1967

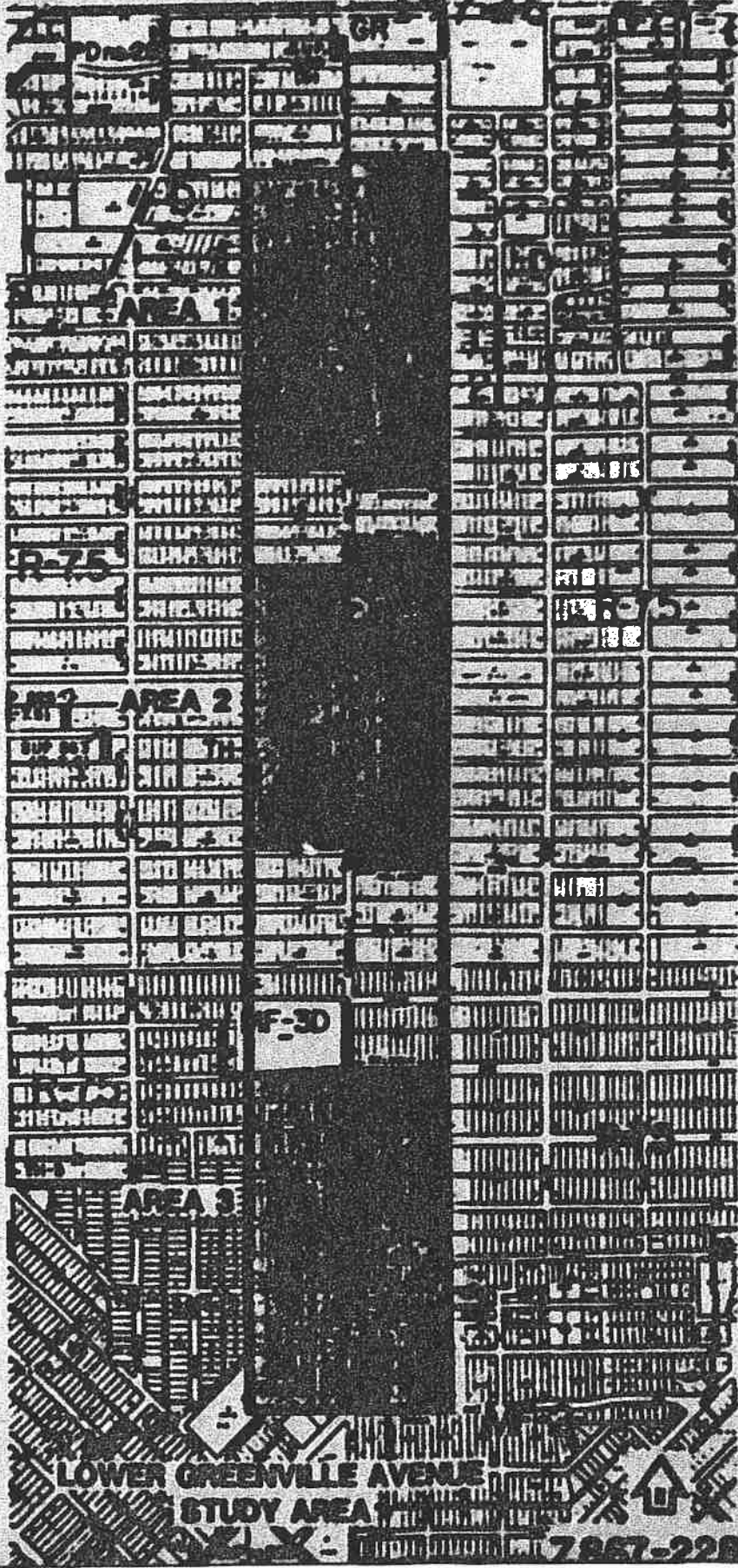
Zoning File No. 2867-228/6254-E

5623I

Attach A

10726

873376



LOWER GREENVILLE AVENUE  
STUDY AREA

2G

7857-228 / 6254-E

Attch A

**SEE ALSO**

THE FOLLOWING FILES CONTAIN INFORMATION RELATING TO THIS FILE AND  
MAY BE OF INTEREST. THE INFORMATION CONTAINED IN THESE FILES MAY  
AMEND, REPEAL OR OTHERWISE AFFECT THE STATUS OF THIS FILE.

**873235**

|       |       |
|-------|-------|
| <hr/> | <hr/> |
| <hr/> | <hr/> |
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THIS FILE IS:

**873376**

PSA 104-055

Att: A

31

**END  
FILE NUMBER:**

**87-3376**

**OFFICIAL ACTION OF THE DALLAS CITY COUNCIL**

**October 21, 1987**

**87-3376**

**Agenda item 27: Ordinance authorizing the placement of a Modified Delta Overlay District on three areas of land located along both sides of Greenville Avenue between Ellsworth Avenue and Ross Avenue - Z867-228/6254-E**

**Approved as part of the consent agenda.**

**Assigned ORDINANCE NO. 19726.**



873376

10/21/87

ORDINANCE NO. 19726

An ordinance amending CHAPTER 51, "PART I OF THE DALLAS DEVELOPMENT CODE," of the Dallas City Code, as amended; establishing Modified Delta Overlay District No. 1 (the Greenville Avenue Modified Delta Overlay District) for the following described property, to wit:

Tract I is generally located south of Ellsworth Avenue, west of Matilda Street, north of Mercedes Avenue and east of Worcola Street.

Tract II is generally located south of Monticello Avenue, west of Matilda Street, north of Velasco Avenue and east of Worcola Street.

Tract III is generally located south of Belmont Avenue, west of Matilda Street, north of Ross Avenue and east of Summit Avenue;

providing a penalty not to exceed \$2,000; providing a saving clause; providing a severability clause; and providing an effective date.

WHEREAS, the city plan commission and the city council, in accordance with the provisions of the Charter of the City of Dallas, the state law, and the applicable ordinances of the city, have given the required notices and have held the required public hearings regarding this amendment to Article IV, "Zoning Regulations," of CHAPTER 51, "DALLAS DEVELOPMENT CODE," of the Dallas City Code, as amended; Now Therefore,

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF DALLAS:

1

CHECKED BY

JCY

AH26A



City of Dallas


STATE OF TEXAS           §  
 COUNTY OF DALLAS       §  
 CITY OF DALLAS           §

I, **BILIERAE JOHNSON**, Assistant City Secretary, of the City of Dallas, Texas, do hereby certify that the attached is a true and correct copy of:

**ORDINANCE NO. 22472**

Which was passed by the Dallas City Council on **October 21, 1987**.

WITNESS MY HAND AND THE SEAL OF THE CITY OF DALLAS, TEXAS, this the **5<sup>th</sup>** day of **January, 2017**.

  
 \_\_\_\_\_  
**BILIERAE JOHNSON**  
**ASSISTANT CITY SECRETARY**  
**CITY OF DALLAS, TEXAS**

Prepared By: CM

ALAN A

952395

6-21-95

ORDINANCE NO 22472

An ordinance amending Ordinance No. 19726, which established Modified Delta Overlay District No. 1 (the Greenville Avenue Modified Delta Overlay District); amending Section 5 of that ordinance, providing that the board of adjustment may not grant a special exception for required parking; providing an extension of the walking distance for remote parking; providing that more than 50 percent of required parking may be provided in the modified delta overlay district; providing that the modified delta overlay district shall be governed by CHAPTER 51A, "PART II OF THE CITY OF DALLAS ORDINANCES," which shall govern this district; providing a penalty for violation of the ordinance; providing a severability clause; providing that the city council of the City of Dallas, in accordance with the City of Dallas Charter, the state law, and the applicable ordinance, has given notice of this ordinance and have held the required public hearings regarding this ordinance; and

*Certify  
Doc 3*

WHEREAS, the city council finds that it is in the public interest to amend Modified Delta Overlay District No. 1 as specified in this ordinance; Now, Therefore,

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF DALLAS:

SECTION 1. That Section 5 of Ordinance No. 19726 is amended to read as follows:

"SECTION 5. That the right to carry forward nonconforming parking and loading

1

CHECKED BY

*JCK*

22472

952395

spaces under the delta theory terminates when a use is discontinued or remains vacant for 12 months or more. The board of adjustment may grant a special exception to this provision only if the owner can demonstrate~~[state an extreme circumstance that demonstrates]~~ that there was not an intent to abandon the use even though the use was discontinued or remained vacant for 12 months or more, by proving the occurrence of an extreme circumstance, which shall include but not be limited to the following:

- (a) A decline in the rental rates for the area which has affected the rental market.
- (b) An unusual increase in the vacancy rates for the area which has affected the rental market.
- (c) Obsolescence of the subject property, including environmental hazards, extensive renovation or remodeling, and extreme deterioration of adjacent properties, affecting the marketability of property."

SECTION 2. That a new Section 5A is added to Ordinance No. 19726 to read as follows:

"SECTION 5A. That the board of adjustment may not grant a special exception for required off-street parking in this district."

SECTION 3. That a new Section 5B is added to Ordinance No. 19726 to read as follows:

"SECTION 5B. That the walking distances contained in Paragraphs (1) and (2)(A) of Section 51A-4.324(d) of CHAPTER 51A, "PART II OF THE DALLAS DEVELOPMENT CODE," of the Dallas City Code, as amended, are extended to 600 and 900 feet, respectively, for remote parking in this district."

SECTION 4. That a new Section 5C is added to Ordinance No. 19726 to read as follows:

"SECTION 5C. That special parking, as defined in Section 51A-4.321 of CHAPTER 51A, "PART II OF THE DALLAS DEVELOPMENT CODE," as amended, may account for more than 50 percent of the off-street parking required for any use."

SECTION 5. That a new Section 5D is added to Ordinance No. 19726 to read

22472

952395

as follows:

"SECTION 5D. That the modified delta overlay district regulations contained in Section 51A-4.506 of CHAPTER 51A, "PART II OF THE DALLAS DEVELOPMENT CODE," of the Dallas City Code, as amended, govern this district."

SECTION 6. That a person violating a provision of this ordinance, upon conviction, is punishable by a fine not to exceed \$2,000.

SECTION 7. That CHAPTERS 51 and 51A, "DALLAS DEVELOPMENT CODE," of the Dallas City Code, as amended, and Ordinance No. 19726 shall remain in full force and effect, save and except as amended by this ordinance.

SECTION 8. That the terms and provisions of this ordinance are severable and are governed by Section 1-4 of CHAPTER 1 of the Dallas City Code, as amended.

SECTION 9. That this ordinance shall take effect immediately from and after its passage and publication in accordance with the provisions of the Charter of the City of Dallas, and it is accordingly so ordained.

APPROVED AS TO FORM:

SAM A. LINDSAY, City Attorney

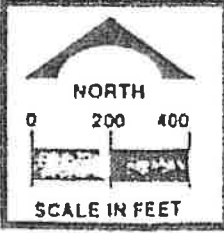
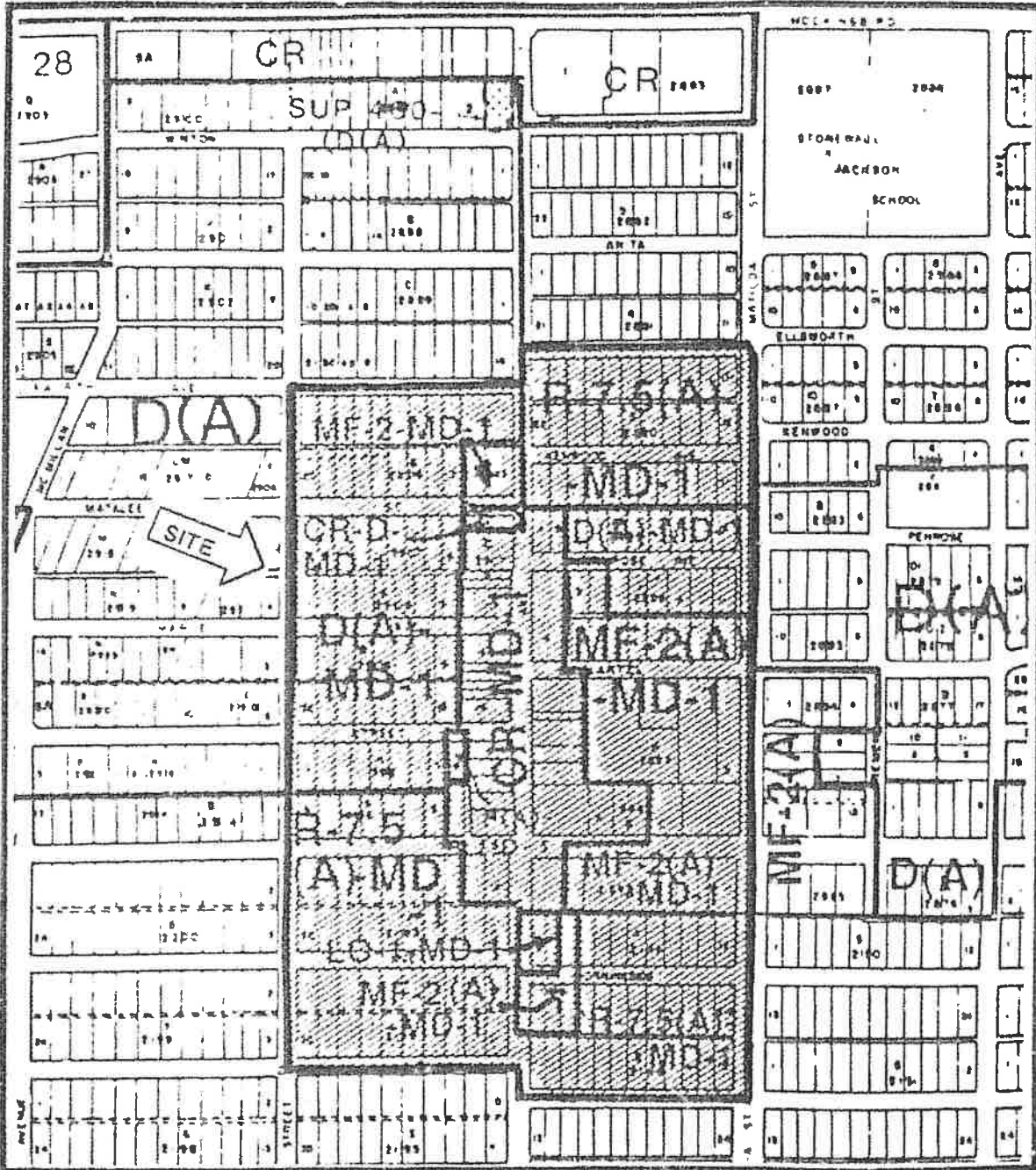
By *Steven Hernandez*  
Assistant City Attorney

JUN 25 1995

Passed \_\_\_\_\_

File No. Z945-206/6254-E

952395



**ZONING HISTORY**  
"AREA 1"

Map No. H-8, I-8

Case No. Z945-206/6254-E

MEMORANDUM OF  
ACTION TAKEN BY THE  
BOARD OF ADJUSTMENT

Date of Hearing \_\_\_\_\_

Appeal was--Granted OR Denied

Remarks \_\_\_\_\_

Chairman

**Building Official's Report**

I hereby certify that Michael Farah  
represented by Dallas Cothrum  
did submit a request to appeal the decision of the administrative official  
at 1906 Greenville Avenue

BDA189-055. Application of Michael Farah represented by Dallas Cothrum to appeal the decision of the administrative official at 1906 GREENVILLE AVE that revoked the certificate of occupancy and determined that the right to carry forward delta credits were terminated. This property is more fully described as Lot 3 & 4, Block 1907, and is zoned PD-842 (MD-1), which states that the right to nonconforming delta parking credits are lost if the use is vacant for twelve months or more, and also requires that the Building Official shall revoke a certificate of occupancy if the use or occupancy authorized by the certificate of occupancy has been discontinued for six months or more, per Parapgraph (7) 306.13, Revocation of Certificate of Occupancy, of Chapter 52, Administrative Procedures for the Construction Codes, of the Dallas City Code

Sincerely,

*Philip Sikes*  
Philip Sikes, Building Official

**Long, Steve**

---

**From:** Michael Farah <mfarah@farahlegal.com>  
**Sent:** Wednesday, July 31, 2019 11:48 AM  
**To:** Long, Steve  
**Cc:** Ryan B. Tinch; Vinson, Jonathan; Monica Wright  
**Subject:** BDA 189-055: 1904/1906 Greenville Avenue  
**Attachments:** Jake Sherrington Leasing Letter for staff package 7.31.2019.pdf; Board of Adjustment Notice.pdf; reducedPDF of docs for 7.31.19 staff submission.pdf

Steve:

Please see the attached documentation for the staff information deadline today at 1:00. Jonathan Vinson, copied hereto represents our entity with regards to this application; you are free to discuss anything regarding our application with him and he is welcome to submit documentation on our behalf as well.

We will be supplementing on or before the August 9, 2019 deadline with additional information for the docket.

Sincerely,

Michael Farah  
The Farah Law Firm, P.C.  
2170 Matlock Road #110  
Mansfield, TX 76063  
P: (817)-467-1889  
F: (817)-801-7831  
Mfarah@Farahlegal.com

LAW FIRM LOCATIONS:

AUSTIN / ASPEN LAKE: 13785 Research Blvd. Ste. 125 Austin, TX 78750

P: (512) 686-2841 F: (888) 850-3312

SAN ANTONIO / SONTERRA: 401 E. Sonterra Blvd. Ste. 375 San Antonio, TX 78258

P: (210) 504-5046 F: (888) 850-3312

SUGAR LAND / TOWN SQUARE: 2245 Texas Dr. Ste. 300 Sugarland, TX 77479

P: (281) 369-5746 F: (888) 850-3312

\*Principal Office in Mansfield

ANY STATEMENTS CONTAINED HEREIN ARE NOT INTENDED OR WRITTEN BY THE UNDERSIGNED TO BE USED, AND NOTHING CONTAINED HEREIN CAN BE USED BY YOU OR ANY OTHER PERSON, FOR THE PURPOSE OF AVOIDING PENALTIES THAT MAY BE IMPOSED UNDER FEDERAL TAX LAW.



OSS  
ALIC  
2



July 30, 2019

Via email to: [steve.long@dallascityhall.com](mailto:steve.long@dallascityhall.com)

Steve Long  
City Of Dallas  
1500 Marilla Street, Room 5BN  
Dallas, Texas 75201

To: Board of Adjustment Panel B

Re: Support of Applicant of 1906 Greenville Ave in BDA189-055(SL)

As the representing listing agent of 1904/06 Greenville Ave since September 27, 2017 I have actively worked to solicit a commercial operator whose is a favorable concept that I believe will complement the area, is a use that is permitted by the existing zoning, and is a quality operator that can have a chance to run a sustainable business. The co listing agent on the property Thomas Glendenning and I have spoken with many interested parties to which were not a fit due to a variety of reasons and out of all the prospects we believe the existing operator Voicebox remains the best fit.

I have worked as a leasing agent on multiple properties in the Lower Greenville Ave area and have had numerous listings throughout the DFW metroplex for over 6 years. I am a commercial project leasing specialist to which is my full time career. Our firm, the Shop Companies, discovered the interest of Voicebox to open a location in Dallas and pursued these interests resulting in a signed letter of intent and a fully executed lease. Negotiation efforts and Letters of Intent began with Voicebox in April of 2018. I am in support of the applicant who have continually worked for over 3 years to see the property occupied and improved.

We believe the property should be inhabited by its existing user and hope to see the overall health of Lower Greenville thrive.

Commercial Real Estate Agent

A handwritten signature in black ink, appearing to read 'Jake Sherrington', is written over the typed name and company name.

Jake Sherrington  
The Shop Companies

(notary attached)

055  
Attach C  
3

STATE OF TEXAS

COUNTY OF DALLAS

BEFORE ME, the undersigned Notary Public, on this day personally appeared

Jake Sherington, known to me to be the

Person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed, and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this 30 day of July, 2019



[Signature]

Notary Public in and for the State of Texas



City of Dallas

bss  
Attach C  
4

June 20, 2019

Michael Farah  
P.O. Box 181811  
Arlington, TX 76096

Re: BDA189-055(OA), Property at 1906 Greenville Avenue

Dear Mr. Farah:

The Board of Adjustment Panel B, at its hearing held on Wednesday, June 19, 2019, held this matter under advisement until August 21, 2019.

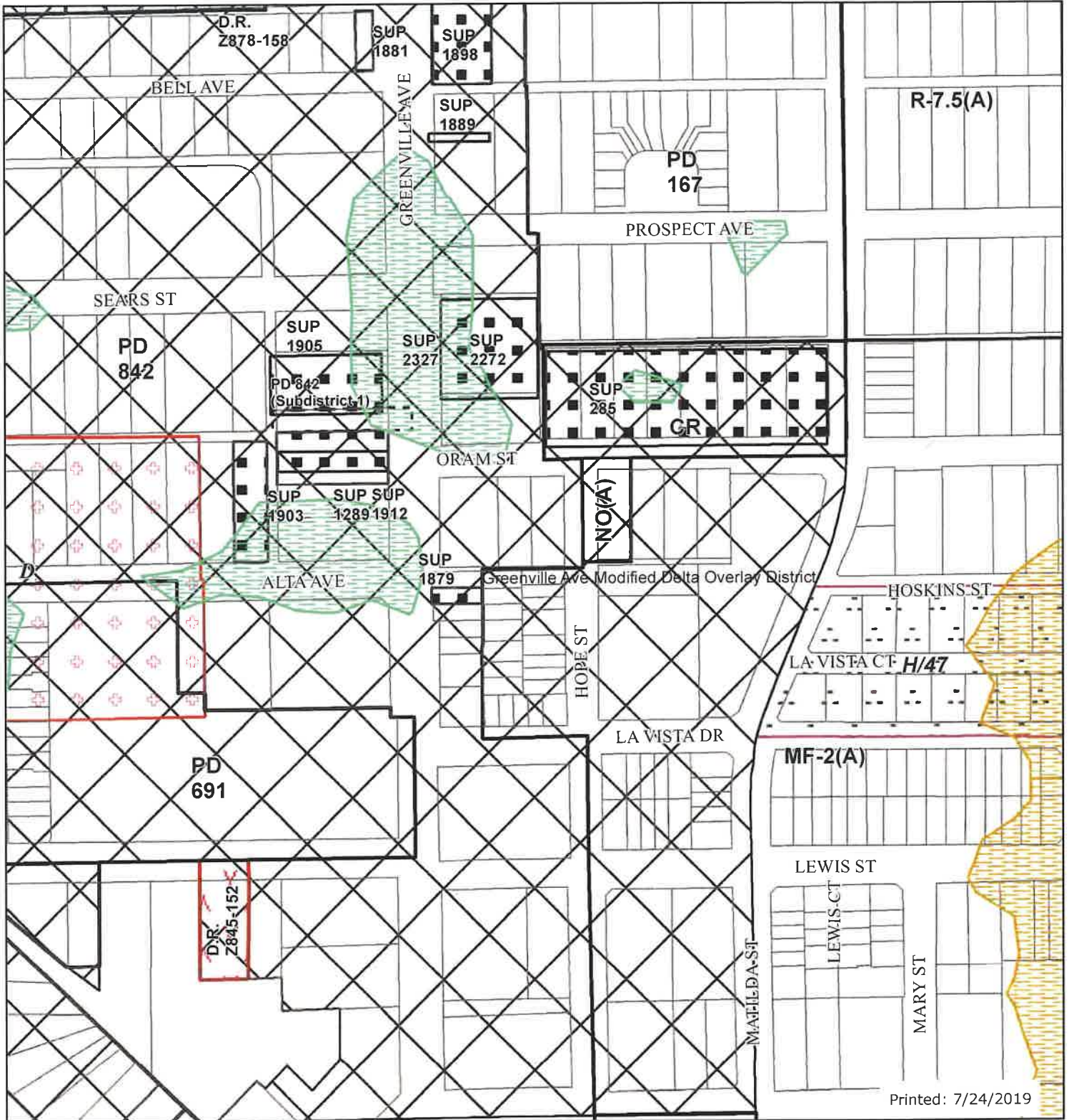
Please be aware of the 1:00 p.m., Wednesday, July 31<sup>st</sup> deadline to submit any additional information for staff review, and the 1:00 p.m., Friday, August 9<sup>th</sup> deadline to submit any additional information that you want incorporated into the board's docket.

Should you have any further questions regarding the Board's action, please contact me at (214) 670-4666.

A handwritten signature in cursive script that reads "Steve Long".

Steve Long, Chief Planner/Board Administrator  
Board of Adjustment  
Sustainable Development and Construction

c: Code Enforcement, 3112 Canton, Room 100  
Charles Trammell, Bldg. Inspection, 320 E. Jefferson #105



Printed: 7/24/2019

Legend

- |                      |                                |                       |                            |
|----------------------|--------------------------------|-----------------------|----------------------------|
| City Limits          | railroad                       | Dry Overlay           | CD Subdistricts            |
| School               | Certified Parcels              | D                     | PD Subdistricts            |
| Floodplain           | Base Zoning                    | D-1                   | PDS Subdistricts           |
| 100 Year Flood Zone  | PD193 Oak Lawn                 | CP                    | NSO Subdistricts           |
| Mill's Creek         | Dallas Environmental Corridors | SP                    | NSO_Overlay                |
| Peak's Branch        | SPSP Overlay                   | MD Overlay            | Escarpment Overlay         |
| X Protected by Levee | Deed Restrictions              | Historic Subdistricts | Parking Management Overlay |
| Parks                | SUP                            | Historic Overlay      | Shop Front Overlay         |
|                      |                                | Height Map Overlay    | 5 - 51                     |

This data is to be used for graphical representation only. The accuracy is not to be taken/used as data produced by a Registered Professional Land Surveyor (RPLS) for the State of Texas. 'This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.' (Texas Government Code § 2051.102)



## Traffic Impact Study Worksheet

This worksheet will help you determine if a Traffic Impact Study (T.I.S.) needs to be submitted with your zoning change request. **Please read the following paragraphs before filling out this worksheet.**

First, read all of the uses listed in column A and check the box to the right of each use that characterizes the proposed development. Next, fill in the number of units or gross square footage of each use in column 'B'. If the development has a Number of Units, then multiply that number by the Trip Rate (column 'B' times column 'C') and indicate the total in column 'D'. If the development has a Gross Square Footage, then divide the gross square footage in column 'C' by 1,000, then multiply the result by the Trip Rate in column 'B' and indicated the total in column 'D'. Finally, total all the trips per day to the space at the bottom of column 'D'.

If the total exceeds 1,000 trips per day, then either a Traffic Impact Study (T.I.S.) or a Waiver of the T.I.S. is required with the zoning request. Traffic Impact Study waivers will be considered on a per case basis by the Director of the Department of Development Services. The Department of Development Services is located in City Hall, Room L1BS and can be reached by telephone at 214-670-4869. If a proposed project cannot be defined within the uses provided on this worksheet, contact the Department of Development Services for assistance. Finally, fill out the applicant and development information below the chart.

| A<br>Use   | B<br>Trip Rates <sup>1</sup> | C<br>Number of Units/SQ. FT. | D<br>Trips Generated |
|--|------------------------------|------------------------------|----------------------|
| Lodging <input type="checkbox"/>                             | 9.11 per room                |                              |                      |
| Residential  |                              |                              |                      |
| Single Family <input type="checkbox"/>                       | 9.57 per dwelling unit       |                              |                      |
| Other <input type="checkbox"/>                               | 6.59 per dwelling unit       |                              |                      |
| Industrial <input type="checkbox"/>                          | 6.96 per 1,000 gsf           |                              |                      |
| Office   |                              |                              |                      |
| Financial Institution w/o drive-in <input type="checkbox"/>  | 156.48 per 1,000 gsf         |                              |                      |
| Financial Institution with drive-in <input type="checkbox"/> | 265.21 per 1,000 gsf         |                              |                      |
| Other: 10,000 gsf or less <input type="checkbox"/>           | 26.59 per 1,000 gsf          |                              |                      |
| 10,001-50,000 gsf <input type="checkbox"/>                   | 22.64 per 1,000 gsf          |                              |                      |
| 50,000-100,000 gsf <input type="checkbox"/>                  | 15.58 per 1,000 gsf          |                              |                      |
| 100,001-150,000 gsf <input type="checkbox"/>                 | 13.27 per 1,000 gsf          |                              |                      |
| 150,001-200,000 gsf <input type="checkbox"/>                 | 12.08 per 1,000 gsf          |                              |                      |
| Retail/Personal Service                                      |                              |                              |                      |
| General Merchandise > 3,500 sq.ft. <input type="checkbox"/>  | 177.59 per 1,000 gsf         |                              |                      |
| General Merchandise < 3,500 sq.ft. <input type="checkbox"/>  | 863.10 per 1,000 gsf         |                              |                      |
| Restaurant w/o drive-in <input checked="" type="checkbox"/>  | 158.37 per 1,000 gsf         | 1/3450 gsf                   | 21.78                |
| Restaurant with drive-in <input type="checkbox"/>            | 722.03 per 1,000 gsf         |                              |                      |
| Other: 10,000 gsf or less <input type="checkbox"/>           | 278.24 per 1,000 gsf         |                              |                      |
| 10,001-50,000 gsf <input type="checkbox"/>                   | 215.39 per 1,000 gsf         |                              |                      |
| 50,000-100,000 gsf <input type="checkbox"/>                  | 118.36 per 1,000 gsf         |                              |                      |
| 100,001-150,000 gsf <input type="checkbox"/>                 | 91.46 per 1,000 gsf          |                              |                      |
| 150,001-200,000 gsf <input type="checkbox"/>                 | 78.65 per 1,000 gsf          |                              |                      |
| Wholesale/Distribution/Storage                               |                              |                              |                      |
| Mini-warehouse <input type="checkbox"/>                      | 2.50 per 1,000 gsf           |                              |                      |
| Warehouse <input type="checkbox"/>                           | 4.98 per 1,000 gsf           |                              |                      |
| <b>Total trips generated</b>                                 |                              |                              | 21.78 trips          |

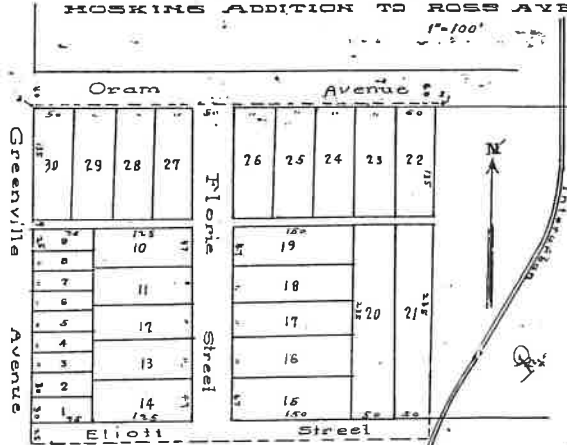
<sup>1</sup> All rates are based on ITE Trip Generation Report, 6<sup>th</sup> edition, January 1997.

|                                     |                                     |
|-------------------------------------|-------------------------------------|
| Applicant: <u>Masterplan</u>        | Phone Number: <u>(214) 701-9197</u> |
| Site: <u>1906 Greenville Avenue</u> | Size (In Acres): <u>0.79 acres</u>  |

1906

055  
 Attach  
 C  
 7

**EUREKA ADDITION.**  
 A REVISED PLAT OF  
 HOSKINS ADDITION TO ROSS AVENUE HEIGHTS.



55726.....

**EUREKA ADDITION: THE STATE OF TEXAS;** KNOW ALL MEN BY THESE PRESENTS, THAT We, L. A. Pires and The Estate of J. C. O'Connor, deceased  
**TO-MAP** : COUNTY OF DALLAS ;  
 acting herein by and through E. O. Tenison, Co-Trustee of said Estate, herunto duly authorized, do hereby adopt the above and foregoing map as a true and correct plat of EUREKA ADDITION to the City of Dallas, Texas, and we hereby dedicate the streets and alleys shown thereon for the use and benefit of the public forever; EXCEPT however, the North one half the street shown on said plat as Elliott Street is dedicated on condition that the south one half of said street be opened, dedicated and kept open to the use and benefit of the public forever.

L. A. Pires  
 Estate of J. C. O'Connor, Deceased.  
 By E. O. Tenison, Co-Trustee.

**THE STATE OF TEXAS:** Before me, the undersigned authority, a notary public in and for the State and County aforesaid, on this day  
**COUNTY OF DALLAS :** personally appeared L A Pires, and acknowledged to me that he executed the above and foregoing instrument, for the purposes and consideration therein expressed.

(L.S.) Witness my hand and official seal, this the 16th day of June A.D.1921.  
 John B. Akin  
 Notary Public, Dallas County, Texas.

**THE STATE OF MINNESOTA:** Before me, the undersigned authority, a notary public in and for the State and County aforesaid, on this  
**COUNTY OF DOUGLAS :** day personally appeared E O Tenison, Co-Trustee of the Estate of J. C. O'Connor, Deceased, and acknowledged to me that he executed the same for the purposes and consideration therein expressed and in the capacity therein stated.  
 Witness my hand and official seal this the 28th day of June A.D.1921

(L.S.) Andrew Jacobsen  
 Notary Public, Douglas County, Minn  
 My Commission expires May 10th, 1928.

Filed for Record Aug. 15, 1921, at 8:20 o'clock A. M. W. S. Skiles County Clerk  
 By M. L. Camp Deputy

Recorded at \_\_\_\_\_ on the \_\_\_\_\_  
 Skiles County, at \_\_\_\_\_  
 feet. No shall any \_\_\_\_\_  
 residence shall be built on these lots that cost \_\_\_\_\_  
 and shall not be built nearer the front property \_\_\_\_\_  
 than University Boulevard than sixty (60) feet, and must face on \_\_\_\_\_  
 that does not cost as much as \$15,000- must be of some \_\_\_\_\_  
 not be built nearer University Boulevard than sixty (60) \_\_\_\_\_  
 feet. No residence shall be built that does \_\_\_\_\_

055  
 Attn C

3



# Department of Development Services

1500 Marilla Street Room 5B North Dallas, TX 75201 Phone 214.670.4209 Fax 214.670.4210

City of Dallas

## Zoning Change Application

October 2002

Provide the following information. (Please print).

| Applicant                       |  | Representative |                    | Owner                                |                                      |
|---------------------------------|--|----------------|--------------------|--------------------------------------|--------------------------------------|
| Owner <input type="checkbox"/>  | Prospective Buyer <input type="checkbox"/> |                |                    | Individual <input type="checkbox"/>  | Corporation <input type="checkbox"/> |
| Tenant <input type="checkbox"/> |  |                |                    | Partnership <input type="checkbox"/> | Trust <input type="checkbox"/>       |
| Name:                           |  | Name:          |                    | Name:                                |                                      |
| Address:                        |  | Address:       |                    | Address:                             |                                      |
| City/St/Zip:                    |  | City/St/Zip:   |                    | City/St/Zip:                         |                                      |
| Telephone:                      |  | Telephone:     |                    | Telephone:                           |                                      |
| Fax:                            |  | Fax:           |                    | Fax:                                 |                                      |
| E-mail:                         |  | E-mail:        |                    | E-mail:                              |                                      |
| Signature of Applicant          |  |                | Signature of Owner |                                      |                                      |

|                  |              |                          |            |
|------------------|--------------|--------------------------|------------|
| Existing zoning: | PD 342, MD-1 | Location & cross street: |            |
| Mapsco no.       | 310-X        | Request:                 | Restaurant |
| Zoning map no.   | FR           |                          |            |
| Council district | 14           |                          |            |
| School district  | DISD         |                          |            |
| Census tract no. | 1101         | Lot(s)/Block(s):         |            |
|                  |              | Size of request:         |            |

Areas below to be completed by staff during application intake.

| General Zoning Change*   | Specific Use Permit*  | Planned Development District*  | Deed Restrictions*   |
|--|---|--|--|
|  | New <input type="checkbox"/> Renewal <input type="checkbox"/><br>Amendment <input type="checkbox"/> Auto Renewal** <input type="checkbox"/> |  | Termination <input type="checkbox"/> Amendment <input type="checkbox"/>                |
| Proper signatures <input type="checkbox"/>   | Proper signatures** <input checked="" type="checkbox"/>   | Proper signatures <input type="checkbox"/>   | Proper signatures <input type="checkbox"/>   |
| Letter(s) of authorization <input type="checkbox"/>                                    | Letter(s) of authorization*** <input checked="" type="checkbox"/>   | Letter(s) of authorization <input type="checkbox"/>                                    | Letter(s) of authorization <input type="checkbox"/>                                    |
| Land use statement <input type="checkbox"/>  | Land use statement <input checked="" type="checkbox"/>  | Land use statement <input type="checkbox"/>  | Land use statement <input type="checkbox"/>  |
| Zoning Location Maps (2) <input type="checkbox"/>                                      | Draft Conditions <input checked="" type="checkbox"/>  | Draft Conditions <input type="checkbox"/>  | Zoning Location Maps (2) <input type="checkbox"/>                                      |
| Tax Plat Maps (2) <input type="checkbox"/>   | Zoning Location Maps (2)*** <input checked="" type="checkbox"/>   | Zoning Location Maps (2) <input type="checkbox"/>                                      | Tax Plat Maps (2) <input type="checkbox"/>   |
| Correct lot & block or Metes & Bounds survey with drawing (2) <input type="checkbox"/> | Tax Plat Maps (2) <input checked="" type="checkbox"/>   | Tax Plat Maps (2) <input type="checkbox"/>   | Correct lot & block or Metes & Bounds survey with drawing (2) <input type="checkbox"/> |
| Copy of Deed <input type="checkbox"/>  | Correct lot & block or Metes & Bounds survey with drawing (2) <input checked="" type="checkbox"/>   | Correct lot & block or Metes & Bounds survey with drawing (2) <input type="checkbox"/> | Copy of Deed <input type="checkbox"/>  |
| Tax and lien statements <input type="checkbox"/>                                       | Copy of Deed <input checked="" type="checkbox"/>  | Copy of Deed <input type="checkbox"/>  | Tax and lien statements <input type="checkbox"/>                                       |
| Traffic Impact Worksheet <input type="checkbox"/>                                      | Tax and lien statements <input checked="" type="checkbox"/>   | Tax and lien statements <input type="checkbox"/>                                       | List of partners/principals/officers** <input type="checkbox"/>                        |
| Traffic impact Study or Waiver** <input type="checkbox"/>                              | Traffic Impact Worksheet <input checked="" type="checkbox"/>  | Traffic Impact Worksheet <input type="checkbox"/>                                      | Termination instrument** <input type="checkbox"/>                                      |
| List of partners/principals/officers** <input type="checkbox"/>                        | Traffic impact Study or Waiver** <input checked="" type="checkbox"/>  | Traffic impact Study or Waiver** <input type="checkbox"/>                              | New instrument** <input type="checkbox"/>  |
|  | List of partners/principals/officers** <input checked="" type="checkbox"/>  | List of partners/principals/officers** <input type="checkbox"/>                        | Copy of executed deed restrictions** <input type="checkbox"/>                          |
|  | Site Plans (10 folded) <input checked="" type="checkbox"/>  | Conceptual plans (10 folded) or Development Plans (10 folded) <input type="checkbox"/> |  |
|  | Landscape Plans (10 folded)** <input checked="" type="checkbox"/>   | Landscape Plans (10 folded)** <input type="checkbox"/>                                 |  |
|  | Tree Survey (2 folded)** <input checked="" type="checkbox"/>  | Tree Survey** <input type="checkbox"/>   |  |
|  |   | Elevation/perspectives (optional) <input type="checkbox"/>                             |  |

G15189146

\*Additional requirements may be determined as necessary prior to application acceptance. \*\* If required.

|                |  |                    |         |               |       |                 |         |
|----------------|--|--------------------|---------|---------------|-------|-----------------|---------|
| 2 year waiver: | Y <input type="checkbox"/> N <input checked="" type="checkbox"/> | Filing fee: \$     | 170.00  | Sign fee: \$  | 10.00 | Date filed:     | 11/7/01 |
| Escarpment     | Y <input type="checkbox"/> N <input checked="" type="checkbox"/> | Receipt no.        | 8769    | Receipt no.   | 8769  | Accepted by:    | SRJA    |
| Floodplain     | Y <input type="checkbox"/> N <input checked="" type="checkbox"/> | Notification area: | 200 FT. | No. of signs: | 1     | Date withdrawn: |         |

|                             |          |           |               |
|-----------------------------|----------|-----------|---------------|
| Tentative CPC Hearing Date: | Planner: | File No.: | Z189-167, ( ) |
|-----------------------------|----------|-----------|---------------|

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City of Dallas

Name: [faded]

Phone Number: 214.321.5170

Optional:

Alternate Phone Number: [faded]

Email: [faded]@texas.gov

|                                 | Number | Cost per tract | Payment Required? | Total   |
|---------------------------------|--------|----------------|-------------------|---------|
| Notes and Bound Descriptions**: | 0      | \$25.00        | 0                 | \$0.00  |
| Total:                          | 1      | N/A            | 1                 | \$12.50 |

GIS #: GIS189146

Due Date: N/A

Receipt #: N/A # 8769

Submission #: 1

Notes: 1906 Greenville Ave/La Vista Drive

SUP allowing extended hours of operation past midnight in PD 842 for a restaurant use

Lot 3 & 4 Block 1907

PLEASE SUBMIT YOUR DESCRIPTIONS ELECTRONICALLY TO [ZonMaps@dallascityhall.com](mailto:ZonMaps@dallascityhall.com)

\*Platted descriptions will be verified within one week of submission

\*\*Metes and bounds descriptions will be verified within two weeks of submission





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**LEASE AGREEMENT**  
**1904-1906 Greenville Avenue, Dallas, TX 75206**

THIS LEASE AGREEMENT (this "Lease"), dated as of January 23, 2019 (the "Effective Date"), is between Greenville Parks, L.P., a Texas limited partnership ("Landlord"), and Voicebox BDQ, LLC, a Delaware limited liability company ("Tenant"). Landlord hereby leases to Tenant and Tenant hereby leases from Landlord, the Premises (as defined below), subject to the terms set forth in this Lease.

Notwithstanding anything to the contrary contained herein, Tenant may terminate this Lease by providing written notice to Landlord on or before the date that is thirty (30) days after the Effective Date (the "Review Period"). During the Review Period, Tenant may request Landlord perform work to the Premises that is not otherwise required under the Lease. Landlord shall respond to Tenant within three (3) days of such request and indicate whether or not Landlord will agree to perform such work. If Landlord refuses to perform the requested work, Tenant shall have the right to waive its request by providing written notice to Landlord within three (3) days of Landlord's notice of refusal. If Tenant fails to provide such notice, Landlord and Tenant shall each have the right to terminate this Lease by written notice to the other party, which shall be provided no later than three (3) days after the deadline for Tenant to provide its notice of waiver.

**1. Definitions: Interpretation.**

**1.1 Definitions.** The following terms will have the following meanings in this Lease:

"**ADA**" means the Americans with Disabilities Act of 1990, as amended from time to time, or any successor statute, together with all regulations promulgated thereunder.

"**Additional Rent**" means, other than Base Rent, all amounts, costs and expenses payable by Tenant to Landlord under this Lease, including Tenant's Percentage Share of Operating Expenses and Real Estate Taxes. It is estimated that for the 2019 calendar year, Tenant's Percentage Share of (i) Operating Expenses will be Twenty-six Thousand Four Hundred Sixty-five and 00/100 Dollars (\$26,465.00) per annum, payable in monthly installments of be Two Thousand Two Hundred Five and 42/100 Dollars (\$2,205.42). Tenant understands that such above amount is estimates only. Furthermore, Tenant will not have any Claim under this Lease if such estimated amounts are different than the actual amounts payable under Section 3.2 of this Lease, other than Tenant's audit rights set forth in this Lease.

"**Affiliate**" means, with respect to any Person, any other Person that directly, or indirectly through one or more intermediaries, Controls, or is Controlled by, or is under common Control with, such Person.

"**Alteration**" means any alteration, addition or improvement in or to the Premises of any kind or nature, including Tenant's Initial Work.

"**Annual Statement**" means, for a given calendar year, a written statement which will contain a certification by an authorized representative of Tenant reporting the Gross Revenue of such calendar year and confirm that the Gross Revenue as reported has been calculated in accordance with the definition of Gross Revenue, the form of which statement must be reasonably acceptable to Landlord.

"**Applicable Interest Rate**" means the rate of fifteen percent (15%) per annum or the maximum rate of interest allowed by law, whichever is lower.

"**Bankruptcy Code**" means the Bankruptcy Code of 1978, 11 U.S.C. Section 101 et seq., as amended from time to time, or any successor statute, together with all regulations promulgated thereunder.

"**Base Rent**" means the following amounts for the following periods:

| <i>Period</i>   | <i>Annual Base Rent</i> | <i>Monthly Base Rent</i> |
|---|-------------------------|--------------------------|
| Rent Commencement Date through expiration of the 1 <sup>st</sup> Lease Year | \$98,825.00             | \$8,235.42               |
| 2 <sup>nd</sup> Lease Year  | \$101,789.75            | \$8,482.48               |
| 3 <sup>rd</sup> Lease Year  | \$104,843.44            | \$8,736.95               |
| 4 <sup>th</sup> Lease Year  | \$107,988.75            | \$8,999.06               |
| 5 <sup>th</sup> Lease Year  | \$111,228.41            | \$9,269.03               |

"**Blocked Person**" means any Person with whom U.S. Persons are restricted from doing business under regulations of the Office of Foreign Asset Control of the U.S. Department of the Treasury (including those named on its Specially Designated and Blocked Persons List) or under any statute, executive order (including the September 24, 2001, Executive Order Blocking Property and Prohibiting Transactions with Persons Who Commit, Threaten to Commit, or Support Terrorism), or other governmental statutes, regulations, orders or directives.

"**Broker(s)**" means, collectively, Jake Sherrington, SHOP Concepts, L.L.C., a Texas Limited Liability Company.

"**Building Standard**" means the type, brand, grade or quality of materials Landlord designates from time to time to be the minimum quality to be used in the Premises or, as the case may be, the exclusive type, brand, grade or quality of material to be used in the Premises.



"**Claims**" mean any claims, losses, damages, fines, penalties, demands, liabilities, costs, expenses, fees (including reasonable attorneys' fees and costs), actions, counterclaims, and obligations of any nature whatsoever.

"**Commencement Date**" means the date on which possession of the Premises is tendered by Landlord to Tenant.

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THE PARTIES have executed and delivered this Lease as of the Effective Date.

WITNESSES:


  
Print Name: Michael Farah  
  
Print Name: Michael Farah

LANDLORD:

Greenville Parks, L.P., a Texas limited partnership

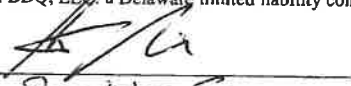
By: Skylight Parks, LLC, a Texas limited liability company, its general partner

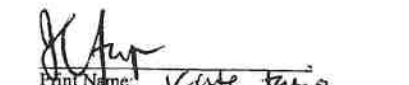
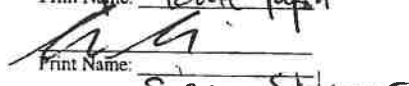
By: Michael Farah, its manager

By:   
Name: Michael Farah  
Title: Managing Director

TENANT:

Voicebox BDQ, LLC a Delaware limited liability company

By:   
Name: Scott Simons  
Title: LLC Manager

  
Print Name: Sienna Stinner  
  
Print Name: Sienna Stinner

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ELECTRONICALLY RECORDED 201600089570  
04/06/2016 11:36:58 AM DEED 1/2

Order No. 1978013886

NOTICE OF CONFIDENTIALITY RIGHTS: IF YOU ARE A NATURAL PERSON, YOU MAY REMOVE OR STRIKE ANY OR ALL OF THE FOLLOWING INFORMATION FROM ANY INSTRUMENT THAT TRANSFERS AN INTEREST IN REAL PROPERTY BEFORE IT IS FILED FOR RECORD IN THE PUBLIC RECORDS: YOUR SOCIAL SECURITY NUMBER OR YOUR DRIVER'S LICENSE NUMBER.

**GENERAL WARRANTY DEED**  
**(Cash)**

THE STATE OF TEXAS           §  
  §           KNOW ALL MEN BY THESE PRESENTS:  
COUNTY OF DALLAS           §

THAT THE UNDERSIGNED, Victor Galanis as the Attorney-in-Fact for Fotini Galanis, hereinafter referred to as "Grantor," whether one or more, for and in consideration of the sum of TEN DOLLARS (\$10.00) cash, and other good and valuable consideration in hand paid by the Grantee, herein named, the receipt and sufficiency of which is hereby fully acknowledged and confessed, has GRANTED, SOLD and CONVEYED, and by these presents does hereby GRANT, SELL and CONVEY Greenville Parks, L.P., a Texas limited partnership, herein referred to as "Grantee," whether one or more, the real property described as follows:

LOTS 3 and 4, BLOCK 1907 OF EUREKA ADDITION, an Addition to the City of Dallas, Texas, according to the Map thereof recorded in Volume 2, Page 187, Map Records, Dallas County, Texas; SAVE AND EXCEPT: That portion conveyed to the City of Dallas for street purposes in instrument dated September 29, 1051, recorded in Volume 3578, Page 120, Deed Records, Dallas County, Texas, commonly known as 1904 Greenville Ave., Dallas, Texas.

This conveyance, however, is made and accepted subject to any and all validly existing encumbrances, conditions and restrictions, relating to the hereinabove described property as now reflected by the records of the County Clerk of DALLAS County, Texas.

TO HAVE AND TO HOLD the above described premises, together with all the rights and appurtenances lawfully accompanying it, by the Grantee, Grantee's heirs, executors, administrators, successors and/or assigns forever; and Grantor does hereby bind Grantor, Grantor's heirs, executors, administrators, successors and/or assigns to WARRANT AND FOREVER DEFEND all the said premises unto the said Grantee, Grantee's heirs, executors, administrators, successors and/or assigns, against every person whomsoever claiming or to claim the same or any part thereof.

Current ad valorem taxes on said property having been prorated, the payment thereof is assumed by Grantee.

*Remainder of page intentionally left blank; signature page to follow*

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EXECUTED this date: April 4, 2016.

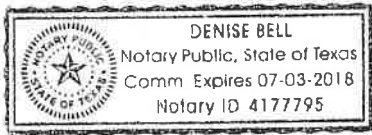
By: Victor Galanis as the Attorney-in-Fact for Fotini Galanis

ACKNOWLEDGMENT

STATE OF TEXAS

COUNTY OF DALLAS

This instrument was acknowledged before me on the 4th day of April, 2016, by Victor Galanis as the Attorney-in-Fact for Fotini Galanis.



(Seal)

Notary Public, State of TEXAS  
Notary's name (printed):  
Notary's commission expires:

Filed and Recorded  
Official Public Records  
John F. Warren, County Clerk  
Dallas County, TEXAS  
04/06/2016 11:36:58 AM  
\$30.00  
201600089570

Grantee Address:  
P.O. Box 181811  
Arlington, TX 76096





TAX CERTIFICATE

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18

JOHN R. AMES, CTA  
DALLAS COUNTY TAX ASSESSOR/COLLECTOR  
1201 Elm Street, Suite 2600  
Dallas, Texas 75270

Issued To:

GREENVILLE PARKS LP  
P O BOX 181811  
ARLINGTON, TX 76096-1811

Legal Description

EUREKA ADDN  
BLK 1907 LOTS 3 & 4  
INT201600089570 DD04042016 CO-DC  
1907 000 00300 1001907 000

**Parcel Address:** 1904 GREENVILLE AVE, DA

**Legal Acres:** .0000

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**Account Number:** 000-001-848-73000000

**Certificate No:** 91563  
**Certificate Fee:** \$10.00

**Print Date:** 12/14/2018  
**Paid Date:** 12/14/2018  
**Issue Date:** 12/14/2018  
**Operator ID:** SANDRA\_LOPEZ

TAX CERTIFICATES ARE ISSUED WITH THE MOST CURRENT INFORMATION AVAILABLE. ALL ACCOUNTS ARE SUBJECT TO CHANGE PER SECTION 26.15 AND 11.43(i) OF THE TEXAS PROPERTY TAX CODE. THIS IS TO CERTIFY THAT ALL TAXES DUE ON THE ABOVE DESCRIBED PROPERTY HAVE BEEN EXAMINED, UP TO AND INCLUDING THE YEAR 2018. THE FOLLOWING YEARS ARE UNPAID: 2018

Exemptions:

Certified Owner:

GREENVILLE PARKS LP  
P O BOX 181811  
ARLINGTON, TX 76096-1811

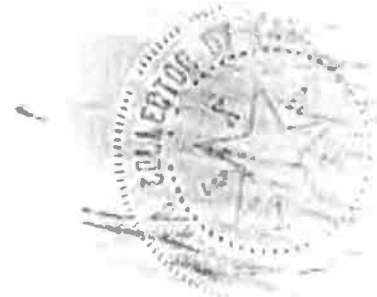
|                                 |             |
|---------------------------------|-------------|
| <b>2018 Value:</b>              | 379.500     |
| <b>2018 Levy:</b>               | \$10,797.66 |
| <b>2018 Levy Balance:</b>       | \$10,797.66 |
| <b>Prior Year Levy Balance:</b> | \$0.00      |
| <b>Total Levy Due:</b>          | \$10,797.66 |
| <b>P&amp;I + Attorney Fee:</b>  | \$0.00      |
| <b>Total Amount Due:</b>        | \$10,797.66 |

Certified Tax Unit(s):

1002 DALLAS COUNTY  
1021 PARKLAND HOSPITAL  
1031 DALLAS COUNTY COMMUNITY COLI  
1041 SCHOOL EQUALIZATION  
1102 DALLAS ISD  
1208 CITY OF DALLAS

**Reference (GF) No:** N/A

**Issued By:** *JA*  
JOHN R. AMES, CTA  
DALLAS COUNTY TAX ASSESSOR/COLLECTOR



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19



CITY OF DALLAS

December 14, 2018

ADDRESS: 1904 Greenville Avenue – Dallas, Texas 75206

RE: **Commercial Account: 000000184873000000**

DEAR SIR/MADAM

No information was found responsive to your request for identification of City liens in the records of Special Collections. This response does not constitute legal advice regarding the status of the real property 1904 Greenville Avenue – Dallas, Texas 75206. There may be additional liens of record in the County Clerk's office. This response is made to your request for public information and constitutes neither estoppel against the City of Dallas nor relinquishment, waiver, release, or other change in any lien interest of record.

Should you have any further questions please contact [DLDWULienInfo@DallasCityHall.com](mailto:DLDWULienInfo@DallasCityHall.com)

Sincerely,

A handwritten signature in cursive script, appearing to read "M. A. Salguero".

Special Collections Division  
Dallas Water Utilities

DUPLICATE TAX RECEIPT

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Attach C

20



JOHN R. AMES, CTA  
DALLAS COUNTY TAX ASSESSOR/COLLECTOR  
1201 Elm Street, Suite 2600  
Dallas, Texas 75270

Voicebox-LH

Certified Owner:

GREENVILLE PARKS LP  
P O BOX 181811  
ARLINGTON, TX 76096-1811

Legal Description:

EUREKA ADDN  
BLK 1907 LOTS 3 & 4  
INT201600089570 DD04042016 CO-DC  
1907 000 00300 1001907 000  
Parcel Address: 1904 GREENVILLE AVE, DA  
Legal Acres: 0.0000

Deposit No: X0137068  
Validation No: 900002028503856  
Account No: 000-001-848-73000000  
Operator Code: SANDRA\_LOPEZ

Remit Seq No: 2017652214  
Receipt Date: 12/14/2018  
Deposit Date: 12/14/2018  
Print Date: 12/14/2018 02:48 PM  
Printed By: SANDRA\_LOPEZ

| Year | Tax Unit Name    | Rec Type | Tax Value | Tax Rate | Levy Paid | P&I    | Coll Fee Paid | Total   |
|------|------------------|----------|-----------|----------|-----------|--------|---------------|---------|
| 2018 | Tax Certificates | TL       | 0         | 0.000000 | 10.00     | 0.00   | 0.00          | 10.00   |
|      |                  |          |           |          | \$10.00   | \$0.00 | \$0.00        | \$10.00 |

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Check Number(s):  
6101

PAYMENT TYPE: PARTIAL PAYMENT

Checks: \$10.00

Exemptions on this property:

Total Applied: \$10.00

Change Paid: \$0.00

PAYER:  
GREENVILLE PARKS LP  
P O BOX 181811  
ARLINGTON, TX 76096-1811

CURRENT YEAR TOTAL IS \$10,797.66  
TOTAL DUE AS OF 12/14/2018 IS \$10,797.66

Dallas County, TEXAS  
 1201 Elm Street  
 22nd Floor  
 Dallas, TX 75270  
 Phone: (214) 653-7099



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John F Warren, County Clerk

Receipt for Services

Voicebox-LH

|               |   |         |            |
|---------------|---|---------|------------|
| Cashier       | DBOGLE  | Batch # | 2636751    |
| Customer Name | WEST HOBLIT<br>900 JACKSON ST STE 640<br>DALLAS, TX 75202 | Date:   | 12/14/2018 |
|               |   | Time:   | 02:43:27PM |

| Date  | Instrument No | Document Type | Transaction Type | GFNumber       | Fee Amount | Pg    |
|-------|---------------|---------------|------------------|----------------|------------|-------|
|       |               | PLAIN COPY    | ALL              |                | \$2.00     |       |
|       |               | CY            | Copy             |                |            | 2.00  |
|       |               | PLATCOPY      | ALL              |                | \$6.00     |       |
|       |               | MAP           | MAP/PLAT COPY    |                |            | 6.00  |
|       |               | CERT W/COPY   | ALL              |                | \$5.00     |       |
|       |               | CC            | Certified Copy   |                |            | 5.00  |
|       |               | Fee Total:    |                  |                | \$13.00    |       |
| CHECK | 6102          |               |                  |                |            | 13.00 |
|       |               |               |                  | Payment Total: |            | 13.00 |

**CITY OF DALLAS  
TEXAS**

**No 8769**

**SUSTAINABLE DEVELOPMENT & CONSTRUCTION  
CURRENT PLANNING**

*Voic'e box!  
Late hour*

**RECEIPT**

*Dalclay Corporation / Masterplan*

**NAME**

*900 Jackson St. Ste 640*

**ADDRESS**

*TX 75202*

**CITY**

*Dallas*

**STATE**

**ZIP**

**DATE**

*1/7/19*

| UNITS | ITEM                         | CODE | RATE | TOTAL          |
|-------|------------------------------|------|------|----------------|
|       | <i>SUP</i>                   |      |      | <i>1170.00</i> |
|       | <i>ENS1891146 Z-189-1657</i> |      |      | <i>12.50</i>   |
|       | <i>Sign Fee</i>              |      |      | <i>10.00</i>   |
|       |                              |      |      |                |
|       |                              |      |      |                |
|       |                              |      |      |                |
|       |                              |      |      |                |

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# Check

| Processing Date | Activity Date | Account    | Check Number | Amount     |
|-----------------|---------------|------------|--------------|------------|
| 01/15/2019      | 01/15/2019    | AAA - 4218 | 6140         | \$1,192.50 |

### Front of Check

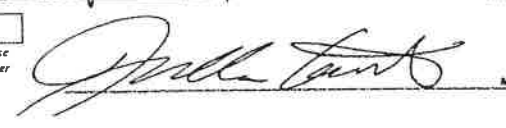
**DALCLAY CORPORATION**  
**MASTERPLAN**  
**FOUNDERS SQUARE**  
 900 JACKSON ST. STE 640  
 DALLAS, TX 75202

Morgan Stanley 6140  
 25-80/440

DATE 1-7-2019

PAY TO THE ORDER OF City of Dallas \$ 1,192.50  
one thousand one hundred and ninety-two <sup>50/100</sup> DOLLARS

FOR SUP Application

Expense Analyzer 

⑈006140⑈

### Back of Check

000110  
 DALLAS 20190114 00531 00197

Security Features exceed industry standards and include:  
 - Watermark  
 - Microprint  
 - Color-shifting ink  
 - Security thread  
 - Laser security features

Do not remove:  
 - Security thread  
 - Microprint  
 - Color-shifting ink  
 - Laser security features

FOR DEPOSIT ONLY  
 BANK OF AMERICA, N.A.  
 CITY OF DALLAS  
 CH/DEV-P/ANNING-58/NILE DEPOSIT  
 TELLER ID  
 DO NOT WRITE BELOW THIS LINE  
 004810624892  
 DEPT. N.C. 144

ENDORSE HERE

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24

# Check

| Processing Date | Activity Date | Account    | Check Number | Amount  |
|-----------------|---------------|------------|--------------|---------|
| 12/20/2018      | 12/20/2018    | AAA - 4218 | 6102         | \$13.00 |

## Front of Check

DALCLAY CORPORATION  
 MASTERPLAN  
 FOUNDERS SQUARE  
 900 JACKSON ST. STE 640  
 DALLAS, TX 75202

Morgan Stanley 6102  
 25-80/440

DATE 12-14-2018

PAY TO THE ORDER OF Dallas County - John F. Warren - County Clerk \$ 13.00

Thirteen and 0/100 DOLLARS

UNB Bank, N.A.  
 Kansas City, MO 64104  
 1-800-415-3442

FOR Deed + tax plats

Expense Analyst

*Karl R. [Signature]*

⑈006⑆02⑈

## Back of Check

00020977 00000131.TIF 12/19/2018

00020977 00000158 12 19 2018

For Deposit Only  
 Dallas County Clerk's Office  
 Recording Department  
 Account Number: 05037005235  
 Receipt# 2536751  
 Amount: 13.00

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# Check

| Processing Date | Activity Date | Account    | Check Number | Amount  |
|-----------------|---------------|------------|--------------|---------|
| 12/18/2018      | 12/18/2018    | AAA - 4218 | 6101         | \$10.00 |

### Front of Check

**DALCLAY CORPORATION**  
**MASTERPLAN**  
**FOUNDERS SQUARE**  
 900 JACKSON ST. STE 640  
 DALLAS, TX 75202

Morgan Stanley 6101  
25-80/440

DATE 12-14-2018

PAY TO THE ORDER OF Dallas County - John R. Ames, CTA \$ 10.00

Ten and <sup>00</sup>/<sub>100</sub> DOLLARS

FOR Tax certificate

UMH Bank, N.A.  
 Kansas City, MO 64106  
 1-800-448-3422

Expense Analyzer

*Kathleen*

⑈00610⑈

### Back of Check

341000804 006101

3902050205716

DALCLAY CORPORATION

Security Features of this check include:

- Image of the issuer's logo and check number on back
- Microprint lines
- Security Window - pattern on back designed to deter fraud
- Microprint lines printed on front and back
- The words "ORIGINAL DOCUMENT" across the back
- Photo Safe Deposit - icon visible on front and back

Do not cash if:

- Any of the features listed above are missing or appear altered
- Fugitive ink on back looks pink or has disappeared
- Brown stains or colored spots appear on both front and back, and in Chemical Waste Detection Box

⑈00610⑈

ENDORSE HERE

CHECK HERE IF MOBILE DEPOSIT

DO NOT WRITE, STAMP OR SIGN BELOW THIS LINE

RISK RATED FOR FINANCIAL INSTITUTION USE



055

Attach C

26

## BOA HEARING

June 19, 2019

1904/6 Greenville Ave

ADA 189-055

Attach A

4

055

Attach C

27

Greenville Parks, LP

May 10, 2017

City of Dallas  
(Zoning Section)  
320 E. Jefferson Room 115  
Dallas, TX 75203

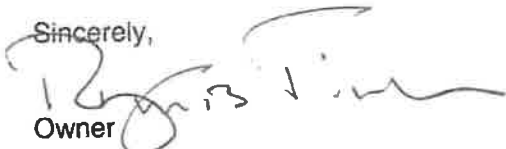
RE: Land Use Statement for 1906 Greenville Ave.

Greenville Event Center is intended to utilize this property as an inside commercial amusement for corporate office meetings, wedding receptions, reunions, holiday gatherings, gala dinners for private events/banquets.

There will be no alcohol nor food prep at the location, food will not be catered in for events, if any food is to be provided it will be provided by the person who rents the space. This location will have a refrigerator but will not have any cooking equipment. We will not be selling any products.

The location will be open for customers by appointment only 7 days a week, Monday thru Sunday, hours of operation varies base upon rental use. Hours are from 8:00 a.m. to 12:00 a.m. the building will have to be cleaned and everyone out by midnight.

Sincerely,



Owner

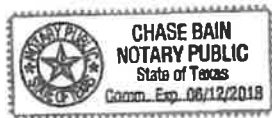
STATE OF TEXAS

COUNTY OF DALLAS

BEFORE ME, the undersigned Notary Public, on this day personally appeared

Ryan Brandon Tinch, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein expressed, and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this is the 16<sup>th</sup> day of May, 2017.



Chase Bain

Notary Public in and for the State of Texas

1904/06 Greenville Avenue  
Google Street Views 2017-2019

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Attor C  
28

February 2017



June 2018



August 2018



December 2018



March 2019



April 2019



055  
Attach C

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CITY OF DALLAS

**Building Inspection**  
320 E. Jefferson, Rm #118  
214-948-4480

Date: 8/30/2018 9:14 AM      Office: BIOC  
Batch: 11433                      Trans: 4  
Cashier: alonzo rose      Mach: DEV-DSK-JOJ4

Receipt Number : 00458510  
File Number : 1808300005  
Payment Type : 0520 BI MISCELLANEOUS

0565 MISCELLANEOUS                      \$30.00  
-----  
Payment Total:                              \$30.00

-----  
Transaction Total:                      \$30.00  
CHECK Tendered:                      \$30.00

Thank you for your payment.  
Have a nice day!



055  
Attach C  
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December 4, 2018

Mr. Kris Sweckard, Director  
Sustainable Development and Construction Services  
Dallas City Hall  
Dallas, Texas 75201

RE: SUP – 1906 Greenville Ave.

Dear Mr. Sweckard:

The undersigned owner hereby authorizes MASTERPLAN to represent the undersigned in all matters regarding a zoning change for the property described above.

Owner: \_\_\_\_\_

By: \_\_\_\_\_  
*(Name and Title of Person Signing for Entity)*

Before me, the undersigned authority, on this day personally appeared \_\_\_\_\_,

of \_\_\_\_\_, known to me to be the person  
(Name of entity)

whose name is subscribed to this letter, and acknowledged to me that he executed the same for the purposes and consideration therein expressed, in the capacity therein stated as the act and deed of said corporation.

Given under my hand and seal of office on this \_\_\_\_\_ day of \_\_\_\_\_,  
\_\_\_\_\_.

\_\_\_\_\_  
Notary Public, State of Texas

My commission expires \_\_\_\_\_

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Pre-Paid Rent. Equal to the first month's rent plus estimated NNNs.

25. Confidentiality. Landlord will not disclose the existence of this letter of intent or the proposed transaction described herein until such time as the Lease has been executed and delivered or upon receipt of written notification that negotiations have been terminated by either party.

26. Real Estate Fees. Any real estate fees will be the sole responsibility of Landlord. The specifics of said consulting fee shall be covered in a separate agreement. Tenant is unaware of any real estate consultants involved in this transaction other than SHOP Companies.

27. Lease Agreement. Following the execution of this letter of intent, Landlord will provide a lease agreement setting forth the terms and conditions upon which the Premises will be leased ("Lease").

LEASE SHALL BE EXECUTED BY BOTH PARTIES BY DECEMBER 3, 2018

29. Conditions. The Lease will state that the foregoing is subject to satisfying the following conditions:

- a) TABC License: Tenant has 90 days to obtain a TABC Permit for an on-premise consumption. Tenant shall have the right to exercise a 30day extension for this condition upon submitting written notice & evidence of pending approval to Landlord. This time period shall run simultaneous with the time period prior to Tenant's rent commencement.

Financial Contingency: Lease is subject to Landlord's review and approval of Tenant's and Guarantor's financial information.

30. Non-binding. This letter serves as an outline of the proposed basic business terms and conditions and is non-binding on either party. Neither party shall be legally bound unless and until a formal lease document shall be executed and delivered by both parties. Landlord and Tenant each acknowledge and agree that each party is proceeding with negotiations relating to the proposed lease at its sole cost and expense and that either party may terminate negotiations at any time and for any reason without any liability or obligation.

If you would like to pursue negotiations based upon the terms and conditions set forth above, please so indicate by executing the signatory below and returning this letter to my attention within ten (10) business days.

Thank you for your interest in Voicebox as a prospective tenant.

Sincerely,



Scott Simon - CEO  
Voicebox Inc

Agreed and approved as of 10. 30, 2018

SKYLIGHT PARKS, LLC IN ITS CAPACITY AS GP  
OF GREENVILLE PARKS, LP

By: [Handwritten Signature]

Its: PRESIDENT

055  
Article C  
33

**LEASE AGREEMENT**  
**1904-1906 Greenville Avenue, Dallas, TX 75206**

THIS LEASE AGREEMENT (this "Lease"), dated as of January 23, 2019 (the "Effective Date"), is between Greenville Parks, L.P., a Texas limited partnership ("Landlord"), and Voicebox BDQ, LLC, a Delaware limited liability company ("Tenant"). Landlord hereby leases to Tenant and Tenant hereby leases from Landlord, the Premises (as defined below), subject to the terms set forth in this Lease.

Notwithstanding anything to the contrary contained herein, Tenant may terminate this Lease by providing written notice to Landlord on or before the date that is thirty (30) days after the Effective Date (the "Review Period"). During the Review Period, Tenant may request Landlord perform work to the Premises that is not otherwise required under the Lease. Landlord shall respond to Tenant within three (3) days of such request and indicate whether or not Landlord will agree to perform such work. If Landlord refuses to perform the requested work, Tenant shall have the right to waive its request by providing written notice to Landlord within three (3) days of Landlord's notice of refusal. If Tenant fails to provide such notice, Landlord and Tenant shall each have the right to terminate this Lease by written notice to the other party, which shall be provided no later than three (3) days after the deadline for Tenant to provide its notice of waiver.

**1. Definitions; Interpretation.**

**1.1 Definitions.** The following terms will have the following meanings in this Lease:

"ADA" means the Americans with Disabilities Act of 1990, as amended from time to time, or any successor statute, together with all regulations promulgated thereunder.

"Additional Rent" means, other than Base Rent, all amounts, costs and expenses payable by Tenant to Landlord under this Lease, including Tenant's Percentage Share of Operating Expenses and Real Estate Taxes. It is estimated that for the 2019 calendar year, Tenant's Percentage Share of (i) Operating Expenses will be Twenty-six Thousand Four Hundred Sixty-five and 00/100 Dollars (\$26,465.00) per annum, payable in monthly installments of be Two Thousand Two Hundred Five and 42/100 Dollars (\$2,205.42). Tenant understands that such above amount is estimates only. Furthermore, Tenant will not have any Claim under this Lease if such estimated amounts are different than the actual amounts payable under Section 3.2 of this Lease, other than Tenant's audit rights set forth in this Lease.

"Affiliate" means, with respect to any Person, any other Person that directly, or indirectly through one or more intermediaries, Controls, or is Controlled by, or is under common Control with, such Person.

"Alteration" means any alteration, addition or improvement in or to the Premises of any kind or nature, including Tenant's Initial Work.

"Annual Statement" means, for a given calendar year, a written statement which will contain a certification by an authorized representative of Tenant reporting the Gross Revenue of such calendar year and confirm that the Gross Revenue as reported has been calculated in accordance with the definition of Gross Revenue, the form of which statement must be reasonably acceptable to Landlord.

"Applicable Interest Rate" means the rate of fifteen percent (15%) per annum or the maximum rate of interest allowed by law, whichever is lower.

"Bankruptcy Code" means the Bankruptcy Code of 1978, 11 U.S.C. Section 101 et seq., as amended from time to time, or any successor statute, together with all regulations promulgated thereunder.

"Base Rent" means the following amounts for the following periods:

| Period  | Annual Base Rent | Monthly Base Rent |
|---|------------------|-------------------|
| Rent Commencement Date through expiration of the 1 <sup>st</sup> Lease Year | \$98,825.00      | \$8,235.42        |
| 2 <sup>nd</sup> Lease Year  | \$101,789.75     | \$8,482.48        |
| 3 <sup>rd</sup> Lease Year  | \$104,843.44     | \$8,736.95        |
| 4 <sup>th</sup> Lease Year  | \$107,988.75     | \$8,999.06        |
| 5 <sup>th</sup> Lease Year  | \$111,228.41     | \$9,269.03        |

"Blocked Person" means any Person with whom U.S. Persons are restricted from doing business under regulations of the Office of Foreign Asset Control of the U.S. Department of the Treasury (including those named on its Specially Designated and Blocked Persons List) or under any statute, executive order (including the September 24, 2001, Executive Order Blocking Property and Prohibiting Transactions with Persons Who Commit, Threaten to Commit, or Support Terrorism), or other governmental statutes, regulations, orders or directives.

"Broker(s)" means, collectively, Jake Sherrington, SHOP Concepts, L.L.C., a Texas Limited Liability Company.

"Building Standard" means the type, brand, grade or quality of materials Landlord designates from time to time to be the minimum quality to be used in the Premises or, as the case may be, the exclusive type, brand, grade or quality of material to be used in the Premises.

"Claims" mean any claims, losses, damages, fines, penalties, demands, liabilities, costs, expenses, fees (including reasonable attorneys' fees and costs), actions, counterclaims, and obligations of any nature whatsoever.

"Commencement Date" means the date on which possession of the Premises is tendered by Landlord to Tenant.

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- (c) Landlord's costs of electricity and other services sold or provided to tenants in the Premises for which Landlord is reimbursed as a separate additional charge over and above the basic rent or escalation payment payable under the lease with such tenant.
- (d) Depreciation of the Premises.
- (e) Amounts paid to subsidiaries or other affiliates of Landlord (i.e., persons or companies controlled by, under common control with, or which control, Landlord) for services in or to the Building, the land on which it is situated or the Premises (or any portion of any of the foregoing) to the extent only that the cost of such services exceeds the competitive cost of such services were they not so rendered by a subsidiary or other affiliate of Landlord.
- (f) Payments of principal, interest, late fees, prepayment fees or other charges on any debt secured by a mortgage or mortgages covering the Premises, or rental payments under any ground or underlying lease or leases (except to the extent allocable to the payment of real property taxes).
- (g) Landlord's general administrative overhead expenses for services not specifically performed for the Premises, or salaries of any officer or employee of Landlord (or any subsidiary or affiliate of Landlord) above the level of Premises manager.
- (h) Any compensation paid to clerks, attendants, or other persons in commercial concessions operated by Landlord at a profit, excluding concierge services.
- (i) Advertising and promotional expenditures.
- (j) Any costs, fines, or penalties incurred due to violations by Landlord of any governmental rule or authority.
- (k) Costs and expenses of the original design and construction of the Premises.

"Partial Damage" means damage or destruction to the improvements to the Premises, to the extent that the cost to repair such damage or destruction is less than fifty percent (50%) of the replacement cost of the improvements in the Premises immediately prior to such damage or destruction.

"Partial Taking" means any Taking of less than all of the Premises.

"Payment Conditions" means, collectively, the following conditions as of the submittal date of the Payment Request, and as of the date that payment would otherwise be due thereunder: (i) there shall be no Event of Default under this Lease, or any event which, with the giving of notice or the passage of time or both, would otherwise constitute an Event of Default under this Lease, and (ii) Tenant shall be open for business within the Premises for the Permitted Use.

"Payment Request" means a written request from Tenant to Landlord pursuant to which Tenant requests Landlord to advance the Tenant Improvement Allowance under Section 52 of this Lease. The Payment Request shall include the following: (i) evidence that (a) Tenant has invested no less than Five Hundred Thousand and 00/100 Dollars (\$500,000.00) in Minimum Improvements, and (b) the portion of Tenant's Initial Work for which Tenant is requesting disbursement was constructed and installed in the Premises in accordance with the Plans approved by Landlord and in accordance with all applicable Governmental Requirements; (ii) with respect to the final disbursement of the Tenant Improvement Allowance, a copy of a certificate of occupancy (which may be a temporary certificate of occupancy) for the Premises issued by the City of Dallas; (iii) a contractor's affidavit and a conditional release of lien from Tenant's general contractor for the portion of Tenant's Initial Work for which Tenant is requesting reimbursement and an unconditional release of lien from Tenant's general contractor for portions of Tenant's Initial Work for which Tenant has already paid; and (iv) conditional releases of lien from Tenant's each subcontractor performing work in excess of \$10,000 for the portion of Tenant's Initial Work for which Tenant is requesting reimbursement and unconditional releases of lien from each subcontractor performing work in excess of \$10,000 for portions of Tenant's Initial Work for which Tenant has already paid.

"Percentage Rent" means an amount per Lease Year equal to six percent (6.00%) of Tenant's Gross Revenue made in the Premises during each Lease Year (or partial Lease Year) in excess of the Natural Breakpoint.

"Permitted Trade Name" means Voicebox Karaoke. Landlord makes no representation or warranty of any nature whatsoever as to whether Tenant has the legal right to use the Permitted Trade Name. Tenant shall not have any Claims against Landlord or any offsets or defenses of any nature whatsoever with respect to any of its obligations under this Lease if Tenant is prohibited by Governmental Requirements, legal process or otherwise from using the Permitted Trade Name.

"Permitted Use" means, the operation of a first class business actively engaged in karaoke entertainment, casual food offerings, and the serving of alcoholic beverages for on-premise consumption and incidental merchandising.

"Person" means any person, corporation, partnership, limited liability company or other legal entity.

"Plans" means a permit set (final construction drawings) of plans and specifications for any Alterations (including Tenant's Initial Work), prepared by a licensed architect and/or a licensed professional engineer, as the case may be.

"Premises" means the property located at 1904-1906 Greenville Avenue, Dallas, Dallas County, Texas 75206, as of the Effective Date, as more particularly shown on Exhibit B attached to this Lease. Landlord and Tenant agree that, for the purposes of all calculations under this Lease, the rentable square footage of the Premises will be deemed to be 3,350 rentable square feet, and that there will be no re-measurement of such square footage or adjustment of any amount calculated upon such square footage.

"Prepaid Rent" means the amount of Ten Thousand Four Hundred Forty and 84/100 Dollars (\$10,440.84).

"Prohibited Use" means any exclusive or prohibited use set forth on Exhibit C attached to this Lease.

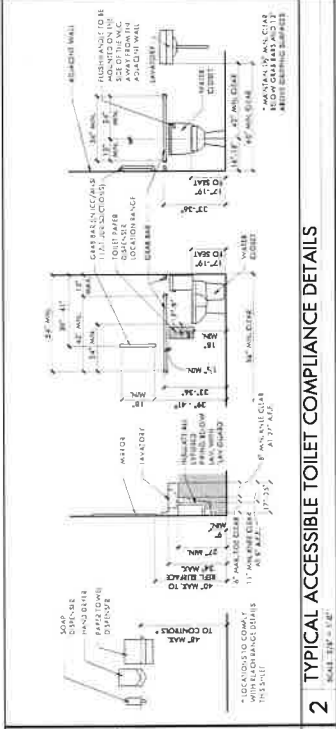
"REA" means, collectively, any and all construction, operation and/or reciprocal easement agreements, declarations of covenants and restrictions, easements and easement agreements, and other matters of record now or hereafter encumbering, affecting and/or benefiting the Premises, all as same may be modified, amended, supplemented, and/or amended and restated from time to time.

# VOICEBOX

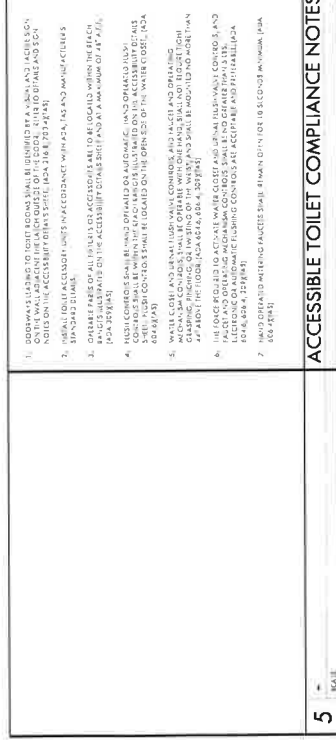
1906 GREENVILLE AVENUE  
DALLAS, TX

|     |          |                    |
|-----|----------|--------------------|
| NO. | DATE     | DESCRIPTION        |
| 1   | 10/15/14 | ISSUED FOR BIDDING |
| 2   | 10/22/14 | ADDENDUM NO. 1     |
| 3   | 11/05/14 | ADDENDUM NO. 2     |
| 4   | 11/19/14 | ADDENDUM NO. 3     |
| 5   | 12/02/14 | ADDENDUM NO. 4     |
| 6   | 12/16/14 | ADDENDUM NO. 5     |
| 7   | 01/06/15 | ADDENDUM NO. 6     |
| 8   | 01/20/15 | ADDENDUM NO. 7     |
| 9   | 02/03/15 | ADDENDUM NO. 8     |
| 10  | 02/17/15 | ADDENDUM NO. 9     |
| 11  | 03/03/15 | ADDENDUM NO. 10    |
| 12  | 03/17/15 | ADDENDUM NO. 11    |
| 13  | 03/31/15 | ADDENDUM NO. 12    |
| 14  | 04/14/15 | ADDENDUM NO. 13    |
| 15  | 04/28/15 | ADDENDUM NO. 14    |
| 16  | 05/12/15 | ADDENDUM NO. 15    |
| 17  | 05/26/15 | ADDENDUM NO. 16    |
| 18  | 06/09/15 | ADDENDUM NO. 17    |
| 19  | 06/23/15 | ADDENDUM NO. 18    |
| 20  | 07/07/15 | ADDENDUM NO. 19    |
| 21  | 07/21/15 | ADDENDUM NO. 20    |
| 22  | 08/04/15 | ADDENDUM NO. 21    |
| 23  | 08/18/15 | ADDENDUM NO. 22    |
| 24  | 09/01/15 | ADDENDUM NO. 23    |
| 25  | 09/15/15 | ADDENDUM NO. 24    |
| 26  | 09/29/15 | ADDENDUM NO. 25    |
| 27  | 10/13/15 | ADDENDUM NO. 26    |
| 28  | 10/27/15 | ADDENDUM NO. 27    |
| 29  | 11/10/15 | ADDENDUM NO. 28    |
| 30  | 11/24/15 | ADDENDUM NO. 29    |
| 31  | 12/08/15 | ADDENDUM NO. 30    |
| 32  | 12/22/15 | ADDENDUM NO. 31    |
| 33  | 01/05/16 | ADDENDUM NO. 32    |
| 34  | 01/19/16 | ADDENDUM NO. 33    |
| 35  | 02/02/16 | ADDENDUM NO. 34    |
| 36  | 02/16/16 | ADDENDUM NO. 35    |
| 37  | 02/29/16 | ADDENDUM NO. 36    |
| 38  | 03/13/16 | ADDENDUM NO. 37    |
| 39  | 03/27/16 | ADDENDUM NO. 38    |
| 40  | 04/10/16 | ADDENDUM NO. 39    |
| 41  | 04/24/16 | ADDENDUM NO. 40    |
| 42  | 05/08/16 | ADDENDUM NO. 41    |
| 43  | 05/22/16 | ADDENDUM NO. 42    |
| 44  | 06/05/16 | ADDENDUM NO. 43    |
| 45  | 06/19/16 | ADDENDUM NO. 44    |
| 46  | 07/03/16 | ADDENDUM NO. 45    |
| 47  | 07/17/16 | ADDENDUM NO. 46    |
| 48  | 07/31/16 | ADDENDUM NO. 47    |
| 49  | 08/14/16 | ADDENDUM NO. 48    |
| 50  | 08/28/16 | ADDENDUM NO. 49    |
| 51  | 09/11/16 | ADDENDUM NO. 50    |
| 52  | 09/25/16 | ADDENDUM NO. 51    |
| 53  | 10/09/16 | ADDENDUM NO. 52    |
| 54  | 10/23/16 | ADDENDUM NO. 53    |
| 55  | 11/06/16 | ADDENDUM NO. 54    |
| 56  | 11/20/16 | ADDENDUM NO. 55    |
| 57  | 12/04/16 | ADDENDUM NO. 56    |
| 58  | 12/18/16 | ADDENDUM NO. 57    |
| 59  | 01/01/17 | ADDENDUM NO. 58    |
| 60  | 01/15/17 | ADDENDUM NO. 59    |
| 61  | 01/29/17 | ADDENDUM NO. 60    |
| 62  | 02/12/17 | ADDENDUM NO. 61    |
| 63  | 02/26/17 | ADDENDUM NO. 62    |
| 64  | 03/12/17 | ADDENDUM NO. 63    |
| 65  | 03/26/17 | ADDENDUM NO. 64    |
| 66  | 04/09/17 | ADDENDUM NO. 65    |
| 67  | 04/23/17 | ADDENDUM NO. 66    |
| 68  | 05/07/17 | ADDENDUM NO. 67    |
| 69  | 05/21/17 | ADDENDUM NO. 68    |
| 70  | 06/04/17 | ADDENDUM NO. 69    |
| 71  | 06/18/17 | ADDENDUM NO. 70    |
| 72  | 07/02/17 | ADDENDUM NO. 71    |
| 73  | 07/16/17 | ADDENDUM NO. 72    |
| 74  | 07/30/17 | ADDENDUM NO. 73    |
| 75  | 08/13/17 | ADDENDUM NO. 74    |
| 76  | 08/27/17 | ADDENDUM NO. 75    |
| 77  | 09/10/17 | ADDENDUM NO. 76    |
| 78  | 09/24/17 | ADDENDUM NO. 77    |
| 79  | 10/08/17 | ADDENDUM NO. 78    |
| 80  | 10/22/17 | ADDENDUM NO. 79    |
| 81  | 11/05/17 | ADDENDUM NO. 80    |
| 82  | 11/19/17 | ADDENDUM NO. 81    |
| 83  | 12/03/17 | ADDENDUM NO. 82    |
| 84  | 12/17/17 | ADDENDUM NO. 83    |
| 85  | 01/07/18 | ADDENDUM NO. 84    |
| 86  | 01/21/18 | ADDENDUM NO. 85    |
| 87  | 02/04/18 | ADDENDUM NO. 86    |
| 88  | 02/18/18 | ADDENDUM NO. 87    |
| 89  | 03/04/18 | ADDENDUM NO. 88    |
| 90  | 03/18/18 | ADDENDUM NO. 89    |
| 91  | 04/01/18 | ADDENDUM NO. 90    |
| 92  | 04/15/18 | ADDENDUM NO. 91    |
| 93  | 04/29/18 | ADDENDUM NO. 92    |
| 94  | 05/13/18 | ADDENDUM NO. 93    |
| 95  | 05/27/18 | ADDENDUM NO. 94    |
| 96  | 06/10/18 | ADDENDUM NO. 95    |
| 97  | 06/24/18 | ADDENDUM NO. 96    |
| 98  | 07/08/18 | ADDENDUM NO. 97    |
| 99  | 07/22/18 | ADDENDUM NO. 98    |
| 100 | 08/05/18 | ADDENDUM NO. 99    |
| 101 | 08/19/18 | ADDENDUM NO. 100   |
| 102 | 09/02/18 | ADDENDUM NO. 101   |
| 103 | 09/16/18 | ADDENDUM NO. 102   |
| 104 | 09/30/18 | ADDENDUM NO. 103   |
| 105 | 10/14/18 | ADDENDUM NO. 104   |
| 106 | 10/28/18 | ADDENDUM NO. 105   |
| 107 | 11/11/18 | ADDENDUM NO. 106   |
| 108 | 11/25/18 | ADDENDUM NO. 107   |
| 109 | 12/09/18 | ADDENDUM NO. 108   |
| 110 | 12/23/18 | ADDENDUM NO. 109   |
| 111 | 01/06/19 | ADDENDUM NO. 110   |
| 112 | 01/20/19 | ADDENDUM NO. 111   |
| 113 | 02/03/19 | ADDENDUM NO. 112   |
| 114 | 02/17/19 | ADDENDUM NO. 113   |
| 115 | 03/03/19 | ADDENDUM NO. 114   |
| 116 | 03/17/19 | ADDENDUM NO. 115   |
| 117 | 03/31/19 | ADDENDUM NO. 116   |
| 118 | 04/14/19 | ADDENDUM NO. 117   |
| 119 | 04/28/19 | ADDENDUM NO. 118   |
| 120 | 05/12/19 | ADDENDUM NO. 119   |
| 121 | 05/26/19 | ADDENDUM NO. 120   |
| 122 | 06/09/19 | ADDENDUM NO. 121   |
| 123 | 06/23/19 | ADDENDUM NO. 122   |
| 124 | 07/07/19 | ADDENDUM NO. 123   |
| 125 | 07/21/19 | ADDENDUM NO. 124   |
| 126 | 08/04/19 | ADDENDUM NO. 125   |
| 127 | 08/18/19 | ADDENDUM NO. 126   |
| 128 | 09/01/19 | ADDENDUM NO. 127   |
| 129 | 09/15/19 | ADDENDUM NO. 128   |
| 130 | 09/29/19 | ADDENDUM NO. 129   |
| 131 | 10/13/19 | ADDENDUM NO. 130   |
| 132 | 10/27/19 | ADDENDUM NO. 131   |
| 133 | 11/10/19 | ADDENDUM NO. 132   |
| 134 | 11/24/19 | ADDENDUM NO. 133   |
| 135 | 12/08/19 | ADDENDUM NO. 134   |
| 136 | 12/22/19 | ADDENDUM NO. 135   |
| 137 | 01/05/20 | ADDENDUM NO. 136   |
| 138 | 01/19/20 | ADDENDUM NO. 137   |
| 139 | 02/02/20 | ADDENDUM NO. 138   |
| 140 | 02/16/20 | ADDENDUM NO. 139   |
| 141 | 03/02/20 | ADDENDUM NO. 140   |
| 142 | 03/16/20 | ADDENDUM NO. 141   |
| 143 | 03/30/20 | ADDENDUM NO. 142   |
| 144 | 04/13/20 | ADDENDUM NO. 143   |
| 145 | 04/27/20 | ADDENDUM NO. 144   |
| 146 | 05/11/20 | ADDENDUM NO. 145   |
| 147 | 05/25/20 | ADDENDUM NO. 146   |
| 148 | 06/08/20 | ADDENDUM NO. 147   |
| 149 | 06/22/20 | ADDENDUM NO. 148   |
| 150 | 07/06/20 | ADDENDUM NO. 149   |
| 151 | 07/20/20 | ADDENDUM NO. 150   |
| 152 | 08/03/20 | ADDENDUM NO. 151   |
| 153 | 08/17/20 | ADDENDUM NO. 152   |
| 154 | 08/31/20 | ADDENDUM NO. 153   |
| 155 | 09/14/20 | ADDENDUM NO. 154   |
| 156 | 09/28/20 | ADDENDUM NO. 155   |
| 157 | 10/12/20 | ADDENDUM NO. 156   |
| 158 | 10/26/20 | ADDENDUM NO. 157   |
| 159 | 11/09/20 | ADDENDUM NO. 158   |
| 160 | 11/23/20 | ADDENDUM NO. 159   |
| 161 | 12/07/20 | ADDENDUM NO. 160   |
| 162 | 12/21/20 | ADDENDUM NO. 161   |
| 163 | 01/04/21 | ADDENDUM NO. 162   |
| 164 | 01/18/21 | ADDENDUM NO. 163   |
| 165 | 02/01/21 | ADDENDUM NO. 164   |
| 166 | 02/15/21 | ADDENDUM NO. 165   |
| 167 | 02/28/21 | ADDENDUM NO. 166   |
| 168 | 03/14/21 | ADDENDUM NO. 167   |
| 169 | 03/28/21 | ADDENDUM NO. 168   |
| 170 | 04/11/21 | ADDENDUM NO. 169   |
| 171 | 04/25/21 | ADDENDUM NO. 170   |
| 172 | 05/09/21 | ADDENDUM NO. 171   |
| 173 | 05/23/21 | ADDENDUM NO. 172   |
| 174 | 06/06/21 | ADDENDUM NO. 173   |
| 175 | 06/20/21 | ADDENDUM NO. 174   |
| 176 | 07/04/21 | ADDENDUM NO. 175   |
| 177 | 07/18/21 | ADDENDUM NO. 176   |
| 178 | 08/01/21 | ADDENDUM NO. 177   |
| 179 | 08/15/21 | ADDENDUM NO. 178   |
| 180 | 08/29/21 | ADDENDUM NO. 179   |
| 181 | 09/12/21 | ADDENDUM NO. 180   |
| 182 | 09/26/21 | ADDENDUM NO. 181   |
| 183 | 10/10/21 | ADDENDUM NO. 182   |
| 184 | 10/24/21 | ADDENDUM NO. 183   |
| 185 | 11/07/21 | ADDENDUM NO. 184   |
| 186 | 11/21/21 | ADDENDUM NO. 185   |
| 187 | 12/05/21 | ADDENDUM NO. 186   |
| 188 | 12/19/21 | ADDENDUM NO. 187   |
| 189 | 01/02/22 | ADDENDUM NO. 188   |
| 190 | 01/16/22 | ADDENDUM NO. 189   |
| 191 | 01/30/22 | ADDENDUM NO. 190   |
| 192 | 02/13/22 | ADDENDUM NO. 191   |
| 193 | 02/27/22 | ADDENDUM NO. 192   |
| 194 | 03/13/22 | ADDENDUM NO. 193   |
| 195 | 03/27/22 | ADDENDUM NO. 194   |
| 196 | 04/10/22 | ADDENDUM NO. 195   |
| 197 | 04/24/22 | ADDENDUM NO. 196   |
| 198 | 05/08/22 | ADDENDUM NO. 197   |
| 199 | 05/22/22 | ADDENDUM NO. 198   |
| 200 | 06/05/22 | ADDENDUM NO. 199   |
| 201 | 06/19/22 | ADDENDUM NO. 200   |
| 202 | 07/03/22 | ADDENDUM NO. 201   |
| 203 | 07/17/22 | ADDENDUM NO. 202   |
| 204 | 07/31/22 | ADDENDUM NO. 203   |
| 205 | 08/14/22 | ADDENDUM NO. 204   |
| 206 | 08/28/22 | ADDENDUM NO. 205   |
| 207 | 09/11/22 | ADDENDUM NO. 206   |
| 208 | 09/25/22 | ADDENDUM NO. 207   |
| 209 | 10/09/22 | ADDENDUM NO. 208   |
| 210 | 10/23/22 | ADDENDUM NO. 209   |
| 211 | 11/06/22 | ADDENDUM NO. 210   |
| 212 | 11/20/22 | ADDENDUM NO. 211   |
| 213 | 12/04/22 | ADDENDUM NO. 212   |
| 214 | 12/18/22 | ADDENDUM NO. 213   |
| 215 | 01/01/23 | ADDENDUM NO. 214   |
| 216 | 01/15/23 | ADDENDUM NO. 215   |
| 217 | 01/29/23 | ADDENDUM NO. 216   |
| 218 | 02/12/23 | ADDENDUM NO. 217   |
| 219 | 02/26/23 | ADDENDUM NO. 218   |
| 220 | 03/12/23 | ADDENDUM NO. 219   |
| 221 | 03/26/23 | ADDENDUM NO. 220   |
| 222 | 04/09/23 | ADDENDUM NO. 221   |
| 223 | 04/23/23 | ADDENDUM NO. 222   |
| 224 | 05/07/23 | ADDENDUM NO. 223   |
| 225 | 05/21/23 | ADDENDUM NO. 224   |
| 226 | 06/04/23 | ADDENDUM NO. 225   |
| 227 | 06/18/23 | ADDENDUM NO. 226   |
| 228 | 07/02/23 | ADDENDUM NO. 227   |
| 229 | 07/16/23 | ADDENDUM NO. 228   |
| 230 | 07/30/23 | ADDENDUM NO. 229   |
| 231 | 08/13/23 | ADDENDUM NO. 230   |
| 232 | 08/27/23 | ADDENDUM NO. 231   |
| 233 | 09/10/23 | ADDENDUM NO. 232   |
| 234 | 09/24/23 | ADDENDUM NO. 233   |
| 235 | 10/08/23 | ADDENDUM NO. 234   |
| 236 | 10/22/23 | ADDENDUM NO. 235   |
| 237 | 11/05/23 | ADDENDUM NO. 236   |
| 238 | 11/19/23 | ADDENDUM NO. 237   |
| 239 | 12/03/23 | ADDENDUM NO. 238   |
| 240 | 12/17/23 | ADDENDUM NO. 239   |
| 241 | 01/07/24 | ADDENDUM NO. 240   |
| 242 | 01/21/24 | ADDENDUM NO. 241   |
| 243 | 02/04/24 | ADDENDUM NO. 242   |
| 244 | 02/18/24 | ADDENDUM NO. 243   |
| 245 | 03/04/24 | ADDENDUM NO. 244   |
| 246 | 03/18/24 | ADDENDUM NO. 245   |
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| 248 | 04/14/24 | ADDENDUM NO. 247   |
| 249 | 04/28/24 | ADDENDUM NO. 248   |
| 250 | 05/12/24 | ADDENDUM NO. 249   |
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| 252 | 06/09/24 | ADDENDUM NO. 251   |
| 253 | 06/23/24 | ADDENDUM NO. 252   |
| 254 | 07/07/24 | ADDENDUM NO. 253   |
| 255 | 07/21/24 | ADDENDUM NO. 254   |
| 256 | 08/04/24 | ADDENDUM NO. 255   |
| 257 | 08/18/24 | ADDENDUM NO. 256   |
| 258 | 09/01/24 | ADDENDUM NO. 257   |
| 259 | 09/15/24 | ADDENDUM NO. 258   |
| 260 | 09/29/24 | ADDENDUM NO. 259   |
| 261 | 10/13/24 | ADDENDUM NO. 260   |
| 262 | 10/27/24 | ADDENDUM NO. 261   |
| 263 | 11/10/24 | ADDENDUM NO. 262   |
| 264 | 11/24/24 | ADDENDUM NO. 263   |
| 265 | 12/08/24 | ADDENDUM NO. 264   |
| 266 | 12/22/24 | ADDENDUM NO. 265   |
| 267 | 01/05/25 | ADDENDUM NO. 266   |
| 268 | 01/19/25 | ADDENDUM NO. 267   |
| 269 | 02/02/25 | ADDENDUM NO. 268   |

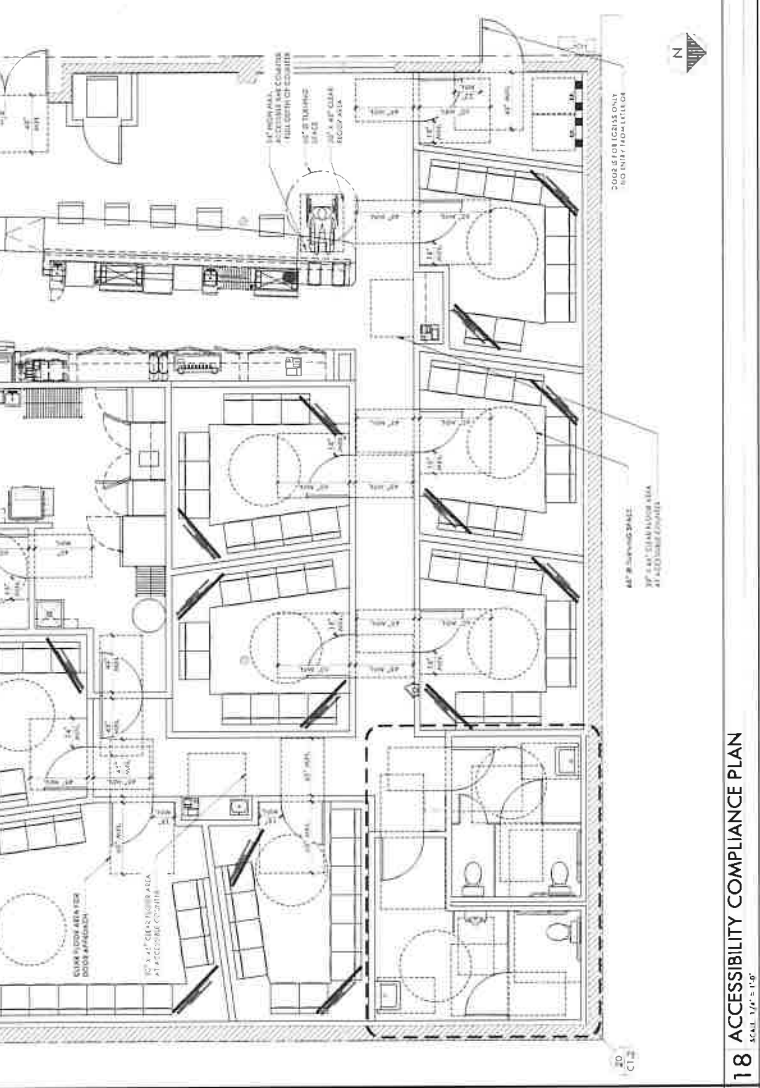
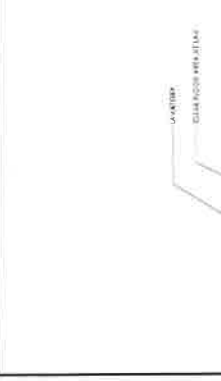




1. WATER SUPPLY AND DRAIN PIPING SHALL BE IDENTIFIED BY A SIGN AND ACCESSION ON THE WALL ADJACENT TO THE TOILET. THE SIGN SHALL BE 18" HIGH AND 12" WIDE. THE SIGN SHALL BE 18" HIGH AND 12" WIDE. THE SIGN SHALL BE 18" HIGH AND 12" WIDE.
2. THE SIGN SHALL BE 18" HIGH AND 12" WIDE. THE SIGN SHALL BE 18" HIGH AND 12" WIDE. THE SIGN SHALL BE 18" HIGH AND 12" WIDE.
3. THE SIGN SHALL BE 18" HIGH AND 12" WIDE. THE SIGN SHALL BE 18" HIGH AND 12" WIDE. THE SIGN SHALL BE 18" HIGH AND 12" WIDE.
4. THE SIGN SHALL BE 18" HIGH AND 12" WIDE. THE SIGN SHALL BE 18" HIGH AND 12" WIDE. THE SIGN SHALL BE 18" HIGH AND 12" WIDE.
5. THE SIGN SHALL BE 18" HIGH AND 12" WIDE. THE SIGN SHALL BE 18" HIGH AND 12" WIDE. THE SIGN SHALL BE 18" HIGH AND 12" WIDE.
6. THE SIGN SHALL BE 18" HIGH AND 12" WIDE. THE SIGN SHALL BE 18" HIGH AND 12" WIDE. THE SIGN SHALL BE 18" HIGH AND 12" WIDE.
7. THE SIGN SHALL BE 18" HIGH AND 12" WIDE. THE SIGN SHALL BE 18" HIGH AND 12" WIDE. THE SIGN SHALL BE 18" HIGH AND 12" WIDE.



- ACCESSIBLE TOILET COMPLIANCE NOTES
1. THE SIGN SHALL BE 18" HIGH AND 12" WIDE. THE SIGN SHALL BE 18" HIGH AND 12" WIDE. THE SIGN SHALL BE 18" HIGH AND 12" WIDE.
  2. THE SIGN SHALL BE 18" HIGH AND 12" WIDE. THE SIGN SHALL BE 18" HIGH AND 12" WIDE. THE SIGN SHALL BE 18" HIGH AND 12" WIDE.
  3. THE SIGN SHALL BE 18" HIGH AND 12" WIDE. THE SIGN SHALL BE 18" HIGH AND 12" WIDE. THE SIGN SHALL BE 18" HIGH AND 12" WIDE.
  4. THE SIGN SHALL BE 18" HIGH AND 12" WIDE. THE SIGN SHALL BE 18" HIGH AND 12" WIDE. THE SIGN SHALL BE 18" HIGH AND 12" WIDE.
  5. THE SIGN SHALL BE 18" HIGH AND 12" WIDE. THE SIGN SHALL BE 18" HIGH AND 12" WIDE. THE SIGN SHALL BE 18" HIGH AND 12" WIDE.
  6. THE SIGN SHALL BE 18" HIGH AND 12" WIDE. THE SIGN SHALL BE 18" HIGH AND 12" WIDE. THE SIGN SHALL BE 18" HIGH AND 12" WIDE.
  7. THE SIGN SHALL BE 18" HIGH AND 12" WIDE. THE SIGN SHALL BE 18" HIGH AND 12" WIDE. THE SIGN SHALL BE 18" HIGH AND 12" WIDE.



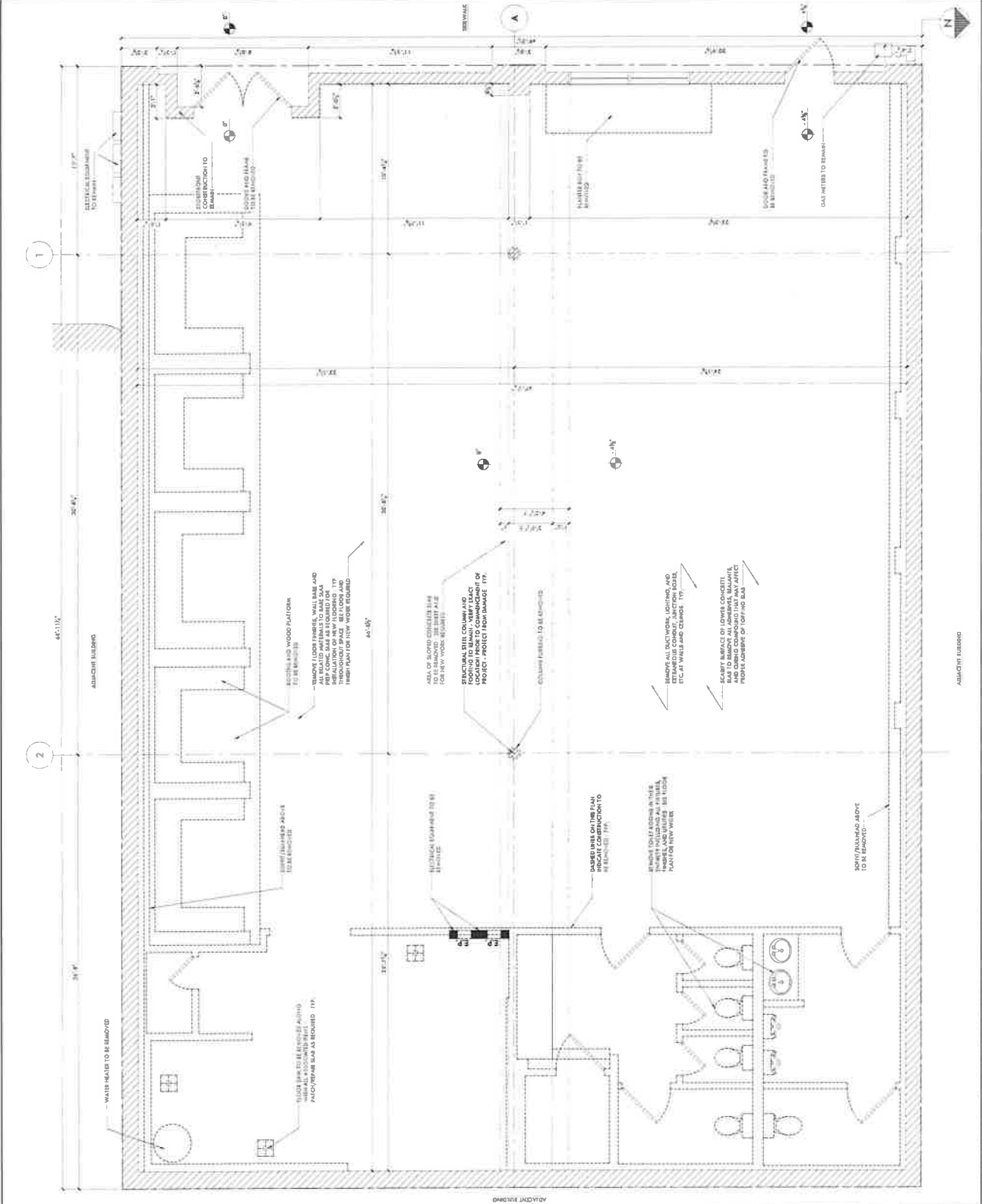






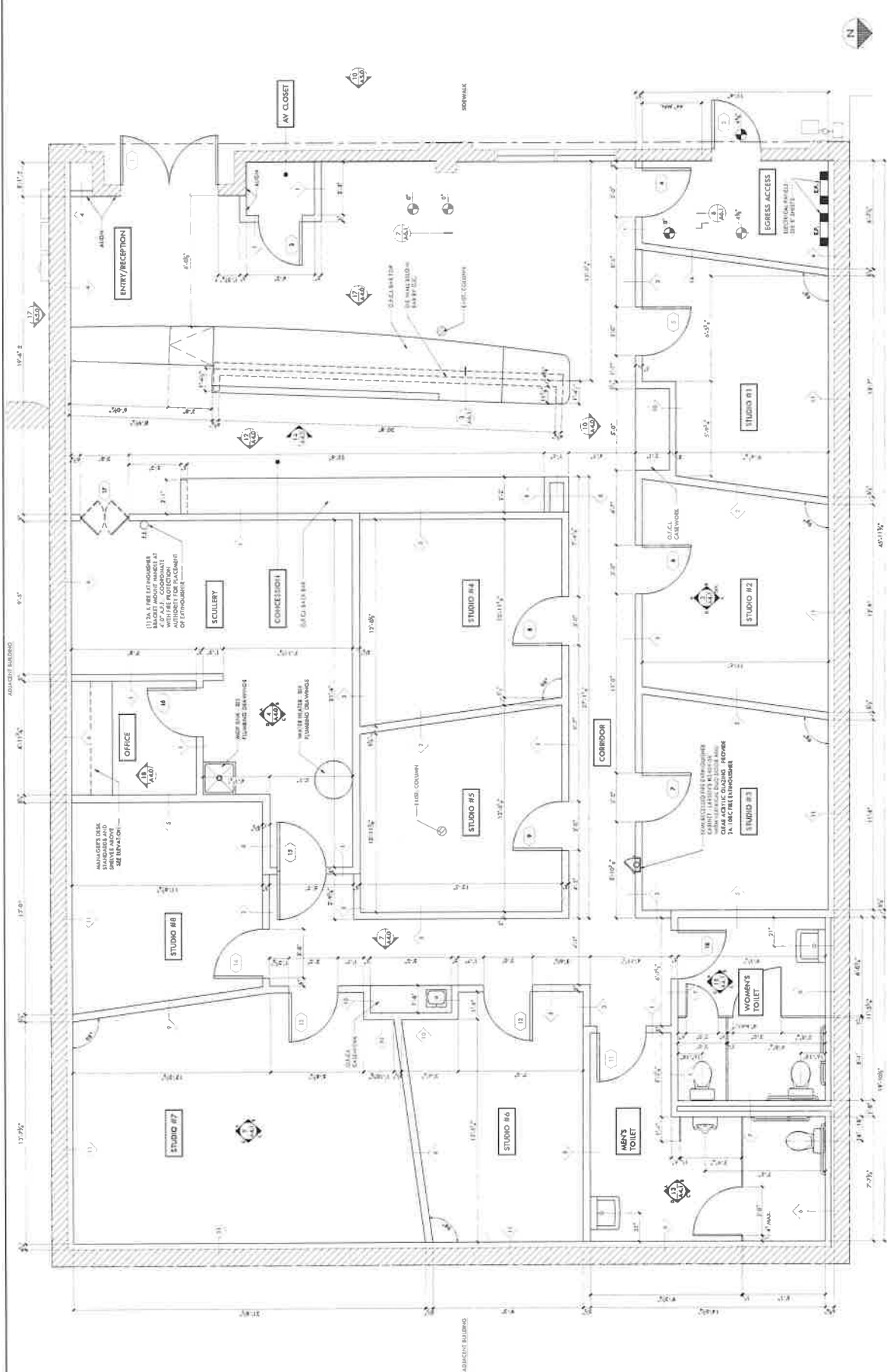






1. THE SET OF DEMONSTRATION IS A SHOW AND ALSO AS WRITER THESE DOCUMENTS.
2. TAKE CARE DURING DEMONSTRATION OPERATIONS TO PROTECT EXISTING STRUCTURE AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES AND STRUCTURE TO REMAIN.
3. REMOVE ALL WORKING CONDITIONS FOR ALL PERSONS IN AND AROUND THE AREA OF DEMONSTRATION. CONTACT THE LOCAL HEALTH DEPARTMENT TO OBTAIN THE NECESSARY PERMITS AND APPROVALS FOR THE DEMONSTRATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES AND STRUCTURE TO REMAIN.
4. REMOVE ALL WORKING CONDITIONS FOR ALL PERSONS IN AND AROUND THE AREA OF DEMONSTRATION. CONTACT THE LOCAL HEALTH DEPARTMENT TO OBTAIN THE NECESSARY PERMITS AND APPROVALS FOR THE DEMONSTRATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES AND STRUCTURE TO REMAIN.
5. REMOVE ALL WORKING CONDITIONS FOR ALL PERSONS IN AND AROUND THE AREA OF DEMONSTRATION. CONTACT THE LOCAL HEALTH DEPARTMENT TO OBTAIN THE NECESSARY PERMITS AND APPROVALS FOR THE DEMONSTRATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES AND STRUCTURE TO REMAIN.
6. REMOVE ALL WORKING CONDITIONS FOR ALL PERSONS IN AND AROUND THE AREA OF DEMONSTRATION. CONTACT THE LOCAL HEALTH DEPARTMENT TO OBTAIN THE NECESSARY PERMITS AND APPROVALS FOR THE DEMONSTRATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES AND STRUCTURE TO REMAIN.
7. REMOVE ALL WORKING CONDITIONS FOR ALL PERSONS IN AND AROUND THE AREA OF DEMONSTRATION. CONTACT THE LOCAL HEALTH DEPARTMENT TO OBTAIN THE NECESSARY PERMITS AND APPROVALS FOR THE DEMONSTRATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES AND STRUCTURE TO REMAIN.
8. REMOVE ALL WORKING CONDITIONS FOR ALL PERSONS IN AND AROUND THE AREA OF DEMONSTRATION. CONTACT THE LOCAL HEALTH DEPARTMENT TO OBTAIN THE NECESSARY PERMITS AND APPROVALS FOR THE DEMONSTRATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES AND STRUCTURE TO REMAIN.
9. REMOVE ALL WORKING CONDITIONS FOR ALL PERSONS IN AND AROUND THE AREA OF DEMONSTRATION. CONTACT THE LOCAL HEALTH DEPARTMENT TO OBTAIN THE NECESSARY PERMITS AND APPROVALS FOR THE DEMONSTRATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES AND STRUCTURE TO REMAIN.
10. REMOVE ALL WORKING CONDITIONS FOR ALL PERSONS IN AND AROUND THE AREA OF DEMONSTRATION. CONTACT THE LOCAL HEALTH DEPARTMENT TO OBTAIN THE NECESSARY PERMITS AND APPROVALS FOR THE DEMONSTRATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES AND STRUCTURE TO REMAIN.
11. ALL ITEMS NOTED TO BE REMOVED SHALL BE CARRIED OUT BY THE CONTRACTOR TO THE STREET OR TO THE LOCAL DISPOSAL FACILITY. APPROVAL AND LOCAL DISPOSAL SHALL BE OBTAINED BY THE CONTRACTOR.
12. REMOVE ALL WORKING CONDITIONS FOR ALL PERSONS IN AND AROUND THE AREA OF DEMONSTRATION. CONTACT THE LOCAL HEALTH DEPARTMENT TO OBTAIN THE NECESSARY PERMITS AND APPROVALS FOR THE DEMONSTRATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES AND STRUCTURE TO REMAIN.
13. REMOVE ALL WORKING CONDITIONS FOR ALL PERSONS IN AND AROUND THE AREA OF DEMONSTRATION. CONTACT THE LOCAL HEALTH DEPARTMENT TO OBTAIN THE NECESSARY PERMITS AND APPROVALS FOR THE DEMONSTRATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES AND STRUCTURE TO REMAIN.
14. THE S.C. SHALL COVER ANY EXISTING LANDING OR STAIRS TO BE REMOVED WITH A MINIMUM 2" THICK CONCRETE SLAB AS REQUIRED FOR THE REMOVAL OF DEMONSTRATION AND TO BE REMOVED TO THE STREET OR TO THE LOCAL DISPOSAL FACILITY. APPROVAL AND LOCAL DISPOSAL SHALL BE OBTAINED BY THE CONTRACTOR.
15. REMOVE ALL WORKING CONDITIONS FOR ALL PERSONS IN AND AROUND THE AREA OF DEMONSTRATION. CONTACT THE LOCAL HEALTH DEPARTMENT TO OBTAIN THE NECESSARY PERMITS AND APPROVALS FOR THE DEMONSTRATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES AND STRUCTURE TO REMAIN.
16. REMOVE ALL WORKING CONDITIONS FOR ALL PERSONS IN AND AROUND THE AREA OF DEMONSTRATION. CONTACT THE LOCAL HEALTH DEPARTMENT TO OBTAIN THE NECESSARY PERMITS AND APPROVALS FOR THE DEMONSTRATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES AND STRUCTURE TO REMAIN.
17. REMOVE ALL WORKING CONDITIONS FOR ALL PERSONS IN AND AROUND THE AREA OF DEMONSTRATION. CONTACT THE LOCAL HEALTH DEPARTMENT TO OBTAIN THE NECESSARY PERMITS AND APPROVALS FOR THE DEMONSTRATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES AND STRUCTURE TO REMAIN.
18. REMOVE ALL EXISTING PARTITIONS, CEILING FINISHES, AND RELATED ITEMS THROUGHOUT THE SPACE.

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1. THE CLIENT SHALL REVIEW ALL DRAWINGS, SPECIFICATIONS, AND NOTES FOR ANY ERRORS OR OMISSIONS OF RECORDING AND RECORDING IN WALLS AND ADJOINING BUILDINGS FOR RECORD. THE CLIENT SHALL CORRECT ANY ERRORS OR OMISSIONS OF RECORDING AND RECORDING IN WALLS AND ADJOINING BUILDINGS FOR RECORD. THE CLIENT SHALL CORRECT ANY ERRORS OR OMISSIONS OF RECORDING AND RECORDING IN WALLS AND ADJOINING BUILDINGS FOR RECORD.

2. THE CLIENT SHALL VERIFY ALL DIMENSIONS, SPECIFICATIONS, AND NOTES FOR ANY ERRORS OR OMISSIONS OF RECORDING AND RECORDING IN WALLS AND ADJOINING BUILDINGS FOR RECORD. THE CLIENT SHALL CORRECT ANY ERRORS OR OMISSIONS OF RECORDING AND RECORDING IN WALLS AND ADJOINING BUILDINGS FOR RECORD.

3. THE CLIENT SHALL VERIFY ALL DIMENSIONS, SPECIFICATIONS, AND NOTES FOR ANY ERRORS OR OMISSIONS OF RECORDING AND RECORDING IN WALLS AND ADJOINING BUILDINGS FOR RECORD. THE CLIENT SHALL CORRECT ANY ERRORS OR OMISSIONS OF RECORDING AND RECORDING IN WALLS AND ADJOINING BUILDINGS FOR RECORD.

4. THE CLIENT SHALL VERIFY ALL DIMENSIONS, SPECIFICATIONS, AND NOTES FOR ANY ERRORS OR OMISSIONS OF RECORDING AND RECORDING IN WALLS AND ADJOINING BUILDINGS FOR RECORD. THE CLIENT SHALL CORRECT ANY ERRORS OR OMISSIONS OF RECORDING AND RECORDING IN WALLS AND ADJOINING BUILDINGS FOR RECORD.

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6. THE CLIENT SHALL VERIFY ALL DIMENSIONS, SPECIFICATIONS, AND NOTES FOR ANY ERRORS OR OMISSIONS OF RECORDING AND RECORDING IN WALLS AND ADJOINING BUILDINGS FOR RECORD. THE CLIENT SHALL CORRECT ANY ERRORS OR OMISSIONS OF RECORDING AND RECORDING IN WALLS AND ADJOINING BUILDINGS FOR RECORD.

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9. THE CLIENT SHALL VERIFY ALL DIMENSIONS, SPECIFICATIONS, AND NOTES FOR ANY ERRORS OR OMISSIONS OF RECORDING AND RECORDING IN WALLS AND ADJOINING BUILDINGS FOR RECORD. THE CLIENT SHALL CORRECT ANY ERRORS OR OMISSIONS OF RECORDING AND RECORDING IN WALLS AND ADJOINING BUILDINGS FOR RECORD.

10. THE CLIENT SHALL VERIFY ALL DIMENSIONS, SPECIFICATIONS, AND NOTES FOR ANY ERRORS OR OMISSIONS OF RECORDING AND RECORDING IN WALLS AND ADJOINING BUILDINGS FOR RECORD. THE CLIENT SHALL CORRECT ANY ERRORS OR OMISSIONS OF RECORDING AND RECORDING IN WALLS AND ADJOINING BUILDINGS FOR RECORD.

**GENERAL CONSTRUCTION NOTES**

1. ALL FABRICATION SHALL BE PERFORMED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

2. ALL DOOR SCHEDULES AND DETAILS SHALL BE SHOWN ON ALL SHEETS.

3. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.

4. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.

5. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.

6. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.

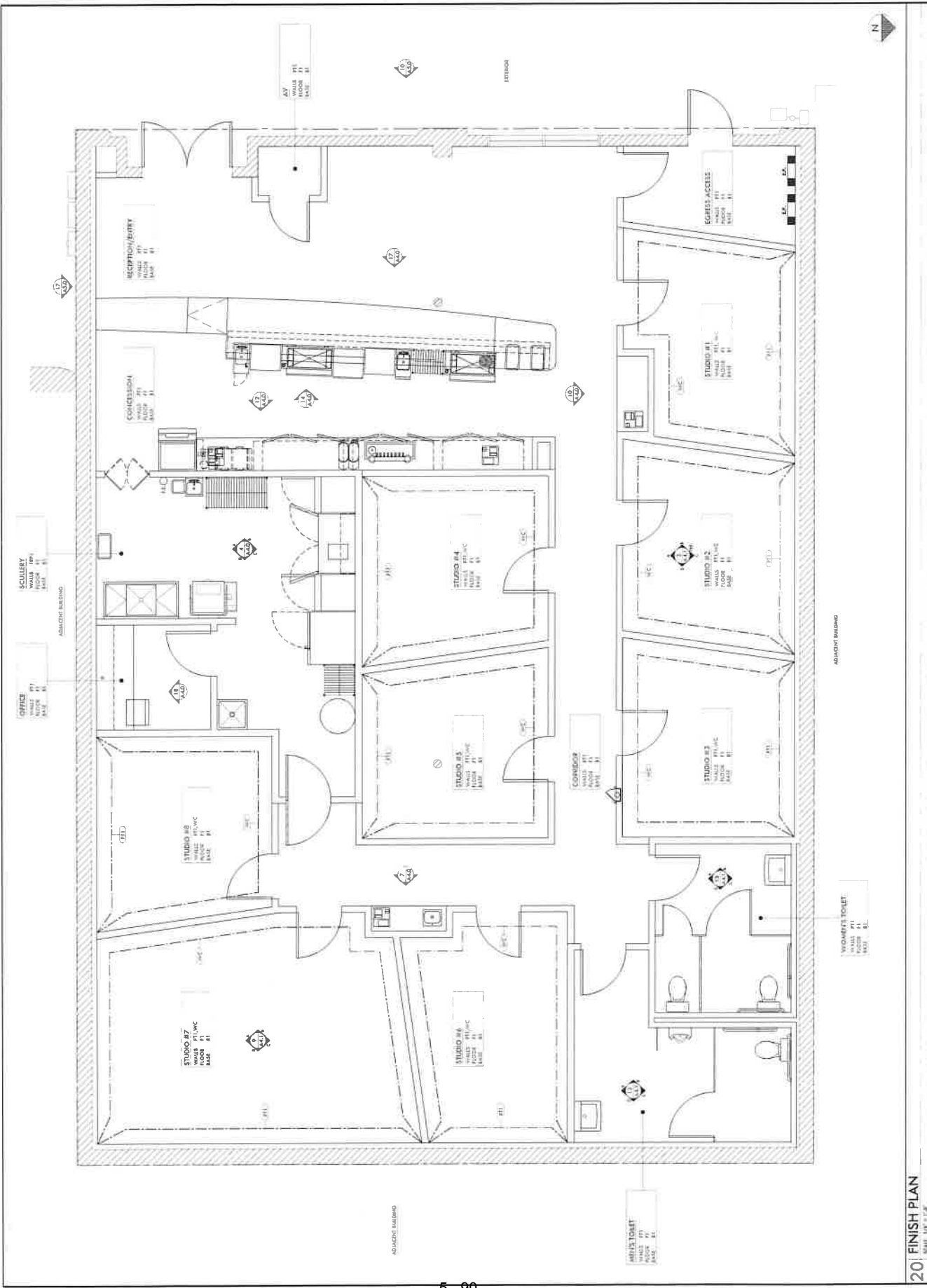
7. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.

8. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.

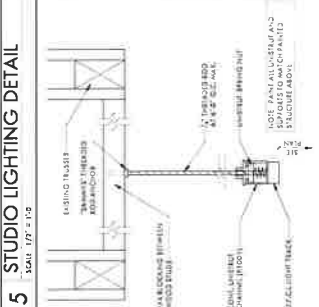
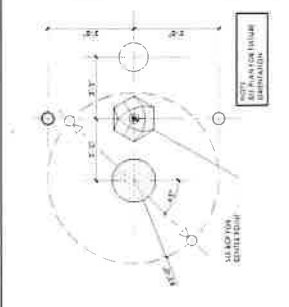
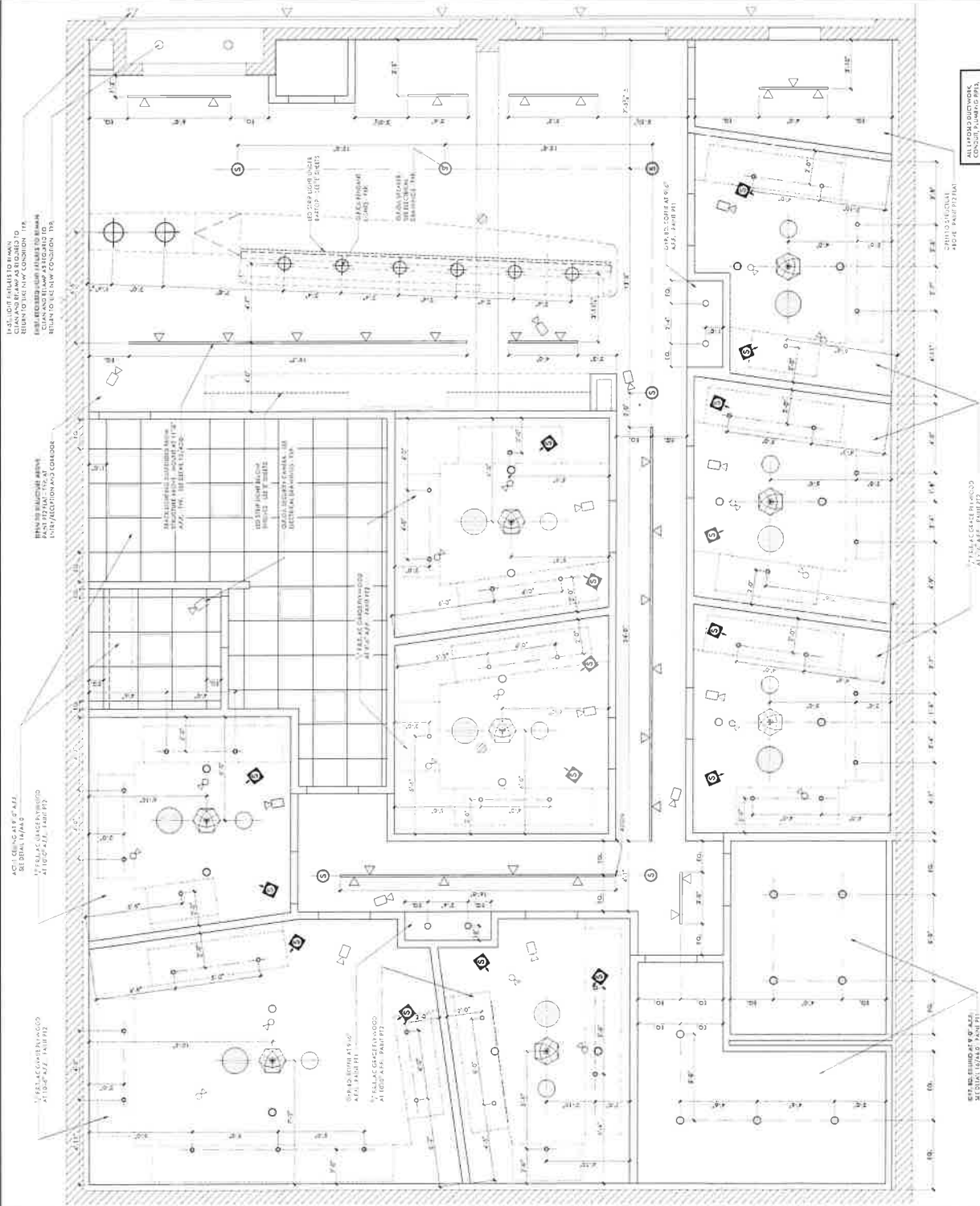
9. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.

10. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.

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- 5-10 TRACK LIGHTING DETAIL  
 SCALE: 1/2" = 1'-0"
1. SEE ELECTRICAL DRAWINGS FOR ALL LIGHTING INFORMATION.
  2. TRACK LIGHTING SHALL BE FINISHED IN GARD... (as per notes)
  3. TRACK LIGHTING SHALL BE FINISHED IN GARD... (as per notes)
  4. TRACK LIGHTING SHALL BE FINISHED IN GARD... (as per notes)
  5. TRACK LIGHTING SHALL BE FINISHED IN GARD... (as per notes)
  6. TRACK LIGHTING SHALL BE FINISHED IN GARD... (as per notes)
  7. TRACK LIGHTING SHALL BE FINISHED IN GARD... (as per notes)
  8. TRACK LIGHTING SHALL BE FINISHED IN GARD... (as per notes)
  9. TRACK LIGHTING SHALL BE FINISHED IN GARD... (as per notes)
  10. TRACK LIGHTING SHALL BE FINISHED IN GARD... (as per notes)
  11. TRACK LIGHTING SHALL BE FINISHED IN GARD... (as per notes)

CEILING CONSTRUCTION NOTES

20 SCALE

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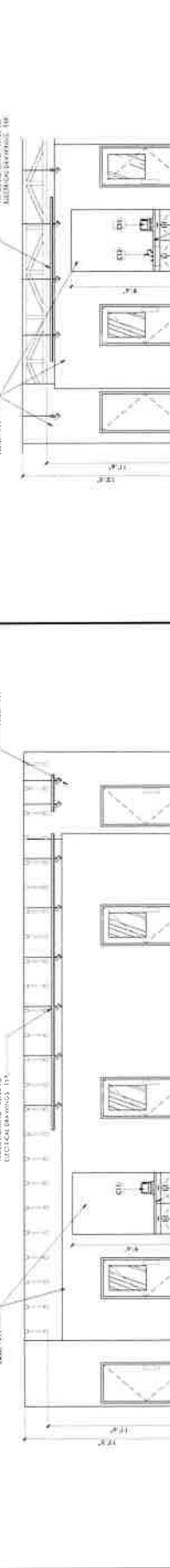
19 REFLECTED CEILING PLAN  
 SCALE: 1/2" = 1'-0"

|          |    |       |      |
|----------|----|-------|------|
| DATE     | BY | APP'D | REV. |
| 07/27/19 | AA | 09    | 01   |
| 08/06/19 | AA | 09    | 02   |
| 08/20/19 | AA | 09    | 03   |
| 09/03/19 | AA | 09    | 04   |
| 09/17/19 | AA | 09    | 05   |
| 10/01/19 | AA | 09    | 06   |
| 10/15/19 | AA | 09    | 07   |
| 10/29/19 | AA | 09    | 08   |
| 11/12/19 | AA | 09    | 09   |
| 11/26/19 | AA | 09    | 10   |
| 12/10/19 | AA | 09    | 11   |
| 12/24/19 | AA | 09    | 12   |
| 01/07/20 | AA | 09    | 13   |
| 01/21/20 | AA | 09    | 14   |
| 02/04/20 | AA | 09    | 15   |
| 02/18/20 | AA | 09    | 16   |
| 03/04/20 | AA | 09    | 17   |
| 03/18/20 | AA | 09    | 18   |
| 04/01/20 | AA | 09    | 19   |
| 04/15/20 | AA | 09    | 20   |
| 04/29/20 | AA | 09    | 21   |
| 05/13/20 | AA | 09    | 22   |
| 05/27/20 | AA | 09    | 23   |
| 06/10/20 | AA | 09    | 24   |
| 06/24/20 | AA | 09    | 25   |
| 07/08/20 | AA | 09    | 26   |
| 07/22/20 | AA | 09    | 27   |
| 08/05/20 | AA | 09    | 28   |
| 08/19/20 | AA | 09    | 29   |
| 09/02/20 | AA | 09    | 30   |
| 09/16/20 | AA | 09    | 31   |
| 09/30/20 | AA | 09    | 32   |
| 10/14/20 | AA | 09    | 33   |
| 10/28/20 | AA | 09    | 34   |
| 11/11/20 | AA | 09    | 35   |
| 11/25/20 | AA | 09    | 36   |
| 12/09/20 | AA | 09    | 37   |
| 12/23/20 | AA | 09    | 38   |
| 01/06/21 | AA | 09    | 39   |
| 01/20/21 | AA | 09    | 40   |
| 02/03/21 | AA | 09    | 41   |
| 02/17/21 | AA | 09    | 42   |
| 03/03/21 | AA | 09    | 43   |
| 03/17/21 | AA | 09    | 44   |
| 03/31/21 | AA | 09    | 45   |
| 04/14/21 | AA | 09    | 46   |
| 04/28/21 | AA | 09    | 47   |
| 05/12/21 | AA | 09    | 48   |
| 05/26/21 | AA | 09    | 49   |
| 06/09/21 | AA | 09    | 50   |
| 06/23/21 | AA | 09    | 51   |
| 07/07/21 | AA | 09    | 52   |
| 07/21/21 | AA | 09    | 53   |
| 08/04/21 | AA | 09    | 54   |
| 08/18/21 | AA | 09    | 55   |
| 09/01/21 | AA | 09    | 56   |
| 09/15/21 | AA | 09    | 57   |
| 09/29/21 | AA | 09    | 58   |
| 10/13/21 | AA | 09    | 59   |
| 10/27/21 | AA | 09    | 60   |
| 11/10/21 | AA | 09    | 61   |
| 11/24/21 | AA | 09    | 62   |
| 12/08/21 | AA | 09    | 63   |
| 12/22/21 | AA | 09    | 64   |
| 01/05/22 | AA | 09    | 65   |
| 01/19/22 | AA | 09    | 66   |
| 02/02/22 | AA | 09    | 67   |
| 02/16/22 | AA | 09    | 68   |
| 02/28/22 | AA | 09    | 69   |
| 03/13/22 | AA | 09    | 70   |
| 03/27/22 | AA | 09    | 71   |
| 04/10/22 | AA | 09    | 72   |
| 04/24/22 | AA | 09    | 73   |
| 05/08/22 | AA | 09    | 74   |
| 05/22/22 | AA | 09    | 75   |
| 06/05/22 | AA | 09    | 76   |
| 06/19/22 | AA | 09    | 77   |
| 07/03/22 | AA | 09    | 78   |
| 07/17/22 | AA | 09    | 79   |
| 07/31/22 | AA | 09    | 80   |
| 08/14/22 | AA | 09    | 81   |
| 08/28/22 | AA | 09    | 82   |
| 09/11/22 | AA | 09    | 83   |
| 09/25/22 | AA | 09    | 84   |
| 10/09/22 | AA | 09    | 85   |
| 10/23/22 | AA | 09    | 86   |
| 11/06/22 | AA | 09    | 87   |
| 11/20/22 | AA | 09    | 88   |
| 12/04/22 | AA | 09    | 89   |
| 12/18/22 | AA | 09    | 90   |
| 01/01/23 | AA | 09    | 91   |
| 01/15/23 | AA | 09    | 92   |
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| 02/12/23 | AA | 09    | 94   |
| 02/26/23 | AA | 09    | 95   |
| 03/11/23 | AA | 09    | 96   |
| 03/25/23 | AA | 09    | 97   |
| 04/08/23 | AA | 09    | 98   |
| 04/22/23 | AA | 09    | 99   |
| 05/06/23 | AA | 09    | 100  |



4 INTERIOR ELEVATION  
SCALE: 1/4" = 1'-0"

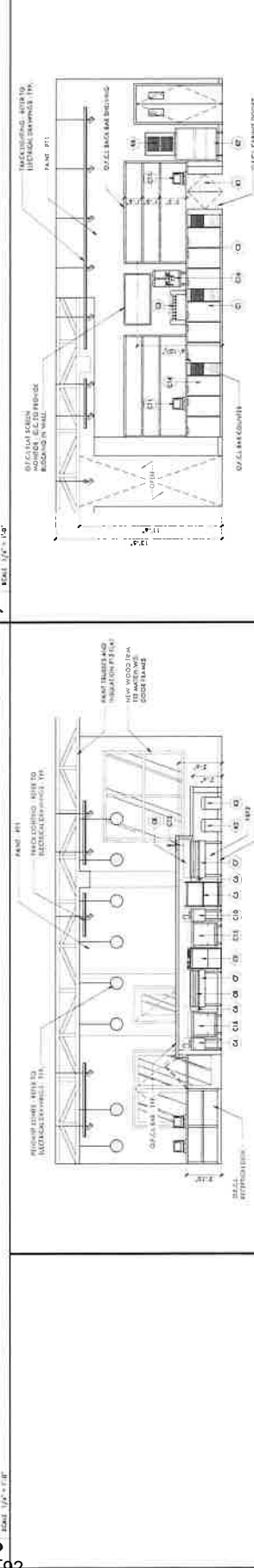
5 - SCALE



10 INTERIOR ELEVATION  
SCALE: 1/4" = 1'-0"

8 - SCALE

7 INTERIOR ELEVATION  
SCALE: 1/4" = 1'-0"



12 INTERIOR ELEVATION  
SCALE: 1/4" = 1'-0"

15 - SCALE



14 INTERIOR ELEVATION  
SCALE: 1/4" = 1'-0"

19 - SCALE

18 INTERIOR ELEVATION  
SCALE: 1/4" = 1'-0"

17 INTERIOR ELEVATION  
SCALE: 1/4" = 1'-0"

19 - SCALE

20 - SCALE

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| <p><b>5</b> - SCALE: 1" = 1'-0"</p> <p>                 2x4 WOOD CLADDING<br/>                 METAL STUD WITH DRY FIT<br/>                 1/2" PLYWOOD PANEL CONSTRUCTION             </p> | <p><b>6</b> - SCALE: 1" = 1'-0"</p> <p>                 2x4 WOOD STUDS<br/>                 1/2" PLYWOOD<br/>                 1/2" METAL STUDS             </p>        | <p><b>7</b> - SCALE: 1 1/2" = 1'-0"</p> <p>                 4" CONCRETE<br/>                 1/2" METAL STUDS<br/>                 1/2" METAL STUDS             </p> | <p><b>8</b> - SCALE: 1 1/2" = 1'-0"</p> <p>                 1/2" PLYWOOD<br/>                 1/2" METAL STUDS             </p>                                    | <p><b>9</b> - SCALE: 1" = 1'-0"</p> <p>                 1/2" PLYWOOD<br/>                 1/2" METAL STUDS<br/>                 1/2" METAL STUDS             </p>  | <p><b>10</b> - SCALE: 1" = 1'-0"</p> <p>                 1/2" PLYWOOD<br/>                 1/2" METAL STUDS<br/>                 1/2" METAL STUDS             </p> |
| <p><b>11</b> - SCALE: 1 1/2" = 1'-0"</p> <p>                 1/2" PLYWOOD<br/>                 1/2" METAL STUDS<br/>                 1/2" METAL STUDS             </p>                       | <p><b>12</b> - SCALE: 1 1/2" = 1'-0"</p> <p>                 1/2" PLYWOOD<br/>                 1/2" METAL STUDS<br/>                 1/2" METAL STUDS             </p> | <p><b>13</b> - SCALE: 1" = 1'-0"</p> <p>                 1/2" PLYWOOD<br/>                 1/2" METAL STUDS<br/>                 1/2" METAL STUDS             </p>   | <p><b>14</b> - SCALE: 1" = 1'-0"</p> <p>                 1/2" PLYWOOD<br/>                 1/2" METAL STUDS<br/>                 1/2" METAL STUDS             </p> | <p><b>15</b> - SCALE: 1" = 1'-0"</p> <p>                 1/2" PLYWOOD<br/>                 1/2" METAL STUDS<br/>                 1/2" METAL STUDS             </p> | <p><b>16</b> - SCALE: 1" = 1'-0"</p> <p>                 1/2" PLYWOOD<br/>                 1/2" METAL STUDS<br/>                 1/2" METAL STUDS             </p> |
| <p><b>17</b> - SCALE: 1" = 1'-0"</p> <p>                 1/2" PLYWOOD<br/>                 1/2" METAL STUDS<br/>                 1/2" METAL STUDS             </p>                           | <p><b>18</b> - SCALE: 1" = 1'-0"</p> <p>                 1/2" PLYWOOD<br/>                 1/2" METAL STUDS<br/>                 1/2" METAL STUDS             </p>     | <p><b>19</b> - SCALE: 1" = 1'-0"</p> <p>                 1/2" PLYWOOD<br/>                 1/2" METAL STUDS<br/>                 1/2" METAL STUDS             </p>   | <p><b>20</b> - SCALE: 1" = 1'-0"</p> <p>                 1/2" PLYWOOD<br/>                 1/2" METAL STUDS<br/>                 1/2" METAL STUDS             </p> | <p><b>21</b> - SCALE: 1" = 1'-0"</p> <p>                 1/2" PLYWOOD<br/>                 1/2" METAL STUDS<br/>                 1/2" METAL STUDS             </p> | <p><b>22</b> - SCALE: 1" = 1'-0"</p> <p>                 1/2" PLYWOOD<br/>                 1/2" METAL STUDS<br/>                 1/2" METAL STUDS             </p> |

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11000 CRENSHAW AVENUE  
DALLAS, TEXAS 75230  
P 972/721-1340



11000 CRENSHAW AVENUE  
DALLAS, TEXAS 75230  
P 972/721-1340

VOICEBOX  
1906 CRENSHAW AVENUE  
DALLAS, TEXAS 75206

Table with 2 columns: Item No., Description. Contains a list of items and their descriptions.

18332  
MECHANICAL  
SPECIFICATIONS  
M3.0

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DALLAS AND THE STATE OF TEXAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DALLAS AND THE STATE OF TEXAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DALLAS AND THE STATE OF TEXAS.

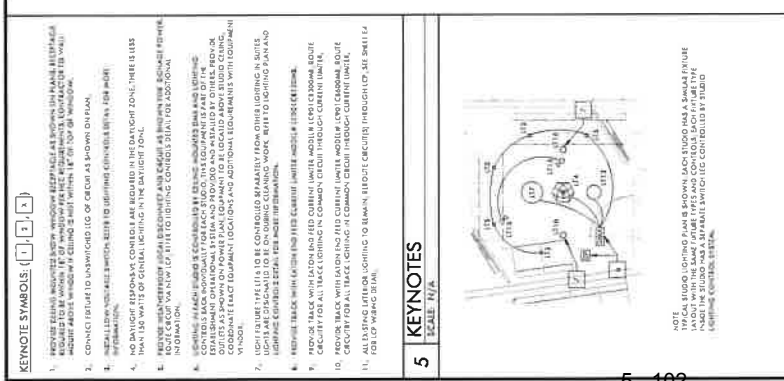
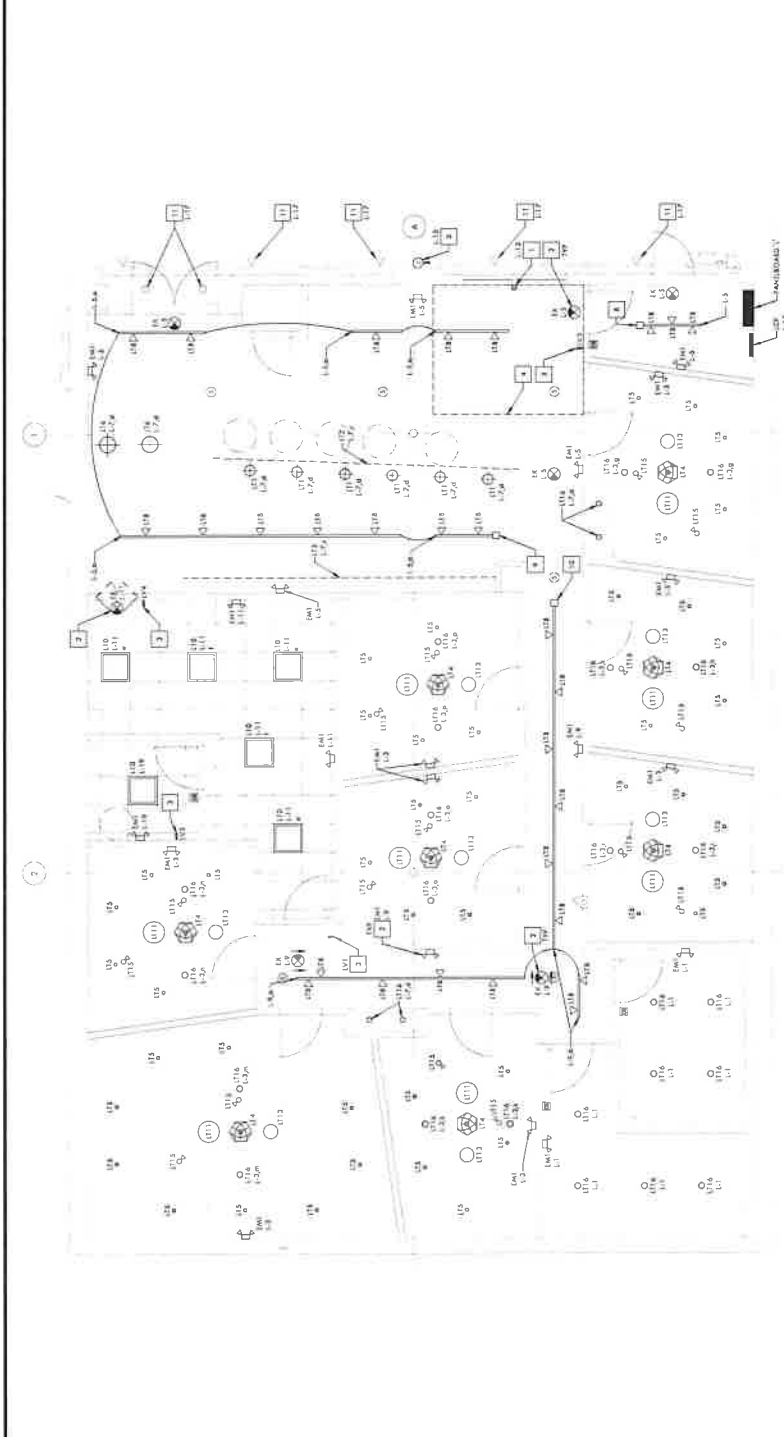
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5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DALLAS AND THE STATE OF TEXAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DALLAS AND THE STATE OF TEXAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DALLAS AND THE STATE OF TEXAS.

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**KEYNOTE SYMBOLS:** (1) (2) (3)

1. PROVIDE RECESSED RECESSED WINDOW RECEPTACLE AS SHOWN ON THIS PLAN. RECEPTACLE AND/OR WINDOW IN CEILING SHALL BE WITHIN 1' OF TOP OF WINDOW.

2. CONNECT TO START TO UNWIRING LOC OF CEILING AS SHOWN ON PLAN.

3. RECESSED WINDOW RECEPTACLE SWITCH SHALL BE LOCATED ON THE WALL, PER ARCH.

4. NO DAYLIGHT RESPONSES CONTROL ARE REQUIRED IN THE DAYLIGHT ZONE. THERE IS 1833 100% USE OF DAYLIGHT LIGHTING IN THE DAYLIGHT ZONE.

5. RECESSED WINDOW RECEPTACLE SWITCH SHALL BE LOCATED ON THE WALL, PER ARCH.

6. PROVIDE RECESSED WINDOW RECEPTACLE SWITCH AS SHOWN ON THIS PLAN. RECEPTACLE AND/OR WINDOW IN CEILING SHALL BE WITHIN 1' OF TOP OF WINDOW.

7. PROVIDE RECESSED WINDOW RECEPTACLE SWITCH AS SHOWN ON THIS PLAN. RECEPTACLE AND/OR WINDOW IN CEILING SHALL BE WITHIN 1' OF TOP OF WINDOW.

8. PROVIDE RECESSED WINDOW RECEPTACLE SWITCH AS SHOWN ON THIS PLAN. RECEPTACLE AND/OR WINDOW IN CEILING SHALL BE WITHIN 1' OF TOP OF WINDOW.

9. PROVIDE RECESSED WINDOW RECEPTACLE SWITCH AS SHOWN ON THIS PLAN. RECEPTACLE AND/OR WINDOW IN CEILING SHALL BE WITHIN 1' OF TOP OF WINDOW.

10. PROVIDE RECESSED WINDOW RECEPTACLE SWITCH AS SHOWN ON THIS PLAN. RECEPTACLE AND/OR WINDOW IN CEILING SHALL BE WITHIN 1' OF TOP OF WINDOW.

11. PROVIDE RECESSED WINDOW RECEPTACLE SWITCH AS SHOWN ON THIS PLAN. RECEPTACLE AND/OR WINDOW IN CEILING SHALL BE WITHIN 1' OF TOP OF WINDOW.

NOTE: STUDY LIGHTING PLAN IS BROWN. EACH STUDY AREA SHALL HAVE A SMALL PICTURE LIGHT WITH THE SAME PICTURE THIS AND CONTROL SHALL BE WITHIN THE STUDY LIGHTING CONTROL SYSTEM.

**9 ELECTRICAL CEILING PLAN**  
SCALE: 1/4" = 1'-0"

SYMBOL DESCRIPTION

- 1. RECESSED WINDOW RECEPTACLE SWITCH
- 2. RECESSED WINDOW RECEPTACLE SWITCH
- 3. RECESSED WINDOW RECEPTACLE SWITCH
- 4. RECESSED WINDOW RECEPTACLE SWITCH
- 5. RECESSED WINDOW RECEPTACLE SWITCH
- 6. RECESSED WINDOW RECEPTACLE SWITCH
- 7. RECESSED WINDOW RECEPTACLE SWITCH
- 8. RECESSED WINDOW RECEPTACLE SWITCH
- 9. RECESSED WINDOW RECEPTACLE SWITCH
- 10. RECESSED WINDOW RECEPTACLE SWITCH
- 11. RECESSED WINDOW RECEPTACLE SWITCH

**10 TYPICAL SUITES WIRING**  
SCALE: 1/4" = 1'-0"

SYMBOL DESCRIPTION

- 1. SINGLE END WALL SWITCH
- 2. WALL SWITCH
- 3. WALL SWITCH
- 4. WALL SWITCH
- 5. WALL SWITCH
- 6. WALL SWITCH
- 7. WALL SWITCH
- 8. WALL SWITCH
- 9. WALL SWITCH
- 10. WALL SWITCH
- 11. WALL SWITCH

**17 LIGHT FIXTURE SCHEDULE**  
SCALE: N/A

| NO. | SYMBOL | DESCRIPTION                       | TYPE | WATTAGE | HEIGHT | REMARKS                           |
|-----|--------|-----------------------------------|------|---------|--------|-----------------------------------|
| 1   | 111    | RECESSED WINDOW RECEPTACLE SWITCH | SW   | 100     | 10'    | RECESSED WINDOW RECEPTACLE SWITCH |
| 2   | 112    | RECESSED WINDOW RECEPTACLE SWITCH | SW   | 100     | 10'    | RECESSED WINDOW RECEPTACLE SWITCH |
| 3   | 113    | RECESSED WINDOW RECEPTACLE SWITCH | SW   | 100     | 10'    | RECESSED WINDOW RECEPTACLE SWITCH |
| 4   | 114    | RECESSED WINDOW RECEPTACLE SWITCH | SW   | 100     | 10'    | RECESSED WINDOW RECEPTACLE SWITCH |
| 5   | 115    | RECESSED WINDOW RECEPTACLE SWITCH | SW   | 100     | 10'    | RECESSED WINDOW RECEPTACLE SWITCH |
| 6   | 116    | RECESSED WINDOW RECEPTACLE SWITCH | SW   | 100     | 10'    | RECESSED WINDOW RECEPTACLE SWITCH |
| 7   | 117    | RECESSED WINDOW RECEPTACLE SWITCH | SW   | 100     | 10'    | RECESSED WINDOW RECEPTACLE SWITCH |
| 8   | 118    | RECESSED WINDOW RECEPTACLE SWITCH | SW   | 100     | 10'    | RECESSED WINDOW RECEPTACLE SWITCH |
| 9   | 119    | RECESSED WINDOW RECEPTACLE SWITCH | SW   | 100     | 10'    | RECESSED WINDOW RECEPTACLE SWITCH |
| 10  | 120    | RECESSED WINDOW RECEPTACLE SWITCH | SW   | 100     | 10'    | RECESSED WINDOW RECEPTACLE SWITCH |

**18 GENERAL NOTES**  
SCALE: N/A

1. ALL WIRING SHALL BE PERMITTED AS PER THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNAL CODE (NFPA 72).
2. ALL WIRING SHALL BE PERMITTED AS PER THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNAL CODE (NFPA 72).
3. ALL WIRING SHALL BE PERMITTED AS PER THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNAL CODE (NFPA 72).
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15. ALL WIRING SHALL BE PERMITTED AS PER THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNAL CODE (NFPA 72).

**19 ELECTRICAL SYMBOLS & ABBREVIATIONS**  
SCALE: N/A

SYMBOL DESCRIPTION

- 1. RECESSED WINDOW RECEPTACLE SWITCH
- 2. RECESSED WINDOW RECEPTACLE SWITCH
- 3. RECESSED WINDOW RECEPTACLE SWITCH
- 4. RECESSED WINDOW RECEPTACLE SWITCH
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- 10. RECESSED WINDOW RECEPTACLE SWITCH
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- 12. RECESSED WINDOW RECEPTACLE SWITCH
- 13. RECESSED WINDOW RECEPTACLE SWITCH
- 14. RECESSED WINDOW RECEPTACLE SWITCH
- 15. RECESSED WINDOW RECEPTACLE SWITCH
- 16. RECESSED WINDOW RECEPTACLE SWITCH
- 17. RECESSED WINDOW RECEPTACLE SWITCH
- 18. RECESSED WINDOW RECEPTACLE SWITCH
- 19. RECESSED WINDOW RECEPTACLE SWITCH
- 20. RECESSED WINDOW RECEPTACLE SWITCH

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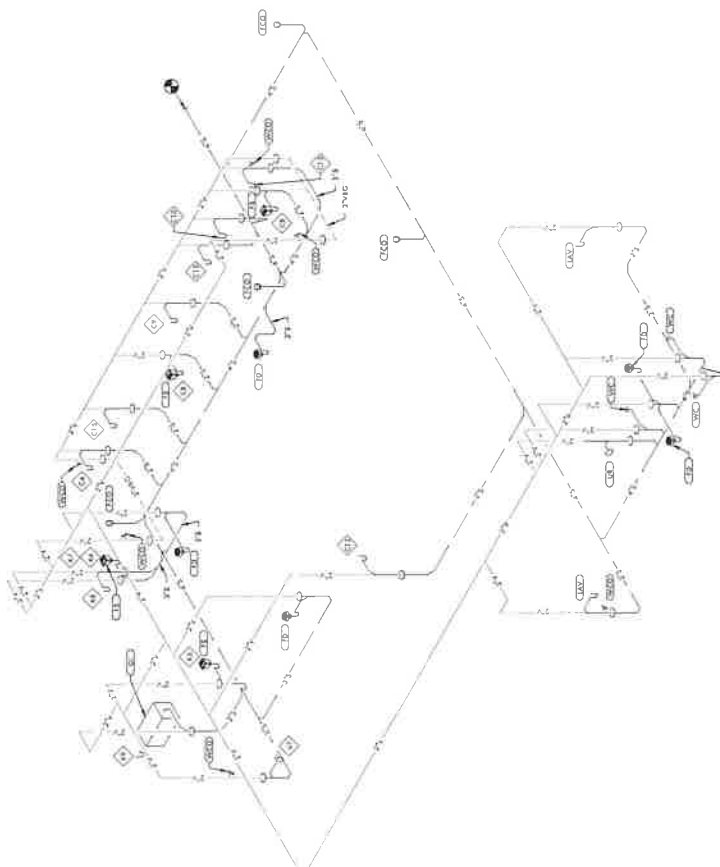
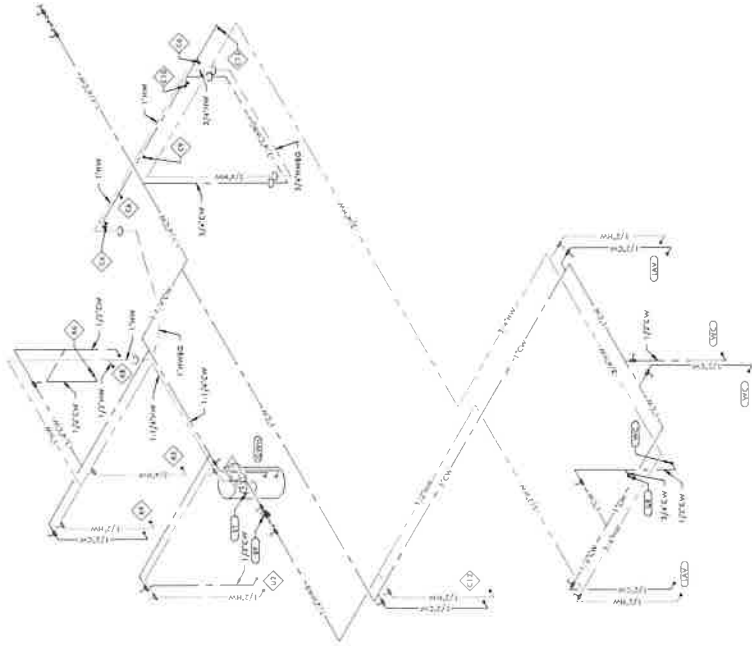








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18 WATER RISER  
 SCALE: NTS

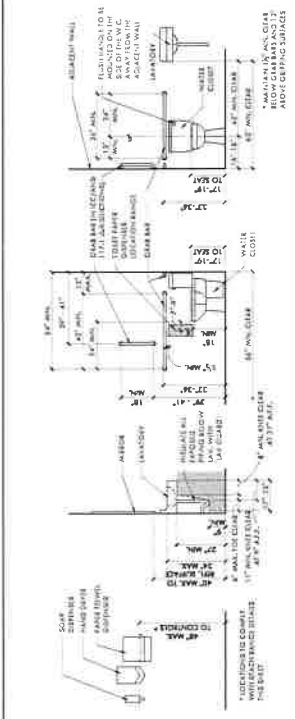
20 WASTE AND VENT RISER  
 SCALE: NTS

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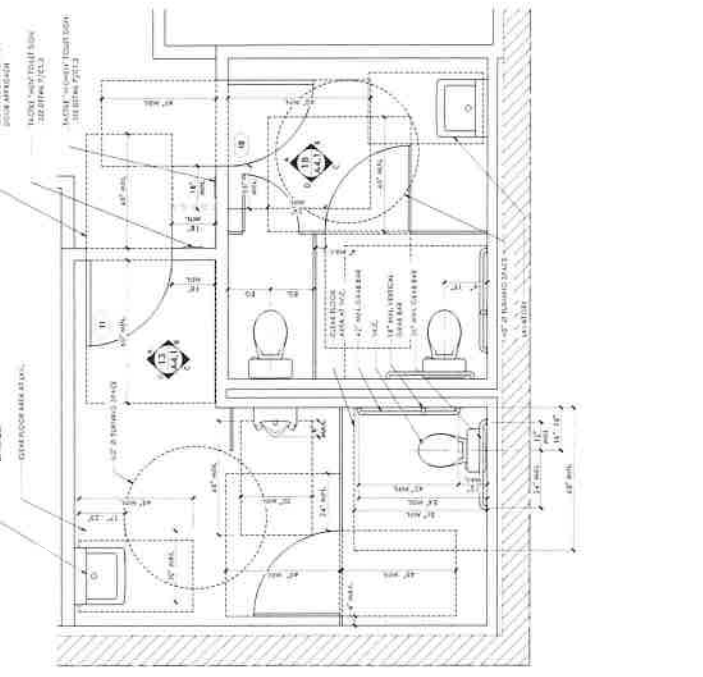


**2 TYPICAL ACCESSIBLE TOILET COMPLIANCE DETAILS**  
SCALE: 3/4" = 1'-0"

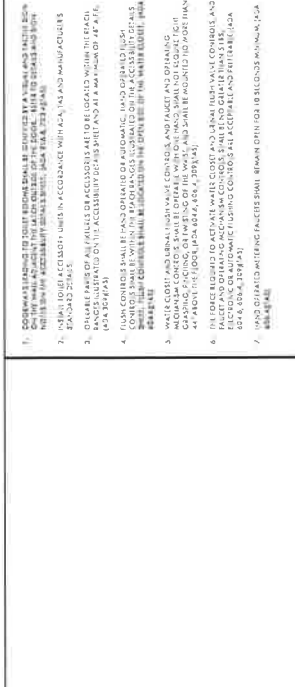
1. COMMERCIAL TOILET ROOMS SHALL BE EQUIPPED BY THE MANUFACTURER WITH THE FOLLOWING ACCESSIBILITY FEATURES:
  - 1.1. TOILET SEAT SHALL BE ADJUSTABLE TO A HEIGHT OF 17" TO 19" TO THE TOP OF THE SEAT.
  - 1.2. TOILET BOWL SHALL BE ADJUSTABLE TO A HEIGHT OF 17" TO 19" TO THE TOP OF THE BOWL.
  - 1.3. TOILET BOWL SHALL BE ADJUSTABLE TO A HEIGHT OF 17" TO 19" TO THE TOP OF THE BOWL.
  - 1.4. TOILET BOWL SHALL BE ADJUSTABLE TO A HEIGHT OF 17" TO 19" TO THE TOP OF THE BOWL.
  - 1.5. TOILET BOWL SHALL BE ADJUSTABLE TO A HEIGHT OF 17" TO 19" TO THE TOP OF THE BOWL.
  - 1.6. TOILET BOWL SHALL BE ADJUSTABLE TO A HEIGHT OF 17" TO 19" TO THE TOP OF THE BOWL.
  - 1.7. TOILET BOWL SHALL BE ADJUSTABLE TO A HEIGHT OF 17" TO 19" TO THE TOP OF THE BOWL.
  - 1.8. TOILET BOWL SHALL BE ADJUSTABLE TO A HEIGHT OF 17" TO 19" TO THE TOP OF THE BOWL.
  - 1.9. TOILET BOWL SHALL BE ADJUSTABLE TO A HEIGHT OF 17" TO 19" TO THE TOP OF THE BOWL.
  - 1.10. TOILET BOWL SHALL BE ADJUSTABLE TO A HEIGHT OF 17" TO 19" TO THE TOP OF THE BOWL.
  - 1.11. TOILET BOWL SHALL BE ADJUSTABLE TO A HEIGHT OF 17" TO 19" TO THE TOP OF THE BOWL.
  - 1.12. TOILET BOWL SHALL BE ADJUSTABLE TO A HEIGHT OF 17" TO 19" TO THE TOP OF THE BOWL.
  - 1.13. TOILET BOWL SHALL BE ADJUSTABLE TO A HEIGHT OF 17" TO 19" TO THE TOP OF THE BOWL.
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  - 1.17. TOILET BOWL SHALL BE ADJUSTABLE TO A HEIGHT OF 17" TO 19" TO THE TOP OF THE BOWL.
  - 1.18. TOILET BOWL SHALL BE ADJUSTABLE TO A HEIGHT OF 17" TO 19" TO THE TOP OF THE BOWL.
  - 1.19. TOILET BOWL SHALL BE ADJUSTABLE TO A HEIGHT OF 17" TO 19" TO THE TOP OF THE BOWL.
  - 1.20. TOILET BOWL SHALL BE ADJUSTABLE TO A HEIGHT OF 17" TO 19" TO THE TOP OF THE BOWL.

**5 ACCESSIBLE TOILET COMPLIANCE NOTES**

1. CLEAR FLOOR SPACE: CLEAR FLOOR SPACE SHALL BE PROVIDED FOR APPROXIMATELY 50% OF THE TOILET ROOMS. CLEAR FLOOR SPACE SHALL BE PROVIDED FOR APPROXIMATELY 50% OF THE TOILET ROOMS.
2. CLEAR FLOOR SPACE: CLEAR FLOOR SPACE SHALL BE PROVIDED FOR APPROXIMATELY 50% OF THE TOILET ROOMS. CLEAR FLOOR SPACE SHALL BE PROVIDED FOR APPROXIMATELY 50% OF THE TOILET ROOMS.
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**20 ENLARGED TOILET PLAN**  
SCALE: 1/4" = 1'-0"



**18 ACCESSIBILITY COMPLIANCE PLAN**  
SCALE: 1/4" = 1'-0"

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- [Owner Search](#)
- [Address Search](#)
- [Account Search](#)
- [Fiduciary Search](#)

### Property Tax Balance

**All tax information refers to the 2018 Tax Year, unless otherwise noted, i.e. "Prior Year Amount Due". Amounts due include penalty, interest, and collection fees if applicable.**

**Account Number:** 00000184873000000

**Address:**  
 GREENVILLE PARKS LP  
 P O BOX 181811  
 ARLINGTON, TX 76096-1811

**Property Site Address:**  
 1904 GREENVILLE AVE, DA

**Legal Description:**  
 EUREKA ADDN  
 BLK 1907 LOTS 3 & 4  
 INT201600089570 DD04042016 CO-DC  
 1907 000 00300 1001907 000

**Current Tax Levy:** \$10,797.66

**Current Amount Due:** \$0.00

**Prior Year Amount Due:** \$0.00

**Total Amount Due:** \$0.00

**eStatement Enrollment**

**Enroll in eStatements to receive your 2019 Current Tax Statement by email in October, 2019.**

**Market Value:** \$379,500  
**Land Value:** \$134,000  
**Improvement Value:** \$245,500  
**Capped Value:** \$0  
**Agricultural Value:** \$0  
**Exemptions:** None

- [Current Tax Statement](#)
- [Summary Tax Statement](#)
- [Taxes Due Detail by Year and Jurisdiction](#)
- [Payment Information](#)
- [Composite Receipt \(pending payments are not included\)](#)
- [Request an Address Correction](#)

[Click Here](#) to see your estimated amount due for a future date. You can see this information by year and by both year and jurisdiction.

**JOHN R. AMES, CTA, TAX ASSESSOR/COLLECTOR**  
**Dallas County Tax Office**  
**P O BOX 139066**  
**DALLAS, TEXAS 75313-9066**

055  
ATTN: C  
608

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DALLAS COUNTY TAX OFFICE  
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Dallas, Texas 75270  
214-653-7811

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DEPARTMENT OF OCCUPANCY

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# PROPOSED REZONING



CASE NO: Z189-167

MAXIMUM \$2000 FINE FOR REMOVAL OF THIS SIGN PRIOR TO PUBLIC HEARING DATE



City of Dallas

FOR MORE INFORMATION CALL: 214-670-4209

<https://developmentdata.dallascityhall.com>

**SPECIFIC USE PERMIT FOR LATE HOURS**

USE: The only use allowed by this specific use permit is a late hours permit for operating hours past 12 A.M. in PD 842

HOURS OF OPERATION: Thursday through Sunday with weekday hours starting at 4:00 P.M. and weekend hours beginning at 2:00 P.M.

TIME PERIOD: This specific use permit is request for a two year time period with two year automatic renewals.

055 Attch C 71

**Lot & Block**

Eureka Addition, Block 1907, Lots 3 & 4

**List of Partners**

Greenville Parks, L.P.

Skylight Parks, L.L.C.

Ryan Tinch, Partner

Michael Farah, Partner

## Land Use Statement

### The Site

Located at 1906 Greenville Avenue in between La Vista Drive and Alta Avenue of the Eureka Addition, Block 1907, Lots 3 & 4.

### Site Zoning

The Site is currently zoned Planned Development District No. 842, the Lower Greenville Avenue Special Provision District.

### Surrounding Land Use & Zoning

The site is located on Lower Greenville. To the north is retail and restaurant uses within PD 842. To the east is multifamily (MF-2) zoning. To the south is retail and restaurant uses within PD 842. To the west is restaurant with drive-in within PD 842.

### The Request

A Late Hours Permit requires an SUP under PD 842. This location has a current Certificate of Occupancy for Commercial Amusement (Inside) issued in 2017. Voicebox, a popular, expanding karaoke business, is looking to use the space for their concept. Their focus is on karaoke and they will have a Certificate of Occupancy as a restaurant. The applicant proposes indoor uses only. The business operates Thursday through Sunday, with weekday hours starting at 4PM and weekend hours beginning at 2PM. Parties book the karaoke suites in advance online and arrive at their appointment time.



BDA189-055

ATTACH D

P51

**Long, Steve**

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**From:** Michael Farah <mfarah@farahlegal.com>  
**Sent:** Friday, August 09, 2019 10:40 AM  
**To:** Long, Steve  
**Cc:** Ryan B. Tinch; Monica Wright; Vinson, Jonathan  
**Subject:** BDA 189-055; 1906 Greenville Avenue supplemental documentation  
**Attachments:** Jake Sherrington Letter.pdf; Richard Moreno Letter.pdf

Steve:

Please see the two attached support letters for our appeal for the above listed case. You will also be receiving support letters directly from Dallas Cothrum for our file, and a summary letter from Jonathan Vinson.

Let me know if you have any questions or concerns.

Sincerely,

Michael Farah  
The Farah Law Firm, P.C.  
2170 Matlock Road #110  
Mansfield, TX 76063  
P: (817)-467-1889  
F: (817)-801-7831  
Mfarah@Farahlegal.com

LAW FIRM LOCATIONS:

AUSTIN / ASPEN LAKE: 13785 Research Blvd. Ste. 125 Austin, TX 78750

P: (512) 686-2841 F: (888) 850-3312

SAN ANTONIO / SONTERRA: 401 E. Sonterra Blvd. Ste. 375 San Antonio, TX 78258

P: (210) 504-5046 F: (888) 850-3312

SUGAR LAND / TOWN SQUARE: 2245 Texas Dr. Ste. 300 Sugarland, TX 77479

P: (281) 369-5746 F: (888) 850-3312

\*Principal Office in Mansfield

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BDA 184-055  
Attch D  
PS 2

Moreno Printing Services  
1910 Greenville Ave  
Dallas, TX 75206

July 23, 2019

Via email to: [steve.long@dallascityhall.com](mailto:steve.long@dallascityhall.com)

Steve Long  
City of Dallas  
320 E. Jefferson Blvd  
Room 105  
Dallas, TX 75203

To:

Re: Support of Applicant of 1906 Greenville Ave in Rezoning Case #Z189-167

As the owner of 1910 Greenville since 1968, the neighboring owner of 1908 and 1904/6 Greenville Ave properties, I am in support of the applicant. The owners of the property are heavily invested in their properties, seeing these properties occupied, and bettering the area. This is the last block on Greenville to be improved following the long transformational street construction incurred by the city. I support the measures this ownership is enduring to help lease the properties including approval for a Tenant's late-night SUP application.

Sincerely,



Richard Moreno  
Owner, Moreno Printing Services

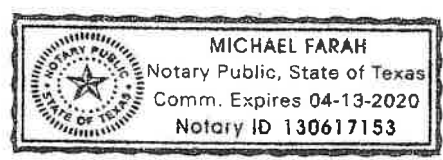
(notary attached)

BDA108-055  
A4-01 D  
PS 3

STATE OF TEXAS  
COUNTY OF DALLAS

BEFORE ME, the undersigned Notary Public, on this day personally appeared  
Richard Moreno, known to me to be the  
Person whose name is subscribed to the foregoing instrument, and acknowledged to me  
that he executed the same for the purposes and consideration therein expressed, and in the  
capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this 23 day of July, 2019



*[Handwritten Signature]*

Notary Public in and for the State of Texas

BDA189-055  
Attch D  
p 5 4



July 30, 2019

Via email to: [steve.long@dallascityhall.com](mailto:steve.long@dallascityhall.com)

Steve Long  
City Of Dallas  
1500 Marilla Street, Room 5BN  
Dallas, Texas 75201

To: Board of Adjustment Panel B

Re: Support of Applicant of 1906 Greenville Ave in BDA189-055(SL)

As the representing listing agent of 1904/06 Greenville Ave since September 27, 2017 I have actively worked to solicit a commercial operator whose is a favorable concept that I believe will complement the area, is a use that is permitted by the existing zoning, and is a quality operator that can have a chance to run a sustainable business. The co listing agent on the property Thomas Glendenning and I have spoken with many interested parties to which were not a fit due to a variety of reasons and out of all the prospects we believe the existing operator Voicebox remains the best fit.

I have worked as a leasing agent on multiple properties in the Lower Greenville Ave area and have had numerous listings throughout the DFW metroplex for over 6 years. I am a commercial project leasing specialist to which is my full time career. Our firm, the Shop Companies, discovered the interest of Voicebox to open a location in Dallas and pursued these interests resulting in a signed letter of intent and a fully executed lease. Negotiation efforts and Letters of Intent began with Voicebox in April of 2018. I am in support of the applicant who have continually worked for over 3 years to see the property occupied and improved.

We believe the property should be inhabited by its existing user and hope to see the overall health of Lower Greenville thrive.

Commercial Real Estate Agent

A handwritten signature in black ink, appearing to read 'Jake Sherrington', is written over the typed name and company name.

Jake Sherrington  
The Shop Companies

(notary attached)

BDA189-055  
A4-1D  
PSS

STATE OF TEXAS  
COUNTY OF DALLAS

BEFORE ME, the undersigned Notary Public, on this day personally appeared

Jake Shemington, known to me to be the

Person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed, and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this 30 day of July, 2019



A handwritten signature in dark ink, appearing to be "Diana Bukolt", written over a horizontal line.

Notary Public in and for the State of Texas



BDA189-055  
KAC D  
ps 6

August 9<sup>th</sup>, 2019

Dear Mr. Long,

I am offering this letter for the Board of Adjustment to explain the efforts of Masterplan and provide some analysis of the unusual events at 1906 Greenville Avenue. This letter is being provided so that the members of the Board of Adjustment might benefit from the additional information our firm has garnered through our extensive time working on the property.

Further, in the nearly 40-year history of Masterplan, I cannot recall as much unusually invasive interference from the office of a member of the City Council (at the insistence of a spouse who clearly had a conflict of interest) on what surely is an administrative matter. This interference at the direction of the Councilmember resulted in overturning the previous actions of the Board of Adjustment—something councilmembers are expressly not allowed to do; and driving the Building Official to revoke the Certificate of Occupancy. In fact, the rules strictly limit the Council from participation in matters that go to the Board because of the Board's quasi-judicial status.

Masterplan is not actively working on this case on behalf of the property owner and is representing the tenant who has a lease on the property in this matter. Our firm has no financial interest in the findings of the Board. Masterplan has been representing the prospective client, Voicebox since December 12<sup>th</sup>, 2018. Voicebox intends to obtain a Certificate of Occupancy at 1906 Greenville Avenue and open for business to the public.

Prior to working for Voicebox, Masterplan completed work on this site and the Board of Adjustment granted a finding that there had been extraordinary circumstances and, as such, it warranted restoring the delta credits for the building per BDA156-010. The property was then issued a Certificate of Occupancy, CO#1704261114, on May 18, 2017 which was completed on June 26, 2017. The space was leased to Greenville Ave Event Center to offer a space to be leased for events. In my estimation the owners made every effort to lease the facility to a more permanent tenant with one vitally important exception: while not a condition of the Board's findings, the owners told neighbors that had opposed the restitution of the delta credits that they would not lease the facility to a bar—and they did not. Although, the site technically had enough parking through delta credits for a bar to obtain a Certificate of Occupancy. I have worked on non-conforming properties with parking challenges on Greenville Avenue for more than 20 years and our firm even longer. It is worth noting that leasing a property without ANY solely deciated parking spaces is very challenging.

The owners made consistent efforts to lease the building. and it was always available for lease both long term and on an occasional basis for events.

BDA.09-055  
AH-a D  
P57

The City of Dallas does not typically revoke Certificates of Occupancy when something does not lease. The revocation of the Certificate of Occupancy was based on Sec.306.13(7) which states, the use or occupancy authorized by the Certificate of Occupancy has been discontinued for six months or more. While this is an administrative procedure per the regulations detailed in Ch. 52, I find it uncommon for City staff to base a revocation on such meniscal information of “low” water usage. Nowhere in the ordinance or other applicable codes does it state that “low” water usage means a use has been vacated, especially considering there is clearly a fully executed binding lease on the property.

For context, when a new apartment building has completed construction and obtained their Certificate of Occupancy it can take many, many months to rent all the units in a building—sometimes well over multiple years. The city does not revoke the Certificate of Occupancy when units are failed to be rented. The Board may recall that during the recession vacant office buildings and shopping centers stood vacant for several years. In particular, the Shops at Park Lane failed to fully lease for almost a decade—without the city revoking Certificates of Occupancy, so too for the Victory project. One of the mixed-use projects at 2222 Medical District Drive was never fully occupied with ground floor retail until 2016 although the structure completed construction in December of 2005. It only occurred because Parkland Hospital needed temporary office facilities, but the city had no problem providing a Certificate of Occupancy. I cite these examples to demonstrate that staff was directed by the Council office to deliver an outcome – ensure that the building could never be leased. Otherwise, City staff simply does not have the manpower or time to monitor all uses in the City of Dallas to ensure all Certificates of Occupancy are revoked as soon as the vacant timeline has exceeded a 6-month window.

The following timeline and materials attached illustrate that as soon as Masterplan filed a zoning case for SUP for late night hours, problems emerged. It is to no ones benefit to have the property to continue to be vacant especially considering there is an active tenant who is pursuing opening. I would ask that the Board consider returning the delta credits and allowing the property to be occupied by the existing use which seems the most reasonable outcome. No one benefits from keeping the property unoccupied and without hope of it being used again. Further, the Board of Adjustment should not be a political entity subject to personal preferences of Councilmembers, nor should city staff be forced to conduct administrative actions favoring Councilmember preferential matters.

Regards,



Dallas Cothrum, Ph.D.

Masterplan, CEO

## Timeline

Original Board of Adjustment Filing – 12/16/2015

Original Board of Adjustment Hearing – 2/16/2016

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Masterplan Executed Agreement with Voicebox – 12/12/2018

Filing for Zoning Case for Late Hours (for Voicebox) – 01/07/2019

### Issues with Late Hours Zoning Case (2019):

**January 30<sup>th</sup>** – Planner for Late Hours SUP sends out early notification list **(10:04 AM)**

- Melissa Kingston emails Philip referencing early notifications list email header questioning parking, CO, address, etc. **(1:43 PM)**
- Philip responds to Melissa “Want me to ask?” **(2:14 PM)**
- Melissa sends an email wishing him to pursue it stating, “I smell a masterplan rat” and questions parking agreements and wants a copy of all of them. **(2:26 PM)**
- Philip emails David Cossum – “Any idea how they got a CO without parking?” **(2:30 PM)**
- David emails Megan Wimer & Ann Hamilton asking them to look at the parking and deltas pertaining to the BDA case. **(2:52 PM)**

**January 30<sup>th</sup>** – “the city reinstated deltas on 1904 Greenville in 2015. Shouldn’t have, but they did.” – Melissa Kingston in her first email to Philip regarding the CO & parking

**January 31<sup>st</sup>** – “Modified Delta Overlay No. 1 establishes standards whereby the Board can reinstate deltas. The standards are detailed in the report included in the minutes and those standards do not include negative impacts of reinstating but focus on whether there was ‘an intent to abandon.’” – David Cossum to Philip Kingston

**February 13<sup>th</sup>** – “many blatant violations of the rules smells bad to me” – Philip Kingston to Kris Sweckard



BDA 189 -051  
attach D  
PS ↑

**February 19<sup>th</sup>** – “they have not used significant water at this location for over an [sic] year”  
...“take appropriate action to revoke the CO based on Chapter 52-306.13(7) and notify them of the loss of delta credits per MD-1.” – Phil Sikes

**February 24<sup>th</sup>** – “I know this thing is a nightmare.” – Megan Wimer to staff (Ann Hamilton & Irma Hayes) instructing them to finish the report for her to make her final letter.

**February 25<sup>th</sup>** – “August 2018 – record update to CO” – David Cossum outlining the pertinent dates to Phil Sikes

**February 26<sup>th</sup>** – “I’m working on it right now!” – Megan Wimer pertaining to the letter that will be sent notifying us of the loss of delta credits (this is the day it was revoked on the city’s database)

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Issues with Zoning Case (neighborhood/councilmember) **01/30/2019 – Present**

CO Revoked (officially – date of letter to Hollis Bloom) – **02/28/2019**

Filing for new Board of Adjustment case – **03/29/2019**

Masterplan’s Removal from Board of Adjustment case – **05/20-27/2019** – officially on **06/11/2019**



BDA-189-055  
Attch. D  
PS 10

August 9<sup>th</sup>, 2019

Dear Mr. Long,

I am writing this letter to the Board of Adjustment for the purpose of giving an outline of our work on behalf of Voicebox to acquire their alcohol permit and the subsequent failure to do so for their Dallas location. We were contracted by Voicebox in order to obtain a license to sell alcohol as a restaurant with a Mixed Beverage Permit (MB) with a Food and Beverage Certificate (FB).

The Texas Alcoholic Beverage Commission (TABC) has specific licenses for specific businesses. Some restaurants only intend to serve beer and wine and would secure a specific permit for the sale of only beer and wine. The Mixed Beverage Permit (MB) with a Food and Beverage Certificate (FB) is a common license for restaurants who want to serve liquor, beer and wine along with food offerings. A Food and Beverage Certificate (FB) is an additional permit for locations that have a full menu, in this case, Voicebox. TABC requires a full menu that includes main entrées that have substantial nutritional value. This does not include simple offerings of nachos, fries or chips, but full dishes that are prepared in a kitchen and would meet the layman's understanding of a main dish or entrée.

We began working on their permit in late 2018 after being contracted on December 12<sup>th</sup>, 2018. Through our communications with Voicebox, we started gathering all necessary documentation for them to proceed with their application to the TABC to acquire a Mixed Beverage Permit (MB) with a Food and Beverage Certificate (FB), standard for many restaurants along Greenville Avenue. As we started to prepare the application, we were alerted in February that there were some issues regarding their Certificate of Occupancy for their location on Greenville Avenue. Due to the nature of TABC applications, if there is not a Certificate of Occupancy at the location, the process comes to a halt. Without the City of Dallas being able to sign off on the application verifying an active Certificate of Occupancy, our work on their location stopped.

I've included a timeline listed below of our efforts to help Voicebox obtain their alcohol permit at their Greenville Avenue location. We unfortunately had to move our work on their Dallas permit to their new Fort Worth location in late April 2019 due to the issues arising from lack of Certificate of Occupancy on their Dallas site. I hope that this letter provides information that Voicebox was honest in their effort to obtain a Certificate of Occupancy as a restaurant and not a bar and that they had every intention of operating a business the right way and going through all necessary governmental hurdles in order to open their establishment.

Regards,

  
Veronica Martinez

BDA-09-055  
AHL D  
PS 11

## Timeline

**12/12/2018** – Received email from CFO with contact information with Voicebox.

**12/14/2018** – Introductory email sent to Voicebox along with checklist for alcohol permit. Informed Voicebox that the entity that will be used for the liquor permit will need to be registered in Texas as well as the owner will need a background check as he is not a Texas resident.

**12/21/2018** – Received completed checklist for alcohol permit. At the time, there was a concern from Voicebox that they were too close to a school. Masterplan confirmed that they met the 300' distance requirement.

**1/18/2019** – Received email from Voicebox; stated they had ordered documents from Delaware to register as an entity in Texas and began drafting a personal history sheet for Voicebox applicant.

**1/23/2019** – Received email from Voicebox, owner was fingerprinted and background check was ordered from Oregon State Police. Stated they would be in Dallas on February 2<sup>nd</sup>, 2019 and wanted to take care of any paperwork on their visit to Texas.

**1/29/2019** – Voicebox confirmed that they will be in office at 3PM on February 2<sup>nd</sup>, 2019.

**2/1/2019** – Voicebox came in to sign documents for Greenville Ave. location; also met with Masterplan staff.

**2/5/2019** – Received background check from Voicebox.

**4/23/2019** – Received communication to reassign license from Dallas to a Fort Worth location. Payment for alcohol license for Dallas would be applied to their new Fort Worth location.

BDA 189-055  
AHL E

**Long, Steve**

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**From:** Michael Farah <mfarah@farahlegal.com>  
**Sent:** Friday, August 09, 2019 12:59 PM  
**To:** Ryan B. Tinch  
**Cc:** Bill Dahlstrom; Michael W Moran; Long, Steve; jvinson@jw.com  
**Subject:** Re: BDA 189-055; 1904/1906 Greenville Avenue

PS!

That is confirmed. Mr. Vinson represents us in this matter.

On Fri, Aug 9, 2019 at 10:54 AM Ryan B. Tinch <[ryan@hollisbloom.com](mailto:ryan@hollisbloom.com)> wrote:

Mr. Long - My partner in Greenville Parks LP Michael Farah the applicant is traveling. I am the additional partner in Greenville Parks LP. Please allow this email to confirm that the Jackson Walker Law Firm is in fact representing us (Greenville Parks LP) at the upcoming August Board of Adjustments appeal hearing related to 1904/6 Greenville Ave. Should there be any questions, please contact me in Michael's absence.

Thank You  
Ryan B. Tinch  
Limited Partner  
Greenville Parks LP

Begin forwarded message:

**From:** "Vinson, Jonathan" <[jvinson@jw.com](mailto:jvinson@jw.com)>  
**Date:** August 9, 2019 at 12:08:34 PM CDT  
**To:** "Long, Steve" <[steve.long@dallascityhall.com](mailto:steve.long@dallascityhall.com)>  
**Cc:** Michael Farah <[mfarah@farahlegal.com](mailto:mfarah@farahlegal.com)>, "Ryan B. Tinch" <[ryan@hollisbloom.com](mailto:ryan@hollisbloom.com)>, "Moran, Michael" <[mmoran@jw.com](mailto:mmoran@jw.com)>, "Dahlstrom, Bill" <[wdahlstrom@jw.com](mailto:wdahlstrom@jw.com)>  
**Subject:** BDA 189-055; 1904/1906 Greenville Avenue

Good afternoon, Steve, I have attached an additional item for inclusion in the Panel B packet for our August 21 hearing on BDA 189-055. This letter makes reference to a number of the items which Mr. Michael Farah sent to you by email on July 31, so I assume those items will be included in the packet per Staff's normal practice. Thanks very much, Steve.

*Jonathan G. Vinson*  
*Partner, Land Use Group*

Michael Farah  
The Farah Law Firm, P.C.  
2170 Matlock Road #110  
Mansfield, TX 76063  
P: (817)-467-1889  
F: (817)-801-7831  
Mfarah@Farahlegal.com

Jonathan G. Vinson  
(214) 953-5941 (Direct Dial)  
(214) 661-6809 (Direct Fax)  
jvinson@jw.com

August 9, 2019

*Via Email to [steve.long@dallascityhall.com](mailto:steve.long@dallascityhall.com)*

Hon. Chair and Members, Panel B  
Zoning Board of Adjustment  
c/o Mr. Steve Long, Senior Planner  
Department of Sustainable Development and Construction  
City of Dallas  
1500 Marilla Street, Room 5BN  
Dallas, Texas 75201

Re: BDA 189-055: 1904/1906 Greenville Avenue

Dear Members of the Board of Adjustment:

As you will recall from your June 19 hearing, we represent Greenville Parks, L.P., The owner of the property located at 1904/1906 Greenville Avenue. We will be reappearing before you at your hearing on August 21, along with the Tenant who currently has a Lease on the property, to further explain the factual background in much more detail.

This letter also reaffirms our investigation into the specific events that took place that clearly support our position that the use was, and continued to be, active in the property until and after the City Staff's revocation letter. It is our position that a use cannot be deemed to be "vacant" when there is a legally binding Lease on the property for exactly that use. Additionally, we have submitted substantial evidence that Greenville Parks L.P. complied with the City-approved Land Use Statement as being a space available for rent to the public by appointment only.

First, we note that the first Certificate of Occupancy for the Commercial amusement (inside) use was issued on June 26, 2017. There was a second C.O., which was for a change in ownership only, not a change in use, issued by the City on August 30, 2018. We must assume that prior to the issuance of that second C.O., whatever review process the City deemed to be necessary and appropriate was undertaken. We therefore must further assume that the City found no issues in August, 2018, when the second C.O. was issued.

23623410v.1

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Further, we would draw your attention to the fact that the May 10, 2017, land use statement provided to the City clearly states that the location was to be used as a Commercial amusement (inside) use for “corporate office meetings, wedding receptions, reunions, holiday gatherings, gala dinners for private events/banquets”, that is, a space for special events, a not at all uncommon type of venue.

The statement further says that the location “will be open for customers by appointment only” and that “hours of operation varies based upon rental use”. This property has continually for this entire time been marketed both for such short-term rental use, that is, for special events, as well as for potential longer-term users.

In fact, the owners have a Letter of Intent dated October 26, 2018, regarding leasing of the subject premises to an operator named Voicebox. There is also an executed Lease Agreement dated January 23, 2019, with Voicebox for lease of the premises. As you are probably aware, the leasing of commercial property is much different than the leasing of a residential dwelling, and takes a much longer lead time with regard to negotiation of the lease and other matters. Thus, these discussions had been ongoing for months leading up to execution of the Lease Agreement.

In addition, the applicant has provided to the City Staff a number of items which are strong evidence further supporting our contention that the use was never discontinued, all of which should appear in your packet, but to summarize, these items include the following:

1. A support letter from Jake Sherrington of The Shop Companies, who is the listing agent for the property, stating that his company has actively worked to solicit a commercial operator for the property, and further stating that the “existing operator Voicebox remains the best fit”.

2. A series of renderings produced by Voicebox showing how they would propose to greatly upgrade and utilize the property. Clearly, they would not have gone to the trouble and expense of producing these renderings had they not entered into the Lease with the full intention of using the property.

3. A copy of the Lease Agreement with Voicebox, dated January 23, 2019. This is a fully executed copy and further shows that not only was the property intended to be used by Voicebox as soon as they could move in, but it logically follows that the owners had obviously been actively soliciting tenants prior to the identification of Voicebox and the execution of the Lease.

4. A copy of a receipt from the Current Planning office showing that an application for an S.U.P. for late hours for Voicebox was filed on January 7, 2019. This further underlines the prospective use of the property by Voicebox.

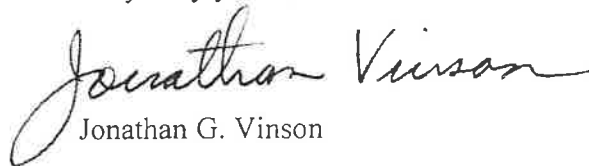
5. A notarized land use statement for 1906 Greenville Avenue, dated May 10, 2017, describing the ongoing and future land use.

6. A copy of the plan set, running multiple pages, prepared by Epoch Design Group, Inc., for Voicebox dated February 22, 2019, to solicit bids for the work of finishing out and improving the property. As you probably know, the preparation of a detailed plan set for the redevelopment and finish-out of a commercial property is very time consuming and very expensive. There is no way that Voicebox would have undertaken this effort without believing that they would be able to obtain a Building Permit and a C.O., and eventually occupy the space.

While there are other items in the packet provided to the City Staff, these are the ones that we believe are especially salient in proving to you that the use of the property was never "discontinued", and, in fact, the owners were working hard to lease the property, found an excellent and suitable tenant in Voicebox, and the result will be a very significant upgrade of this particular property, with its attendant increase in valuation and thus ad valorem tax to the City, while at the same time being a very clear positive for the block and for the surrounding neighborhood.

Our conclusion, again as will be further demonstrated by our testimony before you, is that the Commercial amusement (inside) use has not in any way been "discontinued", and therefore, the decision of the administrative official to revoke the Certificate of Occupancy was made in error, and that the Certificate of Occupancy, along with the accrued delta credits, should be restored. As you may recall from the June 19 hearing, we understood the City Attorney's office to take the position at that hearing that the alleged loss of the delta credits was due to the revocation of the Certificate of Occupancy, so, conversely, if the revocation of the Certificate of Occupancy was ruled to have been done in error, then the delta credits would not be lost. Thank you for your time and your consideration of our position.

Very truly yours,

  
Jonathan G. Vinson

cc: Michael Farah  
Ryan Tinch  
Mike Moran  
Bill Dahlstrom



City of Dallas

APPLICATION/APEAL TO THE BOARD OF ADJUSTMENT

Case No.: BDA 189-055

Data Relative to Subject Property:

Date: March 14th, 2019

Location address: 1906 Greenville Avenue Zoning District: PD842

Lot No.: 3+4 Block No.: 1907 Acreage: 0.079 Census Tract: 48113001101

Street Frontage (in Feet): 1) 50 feet 2) \_\_\_\_\_ 3) \_\_\_\_\_ 4) \_\_\_\_\_ 5) \_\_\_\_\_

To the Honorable Board of Adjustment :

Owner of Property (per Warranty Deed): Greenville Parks, L.P.

Applicant: Michael Farah Telephone: (817) 467-1889

Mailing Address: P.O. Box 181811 Arlington, TX Zip Code: 76096

E-mail Address: Mfarah@farahlegal.com

Represented by: Dallas Cethrum Telephone: (214) 761-9197

Mailing Address: 700 Jackson Street #640 DALLAS, TX Zip Code: 75202

E-mail Address: Dalles@thekaplan.com

Affirm that an appeal has been made for a Variance \_\_, or Special Exception \_\_, of The decision  
of the building official's decision to revoke the current certificate of occupancy  
and subsequent delta credits.

Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to grant the described appeal for the following reason:

The building official revoked the current certificate of occupancy therefore  
eliminating standing delta credits for the site. It is our belief the certificate  
of occupancy and delta credits were revoked in error and should be restored.

Note to Applicant: If the appeal requested in this application is granted by the Board of Adjustment, a permit must be applied for within 180 days of the date of the final action of the Board, unless the Board specifically grants a longer period.

Affidavit

Before me the undersigned on this day personally appeared Michael Farah  
(Affiant/Applicant's name printed)

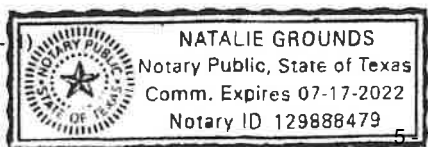
who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner/or principal/or authorized representative of the subject property.

Respectfully submitted: [Signature]  
(Affiant/Applicant's signature)

Subscribed and sworn to before me this 14th day of March 2019

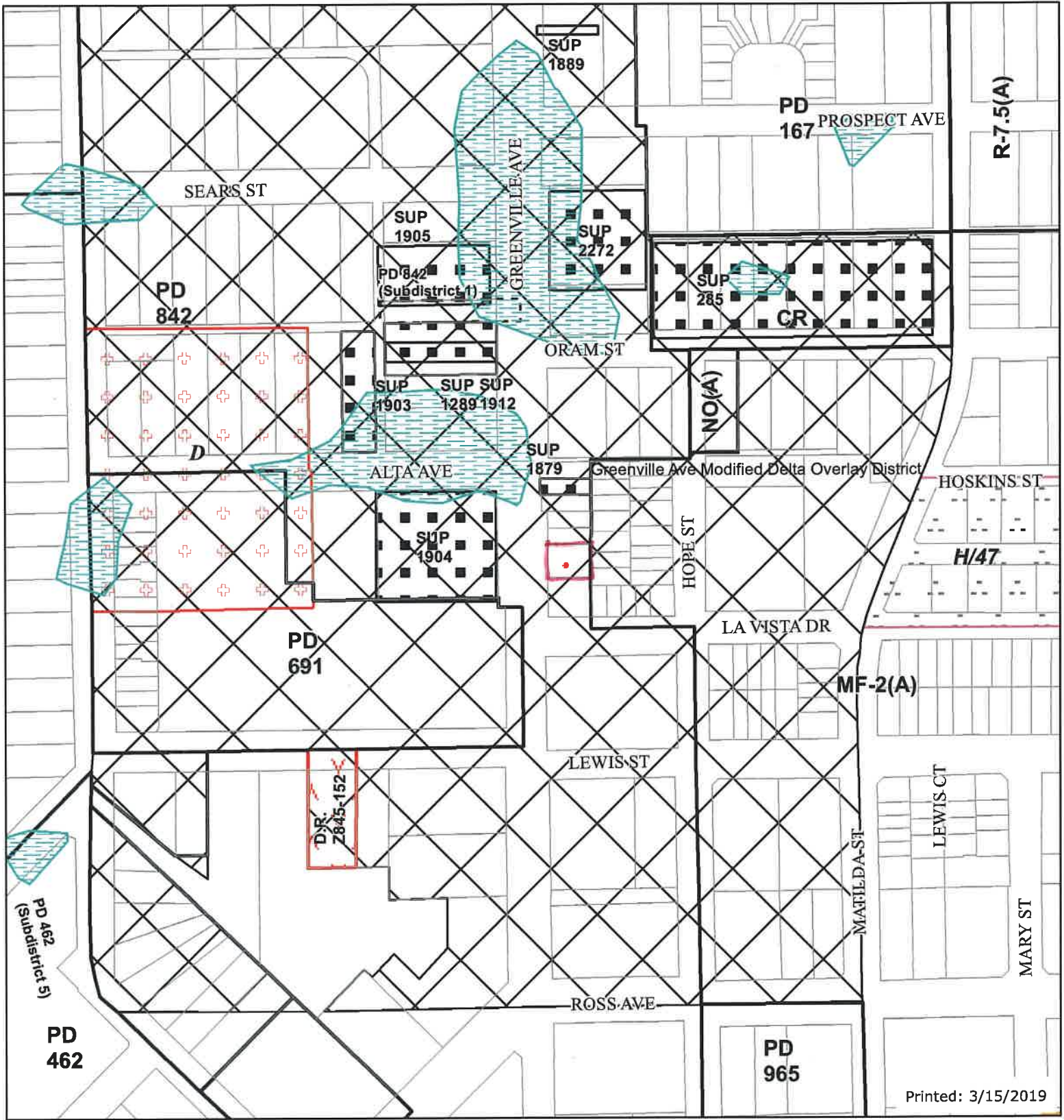
Natalie S  
Notary Public in and for Dallas County, Texas

(Rev. 08-01-









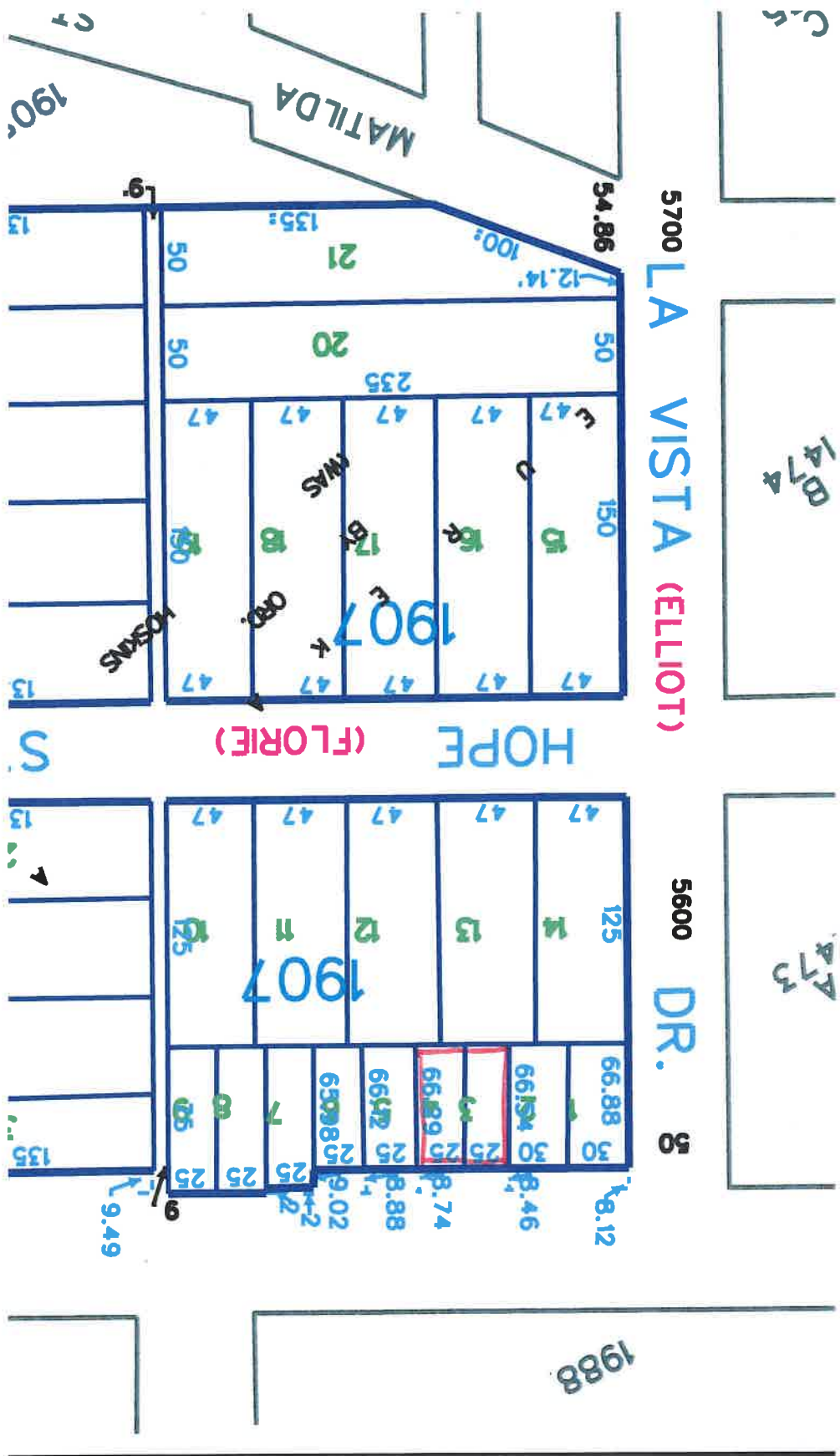
Printed: 3/15/2019

Legend *w.u.*

- |                      |                                |                       |                            |
|----------------------|--------------------------------|-----------------------|----------------------------|
| City Limits          | railroad                       | Dry Overlay           | CD Subdistricts            |
| School               | Certified Parcels              | D                     | PD Subdistricts            |
| Floodplain           | Base Zoning                    | D-1                   | PDS Subdistricts           |
| 100 Year Flood Zone  | PD193 Oak Lawn                 | CP                    | NSO Subdistricts           |
| Mill's Creek         | Dallas Environmental Corridors | SP                    | NSO_Overlay                |
| Peak's Branch        | SPSD Overlay                   | MD Overlay            | Escarpment Overlay         |
| X Protected by Levee | Deed Restrictions              | Historic Subdistricts | Parking Management Overlay |
| Parks                | SUP                            | Historic Overlay      | 5-167 Front Overlay        |
|                      |                                | Height Map Overlay    |                            |

This data is to be used for graphical representation only. The accuracy is not to be taken/used as data produced by a Registered Professional Land Surveyor (RPLS) for the State of Texas. 'This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.' (Texas Government Code § 2051.102)





EXED \_\_\_\_\_  
 /EY R. RAY \_\_\_\_\_  
 ABST. \_\_\_\_\_

ORD. NO. \_\_\_\_\_  
 5 - 138



CITY OF DALLAS

February 28, 2019

CERTIFIED MAIL NO. 7017 1000 0000 9418 8925

Greenville Parks, LP  
2170 Matlock Road #110  
Mansfield, TX 76063

**RE: Revocation of Certificate of Occupancy No. 1704261114 for a commercial amusement (inside) use at 1906 Greenville Avenue ("the Property")**

Dear Greenville Parks, LP:

This letter is to inform you that the above-referenced certificate of occupancy, issued on June 26, 2017, is hereby revoked.

The building official is required to revoke a certificate of occupancy if the use or occupancy authorized by the certificate of occupancy has been discontinued for six months or more.<sup>1</sup> Furthermore, the right to carry forward nonconforming parking and loading spaces under the delta theory terminates when a use is discontinued or remains vacant for 12 months or more.<sup>2</sup>

It has been brought to our attention and confirmed through research, including invoices obtained from Dallas Water Utilities for account number 100820110, that the Property has remained vacant for 12 months or more. Therefore, **Certificate of Occupancy No. 1704261114 for a commercial amusement (inside) use is hereby revoked and the right to carry forward the 33 delta credits that were reinstated by special exception (BDA 156-010) has terminated.** Any use operating on the Property without a certificate of occupancy is an illegal land use that must immediately cease operating.<sup>3</sup> The commercial amusement (inside) use may not operate until a new certificate of occupancy is issued that complies with all city codes.

This decision is final unless appealed to the Board of Adjustment within fifteen days after the date of this letter.<sup>4</sup> If you have any questions, please contact me at 214-948-4501.

Sincerely,

Megan Wimer, AICP, CBO  
Assistant Building Official  
Building Inspection Division

cc: Kris Sweckard, Director, Sustainable Development and Construction  
Lynetta Kidd, Director, Code Compliance  
Phil Sikes, CBO, Building Official  
Kiesha Kay, Chief Planner  
Tammy Palomino, Executive Assistant City Attorney  
Casey Burgess, Executive Assistant City Attorney

<sup>1</sup> Paragraph (7) 306.13, "Revocation of Certificate of Occupancy," of Chapter 52, "Administrative Procedures for the Construction Codes," of the Dallas City Code.

<sup>2</sup> Section 5 of Ordinance No. 19726 which established the Modified Delta Overlay District No. 1 (the Greenville Avenue Modified Delta Overlay District).

<sup>3</sup> Section 51A-1.104, "Certificate of Occupancy," of Chapter 51A of the Dallas Development Code; Subsection 306.1, "Use or Occupancy," of Chapter 52, "Administrative Procedures for the Construction Codes," of the Dallas City Code.

<sup>4</sup> Paragraph (2) of Section 306.15, "Appeals of Actions and Determinations," of Chapter 52, "Administrative Procedures for the Construction Codes," of the Dallas City Code; and Section 51A-4.703(a)(2), "Board of Adjustment Hearing Procedures," of Chapter 51A of the Dallas Development Code.



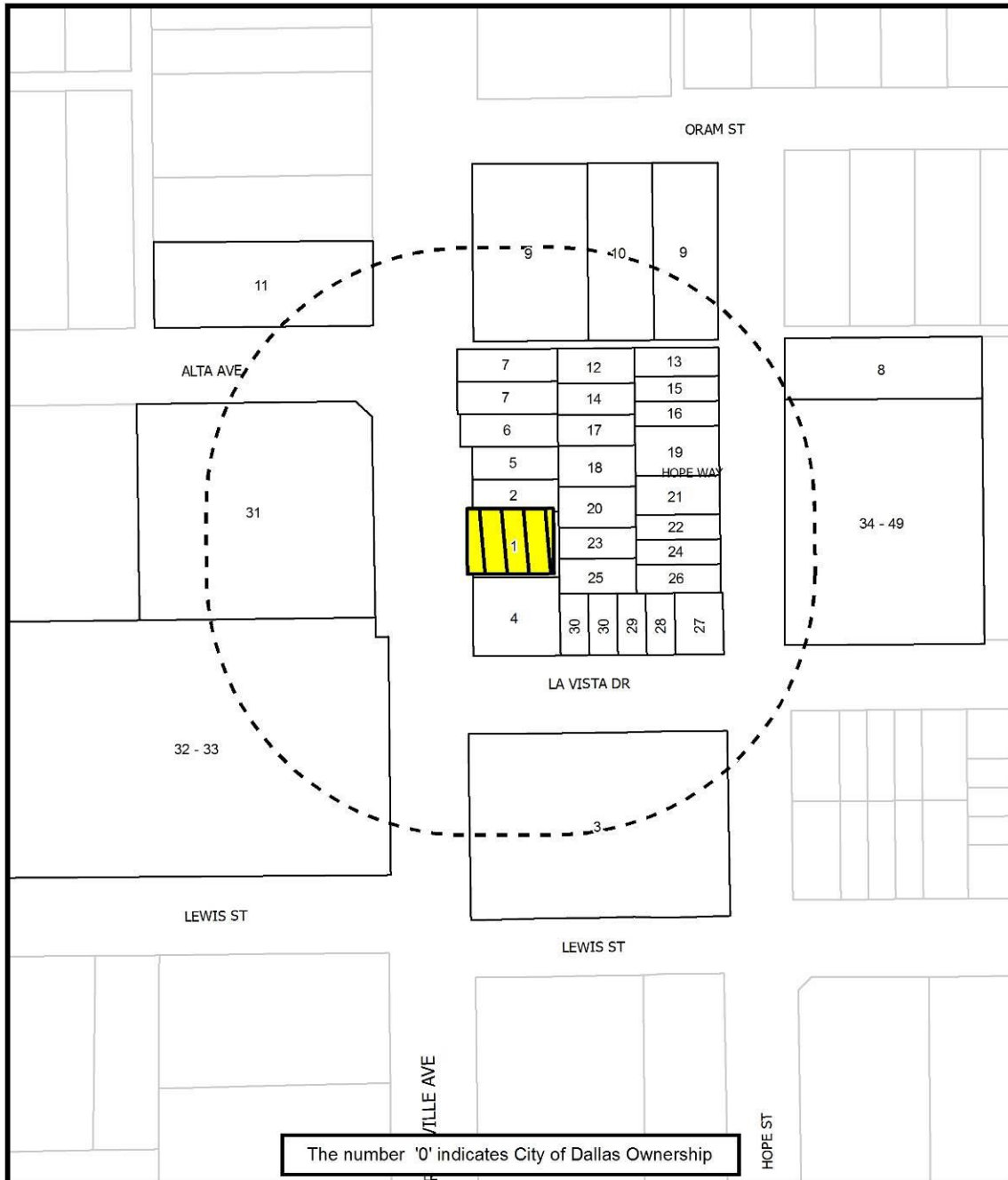
## CITY OF DALLAS

### **Outline of Procedure for Appeals from Decisions of an Administrative Official**

An appeal of an administrative official's decision may have very structured procedures that resemble a court hearing, or it may have more informal procedures that resemble a typical case brought before the Board of Adjustment. The parties can decide how they want to present their case. This document accounts for both scenarios. Please note that although there are time limits listed in this outline, the presiding officer reserves the right to alter these time limitations to promote fairness and efficiency.

- I. Explanation of the procedures by the presiding officer
- II. Swearing in of all persons who will testify in the case
- III. Applicant's case: 20 minute limit
  - a. This may resemble a typical Board case where the applicant merely presents his argument to the Board. It may also resemble a court hearing where the applicant gives an opening statement, calls witnesses, and offers evidence.
  - b. If the applicant calls a witness, the administrative official is able to cross examine the witness.
  - c. The applicant may conduct a redirect of his witness.
  - d. The applicant may submit documents to the Board Secretary as long as they comply with the documentary evidence rules set forth in the Board's Rules of Procedures.
  - e. The Board may ask questions at any time. Board member questions will not count towards the time limitation.
- IV. The Administrative Official's case: 20 minute limit
  - a. This may resemble a typical Board case where the administrative official presents his argument to the Board. It may also resemble a court hearing where the administrative official gives an opening statement, calls witnesses, and offers evidence.

- b. If the administrative official calls a witness, the applicant is able to cross examine the witness.
  - c. The administrative official may conduct a redirect of his witness.
  - d. The administrative official may submit documents to the Board Secretary as long as they comply with the documentary evidence rules set forth in the Board's Rules of Procedures.
  - e. The Board may ask questions at any time. Board member questions will not count towards the time limitation.
- V. Rebuttal by the applicant (optional): 3 minutes
- VI. Closing Statements
- a. Applicant's closing statement (optional): 3 minutes
  - b. The administrative official's closing statement (optional): 3 minutes
- VII. Move and second to either affirm, reverse, or amend the administrative official's decision.
- VIII. Open discussion of the case by Board members
- IX. Voting: Four concurring votes are required to reverse or amend the administrative official's decision.



|  |  |                        |                            |
|--|--|------------------------|----------------------------|
| <br>1:1,200 | <b>NOTIFICATION</b>  |                        | Case no: <b>BDA189-055</b> |
|  | <div style="border: 1px solid black; padding: 2px; display: inline-block;">200'</div> AREA OF NOTIFICATION<br><div style="border: 1px solid black; padding: 2px; display: inline-block;">49</div> NUMBER OF PROPERTY OWNERS NOTIFIED | Date: <b>4/11/2019</b> |                            |

## *Notification List of Property Owners*

**BDA189-055**

### *49 Property Owners Notified*

| <i>Label #</i> | <i>Address</i>      | <i>Owner</i>                   |
|----------------|---------------------|--------------------------------|
| 1              | 1904 GREENVILLE AVE | GREENVILLE PARKS LP            |
| 2              | 1908 GREENVILLE AVE | GREENVILLE PARKS LP            |
| 3              | 1802 GREENVILLE AVE | 1800 GREENVILLE PARTNERS LLC   |
| 4              | 1900 GREENVILLE AVE | TRUST REAL ESTATE              |
| 5              | 1910 GREENVILLE AVE | MORENO RICHARD                 |
| 6              | 1912 GREENVILLE AVE | CAMPBELL OLIVER                |
| 7              | 1914 GREENVILLE AVE | LOWGREEN PS LTD                |
| 8              | 1916 HOPE ST        | 1916 HOPE LLC                  |
| 9              | 5712 ORAM ST        | LOWGREEN PS                    |
| 10             | 5710 ORAM ST        | SOURIS GEORGIA REVOCABLE TRUST |
| 11             | 1903 GREENVILLE AVE | LOWGREEN PS                    |
| 12             | 1919 HOPE WAY       | NGUYEN NGOC DIEP               |
| 13             | 1922 HOPE WAY       | ELGUEA CARLOS &                |
| 14             | 1917 HOPE WAY       | MCFALL JAMES                   |
| 15             | 1920 HOPE WAY       | ISAACSON CHRISTOPHER M         |
| 16             | 1918 HOPE WAY       | MARCH SEAN                     |
| 17             | 1915 HOPE WAY       | ALARCON WALDO & YAZMIN R       |
| 18             | 1913 HOPE WAY       | HERNDON LINDSEY                |
| 19             | 1916 HOPE WAY       | OTOOLE TIMOTHY                 |
| 20             | 1911 HOPE WAY       | NIEHUUS MICHAEL                |
| 21             | 1912 HOPE WAY       | SHUCH MATTHEW T &              |
| 22             | 1910 HOPE WAY       | DANISH DAVID                   |
| 23             | 1909 HOPE WAY       | JOHNSON RONALD L               |
| 24             | 1908 HOPE WAY       | GANDHI ANUPAMA K               |
| 25             | 1907 HOPE WAY       | WEINER ERIC DAVID              |
| 26             | 1906 HOPE WAY       | ABOUJAOUDE DORY                |



| <i>Label #</i> | <i>Address</i>      | <i>Owner</i>                   |
|----------------|---------------------|--------------------------------|
| 27             | 5715 LA VISTA DR    | CATHCART DAVID                 |
| 28             | 5713 LA VISTA DR    | JACOBSON TYLER B &             |
| 29             | 5711 LA VISTA DR    | WHITE JULIUS                   |
| 30             | 5709 LA VISTA DR    | SHANE MARIO M & RACHELLE       |
| 31             | 1827 GREENVILLE AVE | LOWGREEN PS                    |
| 32             | 1811 GREENVILLE AVE | EGW GREENVILLE INVESTMENTS LP  |
| 33             | 1811 GREENVILLE AVE | GREENWAY GREENVILLE LP         |
| 34             | 1910 HOPE ST        | MOJICA EDWARD                  |
| 35             | 1910 HOPE ST        | KEELING THOMAS                 |
| 36             | 1910 HOPE ST        | CALVERT DAVID                  |
| 37             | 1910 HOPE ST        | KUPERMAN YELENA                |
| 38             | 1910 HOPE ST        | CROUCH EDIE D                  |
| 39             | 1910 HOPE ST        | HANLON WILLIAM R &             |
| 40             | 1910 HOPE ST        | BEAHM CYNTHIA DIANE            |
| 41             | 1910 HOPE ST        | RADIGAN MEGAN M                |
| 42             | 1910 HOPE ST        | UTKOV GARY S & CAROL C         |
| 43             | 1910 HOPE ST        | KOBAYASHI AARON S &            |
| 44             | 1910 HOPE ST        | MERZ RYAN E                    |
| 45             | 1910 HOPE ST        | HOPE STREET RENTAL COMPANY LLC |
| 46             | 1910 HOPE ST        | ANKERSEN KRISTEN A             |
| 47             | 1910 HOPE ST        | DROUILLARD SUZETTE M           |
| 48             | 1910 HOPE ST        | VITALE JOSEPH K & ANNE         |
| 49             | 1910 HOPE ST        | BREWSTER LLOYD R & DANA L      |